

1. Agenda

Documents: [HISTORIC DISTRICT COMMISSION MEETING AGENDA DECEMBER 9, 2014 \(PDF\).PDF](#)

2. Agenda Packet

Documents: [HISTORIC DISTRICT COMMISSION MEETING AGENDA PACKET DECEMBER 9, 2014 \(PDF\).PDF](#)

CITY OF YPSILANTI
Historic District Commission
Regular Meeting Agenda

Tuesday, December 9, 2014
7:00 p.m.

The Ypsilanti Historic District Commission works to safeguard Ypsilanti's built heritage by guiding development and renovation within the Historic District. Enabled by federal, state, and local legislation, the HDC seeks to stabilize and improve property values, to promote preservation education, and to develop the Ypsilanti Historic District as a vital living area.

An audio recording of the meeting will be made for the purpose of assisting in the preparation of official minutes only. Once the official minutes are approved the audio recording will be destroyed.

I. CALL TO ORDER AND ROLL CALL

Anne Stevenson, Chair	P	A
Hank Prebys, Vice Chair	P	A
Ron Rupert	P	A
Michael Condon	P	A
Alex Pettit	P	A
Jane Schmiedeke	P	A
Erika Lindsay	P	A

II. APPROVAL OF AGENDA

III. PUBLIC COMMENTS ON AGENDA ITEMS

IV. PUBLIC HEARING - None

V. BUSINESS SESSION

A. OLD BUSINESS

1. **400 N River**

Amendment for lighting/paint color

B. NEW BUSINESS

1. **301 W Michigan**

Sign installation

C. STUDY ITEMS

1. **417 Oak**

Stair installation

D. ADMINISTRATIVE APPROVALS - None

E. OTHER BUSINESS

1. **Property monitoring updates**

2. **Porch fact sheet review**

VI. AUDIENCE PARTICIPATION ON NON-AGENDA ITEMS

VII. HOUSEKEEPING BUSINESS

Approval of the minutes of November 25, 2014

VIII. ADJOURNMENT

Secretary of the Interior's Standards for the Rehabilitation of Historic Structures

Developed by the U.S. Department of the Interior, the Standards provide a framework that guides protective decisions regarding historic structures. The Historic District Commission is required to cite applicable Standards with each formal decision it renders. It may also cite HDC Fact Sheets as part of its decision-making process.

1. Use property for original purpose or provide compatible use with minimal alteration.

A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

2. Do not destroy original character. Do not remove or alter historic material or features.

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

3. Do not imitate earlier styles.

Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

4. Preserve significant changes acquired over time.

Changes to a property that have acquired historic significance in their own right will be retained and preserved.

5. Preserve distinctive features.

Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

6. Repair, don't replace. Replacements shall match original.

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

7. Clean building gently—no sandblasting.

Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

8. Preserve archaeological resources.

Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

9. Contemporary designs shall be compatible and shall not destroy significant original material.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

10. New work shall be removable.

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

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221 Felch Street
Ann Arbor, MI 48103
(734) 662-6133x 111

sbeal@gobeal.com

Equal Opportunity Employer

Letter of Transmittal

To: City of Ypsilanti
Historic District Commission
One South Huron
Ypsilanti, Michigan 48197

Date: 12/02/14

Job No.

Attn: Historic District Commission

Re: Thompson Block Re-development

Copies	Date	Description
1	12/02/14	Exterior Light Fixtures Information • Building Elevations and Photometric Plan: to identify lighting locations and clarify stone infills at South facade • West Elevation (front): Baselight gooseneck fixture – to be provided in black • North Elevation: Bega 2330 downlight (sidewalk illumination only) • East Elevation: Lumark PL-IP Wallpack in black • Street Parking Lot Light: Granville historic light and pole to match city fixtures • Internal Parking Lot Lights: Lithonia DSXO in black Cornice Color resubmission: • dark bronze (approaching black) to match other exterior trim details Ypsilanti Historic District Work Permit Application (and response) • Copies of previous submission / application / check / colors etc • Copy of approval letter requesting above information

THESE ARE TRANSMITTED as checked below:

For Approval

Approved as Submitted

X Resubmit for Approval

For Your Use

Approved as Noted

Submit for Distribution

As Requested

No Exception Taken

For Bidding

REMARKS:

Please find attached the additional information requested by the Historic District Commission with regard to the Thompson Block project. We look forward to your review and to moving this process forward.

Thanks,

COPY TO: Project file

SIGNED:

Stewart W. Beal



Ypsilanti Historic District Work Permit Application

Date filed October 7, 2014 for HDC meeting date October 14, 2014

Action item ☒ Study item ☐

Action items require payment of the application fee. There is no fee to submit a study item for discussion.

Property Address 400 North River Street, Ypsilanti, Michigan 48198

Applicant ☒ Owner ☐ Architect ☐ Contractor

Name Thompson Block Partners, LLC

Address 221 Felch Street

City Ann Arbor

State MI Zip 48103

Phone 734-662-6133

Fax 734-662-5869

E-mail fjbeal@jcbeal.com

Owner Same

(If different than applicant)

Who will perform the work? ☐ Owner ☒ Contractor

Contractor JC Beal Construction inc.

(Name, address,
phone)

221 Felch Street, Ann Arbor, Michigan 48103

Action Items only:

Construction Cost 567,600

Permit Application Fee \$976.00

The permit fee is \$30 plus \$5 for each \$3,000 of construction cost, and is due at the time of application. An additional administrative fee of \$50 applies to HDC work started without the issuance of applicable permit.

To complete this application:

1. On the reverse side, summarize the work proposed, list the main materials to be used, and (if relevant) indicate the color scheme planned.
2. Attach the following documents:
 - a. Photo(s) showing all locations where work is proposed
 - b. Paint color chips (if relevant)
 - c. Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components
 - d. Dimensioned drawings of any new construction or modifications to existing structures
 - e. A site plan, if proposal is for work on the grounds and not just the structure (e.g., installing an air conditioning system compressor). For fences, new structures, or work that will alter the footprint of existing structures, a photocopy of the mortgage survey with proposed changes indicated is required.

Submit the completed application to the City of Ypsilanti Building Department, 1 South Huron Street, along with the application fee if you wish the HDC to consider the proposal as an action item, not a study item.

Incomplete applications will not be considered.

For additional information, or if you have questions, contact the City of Ypsilanti Planning and Development Department, 734.483.9646, hintern@cityofypsilanti.com.

Ypsilanti Historic District Work Permit Application

Date filed October 7, 2014 for HDC meeting date October 14, 2014

Property Address 400 North River Street, Ypsilanti, Michigan 48198

Applicant Thompson Block Partners, LLC

Description of proposed work *(see sample applications)*

This is a comprehensive "gut re-hab" project, requiring extensive rebuilding and all new systems. At this point the building facades and related floor systems are structurally sound, and while substantial additional infill is required, the construction activities required are straightforward, consisting as they did in the in the 2011 facade stabilization projects of constructing multiwythe brick walls and installing floor systems of structural wood bond beams, joists, and decking to provide a platform for the remaining work. This work will all be performed by hand, working from scaffold erected within the existing building envelope.

Exterior Restoration: Portions of the masonry building exterior were stabilized when construction began in 2008 and additional areas saw improvement in the 2011 facade stabilization effort. That said the entire building envelope will be revisited when work restarted to insure the building's long term improvement. All masonry work will be inspected, and tuckpointed where necessary. The windows originally intended to be restored, but almost without exception destroyed in the 2009 fire, will be replaced, and the storefronts rebuilt in a historically accurate manner. Site improvements will include a new raised front patio area and sidewalks along River and Cross Streets, and a parking lot on Cross Street.

Materials

Primary Exterior Surfaces:

Original Brick and / or replacement brick to match, painted Sherwin Williams historic terra cotta (as now painted)
New windows, storefront, doors, railings, and cornice to be dark bronze (approaching black)

Primary Interior Surfaces:

Original Brick to be left exposed and unpainted,
New drywall to be painted white
Floor to be natural wood, no acoustical ceilings

Colors *(Attach color chips or samples)*

Body	<u>terra cotta</u>	Accent 1	<u></u>
Trim	<u>dark bronze</u>	Accent 2	<u></u>
Roof	<u>not visible</u>	Other	<u></u>

- ☒ This property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.
(Compliance with this act must be certified to complete this application.)

I hereby attest that the above information is accurate. I am authorized to and hereby grant permission to the City of Ypsilanti and its staff to be on my property for the purposes of preparing reports, taking photographs, and/or evaluating and reviewing this application.



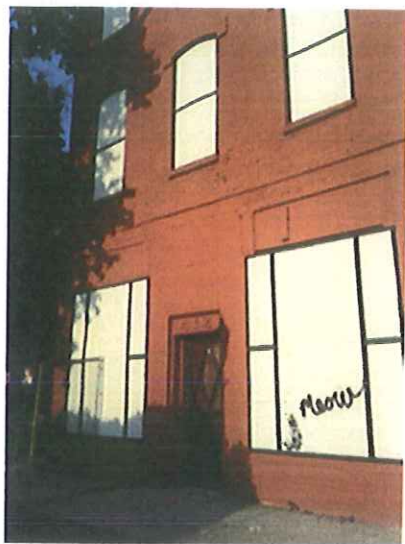
Signature of Applicant

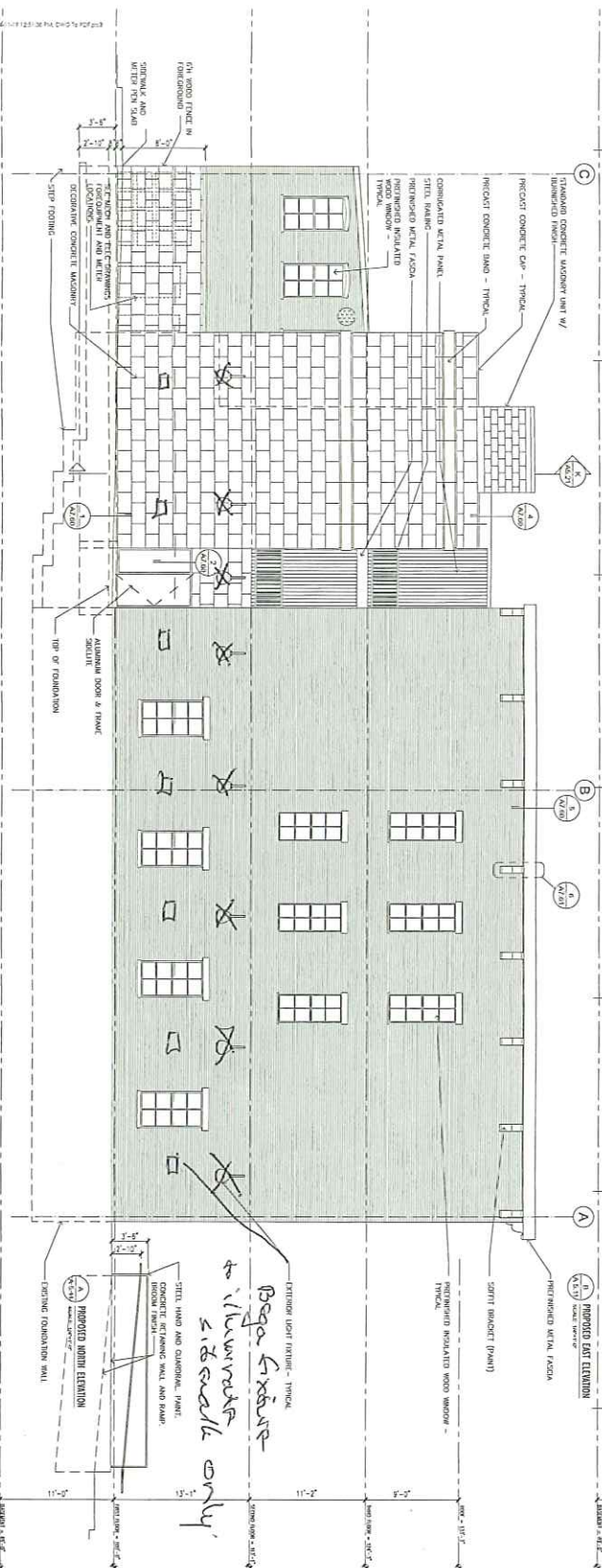
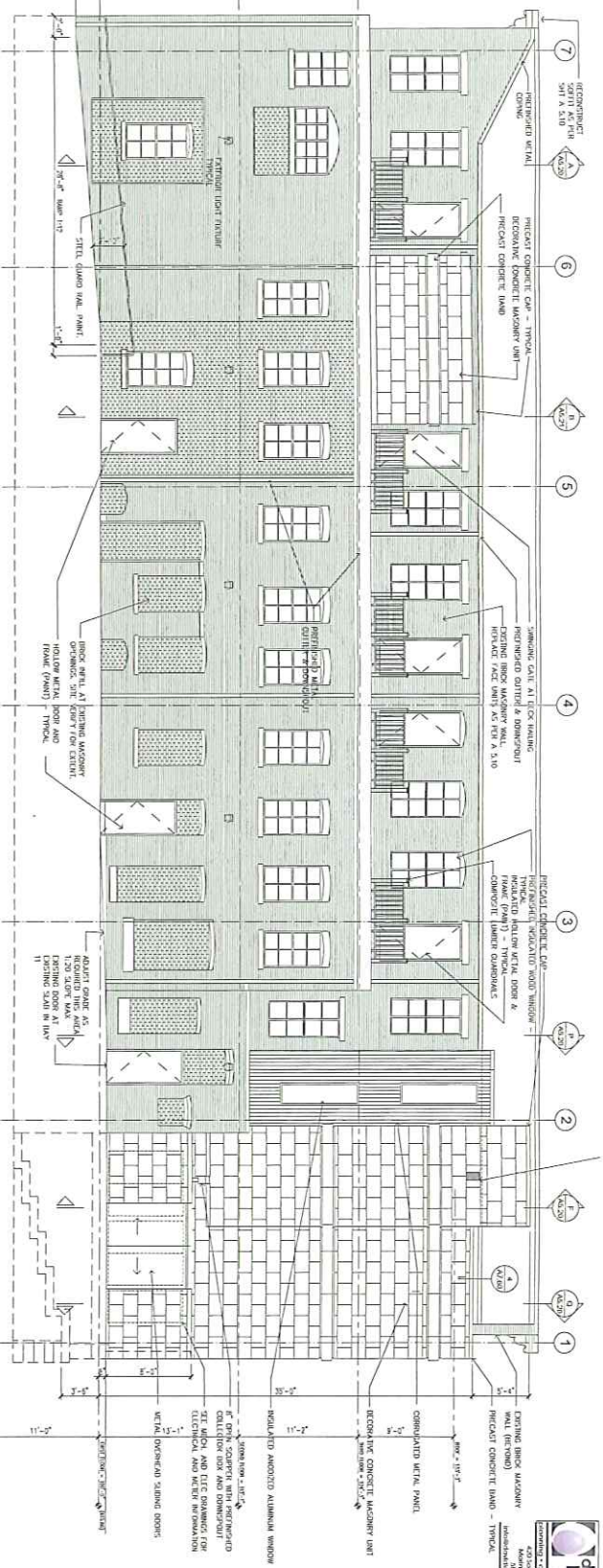
October 7, 2014

Date



Thompson Block Today





N. River St. (100' Wide)

ה

LUNAR LOCATION				
No.	Label	Latitude	Alt	Declination
1	50N	115.2	28.0	12.0
2	50N	115.2	28.0	12.0
3	50N	115.2	28.0	12.0
4	50N	115.2	28.0	12.0
5	50N	115.2	28.0	12.0
6	50N	115.2	28.0	12.0
7	50N	115.2	28.0	12.0
8	50N	115.2	28.0	12.0
9	50N	115.2	28.0	12.0
10	50N	115.2	28.0	12.0
11	50N	115.2	28.0	12.0
12	50N	115.2	28.0	12.0
13	50N	115.2	28.0	12.0
14	50N	115.2	28.0	12.0
15	50N	115.2	28.0	12.0
16	50N	115.2	28.0	12.0
17	50N	115.2	28.0	12.0
18	50N	115.2	28.0	12.0
19	50N	115.2	28.0	12.0
20	50N	115.2	28.0	12.0

SING

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/A
NORTH FOOTPAK	+	0.2%	1.2%	0.0%	N/A	N/A
OXYGEN LUGS WALKER	+	0.2%	0.7%	0.0%	N/A	N/A
ALUMINUM	+	0.2%	0.7%	0.0%	N/A	N/A
PAVING LOT	×	0.2%	0.7%	0.0%	10.4%	3.1%
PROPERTY LINE	■	0.2%	0.4%	0.0%	N/A	N/A

NOTES

- [illegible]



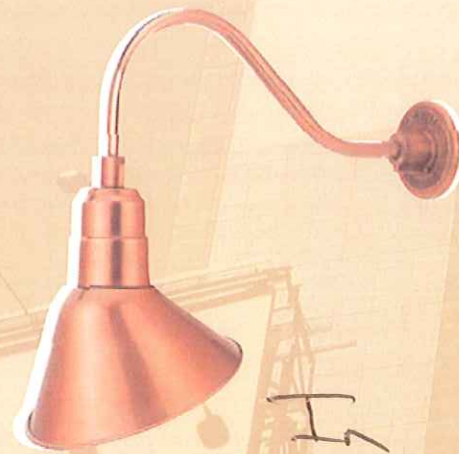
Base Light

Wrist Flexation

SIGN LIGHTS



A807/49/E1/49/SWL



A810/62/E1/62

In Black



A812/41/E11/41/GR12/43



2A807/42/E18A/42



A814/50/E4/50

Model #	Color	Mounting Source	Light Source			LED	Options	Globes	Accessories
			INC	CF	HID (MH & HPS)				
A807	40,41,42,	E1,E2,E2S,E3,	100W	26W*	35, 50W*	10W	SMSWL**-Small Swivel	CL3-Clear 3"	GRXX-Grills
A810	43,44,45	E3A,E4,E4A,E5,	150W	26, 32 or 42W*	35, 50, 70, 100W*	10W	LGSWL-Large Swivel	CLT3-Clear Tempered***	GU1-Guard 100W
A812	46,48,49,	E6,E7,E8,E9,	200W	26, 32 or 42W*	35, 50, 70, 100W*	10W	TRB-Turnbuckle & Cable	FR3-Frosted 3"	GU2-Guard 200W
A814	50,51,52,	E10,E11,E12,	200W	26, 32 or 42W*	35, 50, 70, 100W*	10W	CBC-Back Plate Cover	FRT3-Frosted Tempered***	
	53,54,55,	E13,E18A,E19,					SQ-Square Backplate	PR3-Prismatic 3"	
	57,58,59,	E20,E21,E22,						PRT3-Prismatic Tempered***	
	60,61,62,	E23,E24,E25							
	63								

* See back cover for remote ballasts
 ** Available only on A807
 *** For use with HID

ANGLE SHADE

PREPARED BY: _____

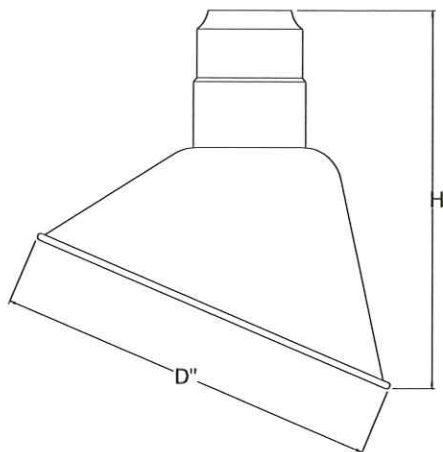
TYPE: _____

JOB NAME: Thompson Block

DATE: _____

CERTIFICATION: UL LISTED

MODEL#	D"	H"
A807	7	7 3/4
A810	10	10
A812	12	12
A814	14	14



FINISH-Five stage pretreatment process, coated with a lead free TGI C polyester powder coat finish. White is standard inside reflectors, Except #49-Galvanized, #62-Anodized Bronze and #63-Iron Rust, Unless specified. Custom colors and Marine are available upon request.

MOUNTING- 1/2" or 3/4" tapped hub is supplied. Top or side mount available. Fixtures are pre-wired with 48" or 96" leads. Available with cord or stem sets.

REFLECTOR- Spun from heavy gauge 1100-0 aluminum, ranging in thickness from .050 to .125. Galvanized is from 20 gauge sheets. Copper is spun from .040 gauge and 110 soft alloy.

LAMP HOLDERS- Accommodates **Incandescent** medium base porcelain socket, copper shell with nicked plate, rated 250V, 660W. **Compact Fluorescent** 4 pin heat resistant thermoplastic socket accommodates 26/32W (Gx24q-3 base) and 42W (Gx24q-4 base). Twist lock design provides for vibration and earthquake resistance, rated 75W, 600V. **High Intensity Discharge (H.I.D.)** medium base, 4KV pulse start socket, rated 660W/600V. **LED** 10W. A minimum of 60,000 hours to 100,000 expected life depending on installation location and ambient temperature.

MODEL#	FINISH		LIGHT SOURCE						MOUNTING OPT.	
			INC	CF ¹	HID ¹	LED				
						W	K	V		
A807	40-copper w/ coat	52-patina	100W	26W	35W, 50W	10W	3500	120	-Arm extension -Post Mts & Pole -Stem -Cord ² -Cable & Chain -Hub	
A810	41-black 42-dr. green	53-rust 54-stucco 55-sage	150W	26W, 32W, 42W,	35W, 50W, 70W, 100W		4000			
A812	43-red 44-white	58-satin alum. clear coat								5000
A814	45-med. blue 46-yellow	59-coppertone 60-canal green	200W							
	48-polish alum. 49-galvanized	61-anod. charcoal 62-anod. bronze								
	50-navy blue 51-arch. Bronze	63-iron rust								

¹ Remote ballast

²INC max wattage 150W

Call factory for higher wattage



12260 EAST END AVE. CHINO, CA 91710

MADE IN



U. S. A.



PHONE: 877-999-1990

FAX: 877-999-1955

Recessed wall luminaires with asymmetrical distribution

Housing: Die-cast aluminum with integral wiring compartment.

Enclosure: One piece die-cast aluminum faceplate with stepped baffle, 1/4" thick, clear tempered glass. Faceplate is secured by two (2) flush socket head stainless steel captive screws threaded into stainless steel inserts in the housing casting. Continuous high temperature O-ring gasket for weather tight operation. Internal reflector is semi-specular anodized aluminum.

Electrical: 2.2W LED luminaire, 3.1 total system watts. Remote 24V DC driver required. Standard LED color temperature is 3000K (available in 4000K; add suffix K4). Through Wiring: Maximum four (4) No. 12 AWG conductors (plus ground) suitable for 90°C. Two (2) 7/8" knockouts provided for 1/2" conduit.

Note: Due to the dynamic nature of LED technology, LED luminaire data in this catalog is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

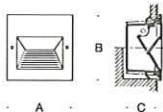
Finish: Available in four standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

UL listed, suitable for wet locations and for installation within 3 feet of ground. Type non-IC. Protection class: IP65.

Note: Standard orientation of fixture is for downwards aiming of light only. For alternate orientations, consult factory.

Luminaire Lumens: 34

Tested in accordance with LM-79-08



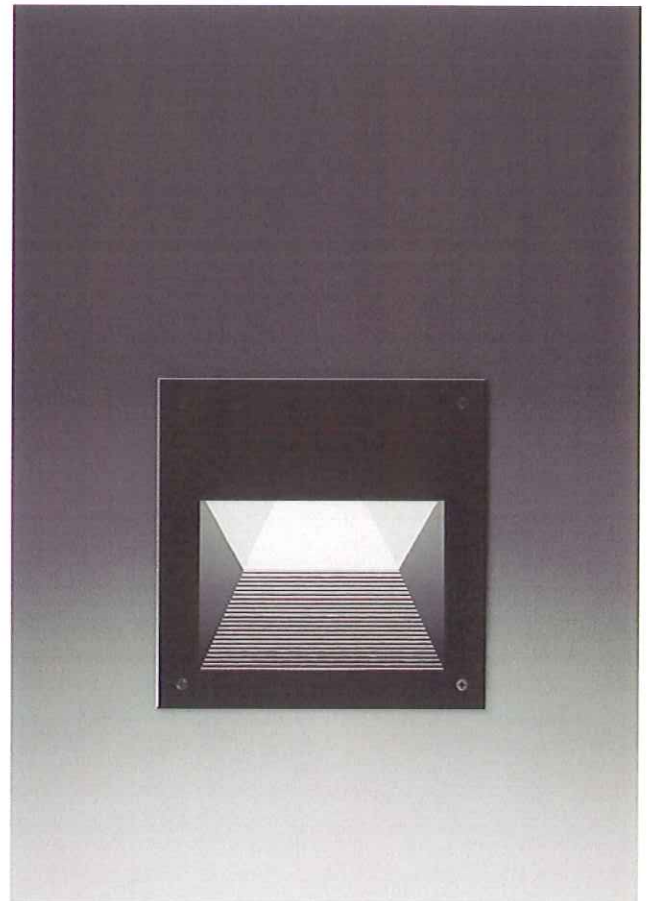
	Lamp	A	B	C
2230LED*	A9A 2.2W LED, 24V DC	3 1/8	3 1/8	4

*Remote driver required

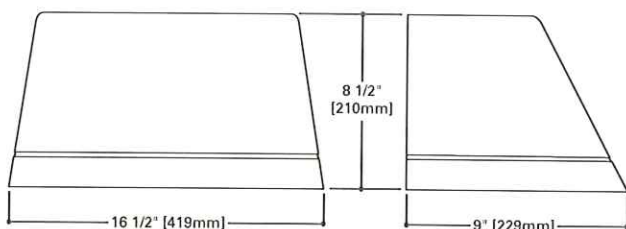
BEGA-US 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 FAX (805) 566-9474 www.bega-us.com

©copyright BEGA-US 2011 Updated 10/12

Type:
BEGA Product:
Project:
Voltage:
Color:
Options:
Modified:



DIMENSIONS

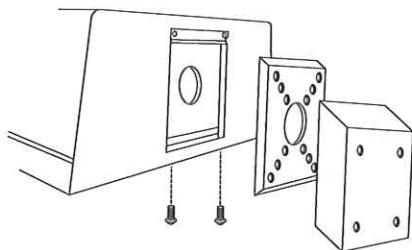


DESCRIPTION

Dominated by flat surfaces and strong lines that emphasize the principles of architecture, the **IMPACT** Trapezoid cutoff wall luminaire make an ideal complement to site design. U.L. Listed and CSA Certified for wet locations in down mount applications and damp locations in up mounted applications.



HOOK-N-LOCK MOUNTING (Mounting attachment included. J-Box not included.)



ORDERING INFORMATION

SAMPLE NUMBER: MHIP-C-150-MT-LI

Lamp Type MH=Metal Halide HP=High Pressure Sodium PL=Compact Fluorescent	Fixture Type IP=IMPACT	Fixture Shape T=Trapezoid	Lamp Wattage HID* 50=50W* 70=70W* 100=100W 150=150W 175=175W* Compact Fluorescent 26/32/42=26, 32, or 42W 52=52W*	Voltage* 120V 208V 240V 277V 347V 480V DT=Dual-Tap* MT=Multi-Tap* TT=Triple-Tap* E=Electronic Ballast**	Options & Accessories (See Below)
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STOCK SAMPLE NUMBER (Lamp Included)

SAMPLE NUMBER: MHIT17

Lamp Type	Fixture Type ¹¹	Lamp Wattage
HP=High Pressure Sodium	IT=IMPACT Trapezoid	10=100W
MH=Metal Halide		15=150W
		17=175W

NOTES: Options not available with stock products.
Order Accessories as separate items for field installation.
Refer to standard ordering information to add options
and accessories.

Options (add as suffix) ¹²

Q=Quartz Restrike " "
EM=Emergency Quartz Restrike with Time Delay Relay " "
EM/SC=Emergency Separate Circuit " "
EM/SC/12V=Emergency Separate Circuit (12V) " "
EMH0=Emergency CFL Battery Pack " "
F1=Single Fuse—120, 277 or 347V (Must Specify Voltage)
F2=Double Fused—208 or 240V (Must Specify Voltage)
TR=Tamper Resistant Screw (Door and Mounting Plate)
PE=Button Photocontrol (Must Specify Voltage)
UPL10=10% Uplight
LL=Lamp Included (Must Specify Wattage on PL) " "
BK=Black
SY=Silver
WH=White

NOTES: 1 All HID lamps are medium-base. 2 Available only in 120, 277V and Dual-120/277. 3 Not available in 480V. 4 Metal Halide construction only. 5 (2) 26W quad tube lamps only. 6 HID products also available in non-US voltages and 50Hz for international markets. Consult your Cooper Lighting Representative for availability and ordering information. 7 Dual-Tap ballast are 120/277V/277V 50/60Hz. 8 Multi-Tap ballast are 120/208/240/277V wire. 9 Triple-Tap ballast are 120/277/347V wired 347V. 10 Supplied with 120W through 277V 50/60Hz for Compact Fluorescent. 11 Painted bronze. Supplied with lamp and Multi-Tap HPF ballast wired 277V. 12 Must be listed in the order shown and separated by a dash. 13 The power might need to cycle and allow HID lamp to cool in warm climates. Available for 70 and 100W HID lamps only. 14 Supplied with 12V Bi-pin socket for connection to emergency battery pack (supplied by others) that will operate up to a 35W MR16 lamp. 15 Cold weather battery pack will operate up to 42W CFL lamp for 90 min. 16 Lamp is shipped separate from luminaire. Lamp is Cooper designed product based on luminaire requirements. Specified lamps must be ordered as a separate line item. 17 For complete product data, reference the Lumark Specification binder. 18 Specifications and dimensions subject to change without notice. 19 Products also available in non-US voltages and frequencies for international markets. 20 Consult your Cooper Lighting Representative for availability and ordering information.

**IP IMPACT
TRAPEZOID**

50-175W
High Pressure Sodium
Metal Halide

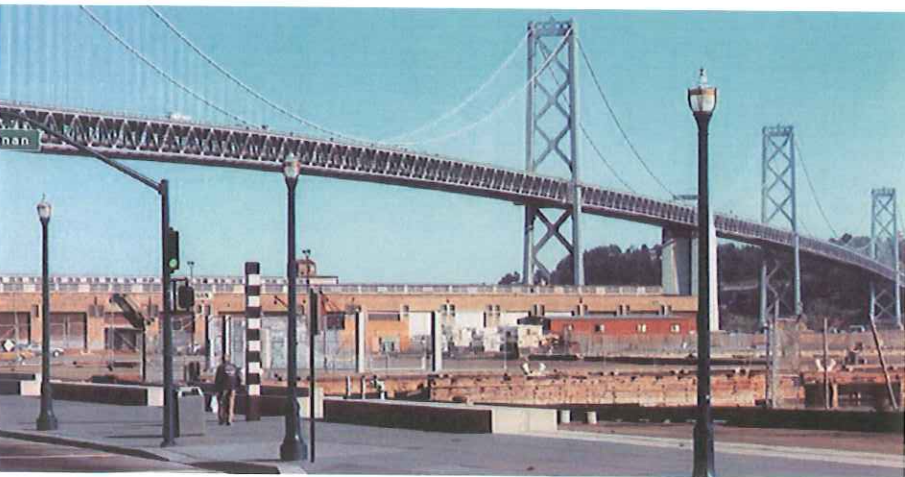
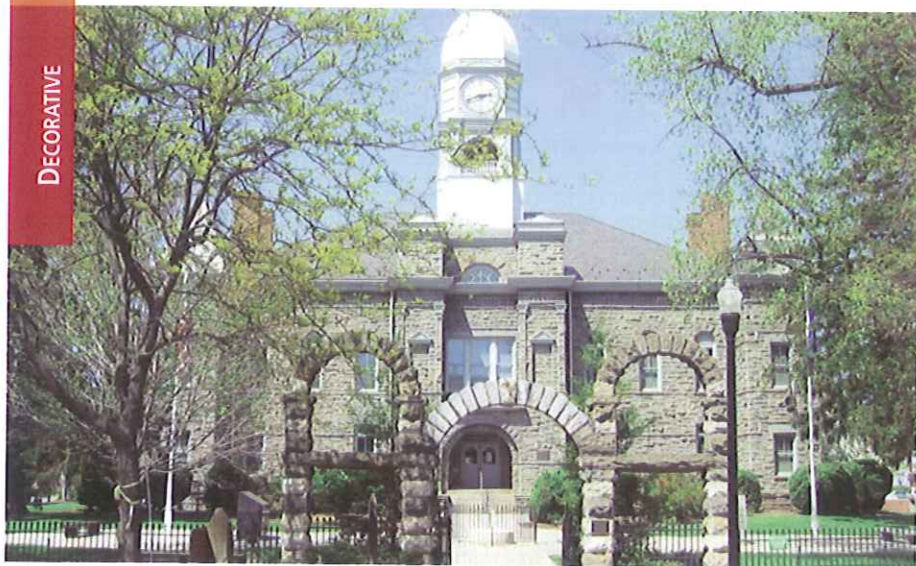
26 - 52 W
Compact Fluorescent

FULL CUTOFF
WALL MOUNT LUMINAIRE

- Two-piece die-cast aluminum housing
- Rigid steel mounting attachment fits directly to 4" J-Box or wall with "Hook-N-Lock" mechanism for quick installation
- HID luminaires supplied with high power factor ballast with Class H insulation. Minimum starting temperatures are -40°C (-40°F) for HPS and -30°C (-20°F) for MH. Compact Fluorescent luminaires feature program start, high efficient multi-voltage 50/60Hz ballast with -18°C (0°F) minimum starting
- Die-cast door features 1/8" heat- and impact-resistant clear tempered glass lens. Hinged door secured in place via two (2) captive fasteners
- Durable polyester powder coat finish. Standard color is bronze. Other finish colors available
- U.L. listed for wet locations. CSA certified
- Approximate net weight: 18 lbs. (8 kgs.)

COOPER LIGHTING

GranVille® Classic



Typical Applications

- City Streets
- Parks
- Residential Areas
- Campuses
- Walkways
- Parking Lots

Features

- Distinctive styling
- Superior performance
- Ease of maintenance
- Permanent, durable materials
- Reliability

Approvals

- UL/CUL

Lamp Types

- 35-150 watt high pressure sodium
- 70-175 watt metal halide
- 200 watt incandescent
- 55-85 watt induction (QL)



GranVille® Classic

The cornerstone of the GranVille Classic luminaires' superior performance is an advanced borosilicate glass optical refractor, which provides precise light control through finely molded prisms. The prismatic light refractor helps direct the light beam to the desired pattern, allows for great spacings with excellent uniformity, and creates an appealing sparkle that distinguishes the GranVille luminaire from conventional plastic acorn globes.

Although the efficient light control is the cornerstone of the GranVille Classic's prismatic glass refractor, the prismatic glass optical assembly creates the sparkle that provides the visual appeal in any daytime setting.

The GranVille Classic luminaire is widely used for municipal streets, residential streets, college campuses, and commercial area applications. The GranVille Classic luminaire is available with decorative covers, six distinct ballast modules, trim options, finials, all designed to accent any project theme. The new modern fluted ballast module (M) incorporates tool less entry, the modular "Utility" ballast module, integral terminal block, and an optional internal relamp module designed to simplify installation and maintenance.

The luminaire will scale with a range of decorative post styles from eight to fourteen feet in height. In addition, the luminaire can be mated with a variety of decorative wall mount brackets to complement the post top assemblies further enhancing the site architecture.



*GranVille
(Fluted housing,
standard finial)*



*GranVille
(Ribs, bands and
medallions, with leaf
housing, and standard finial)*



*GranVille
(Decorative cover
with leaf housing,
and standard finial)*



*Syracuse
(Spun cover, ribs, bands and
medallions, with leaf housing,
and standard finial)*

Applications

The GranVille luminaire has appeal for many types of applications. Although efficient light control is the cornerstone of the GranVille's prismatic glass refractor, the prismatic glass optical assembly creates a sparkle that provides visual appeal in any daytime setting.

The GranVille luminaire is widely used for municipal streets, residential streets, college campuses, and commercial area applications. The luminaire will scale with a range of decorative post styles ranging from eight to fourteen feet in height. In addition, the luminaire can be mated with a variety of decorative wall brackets to complement the post top assemblies further enhancing the site architecture.



Check out more Lighting and Controls Solutions from Acuity Brands. Click here for details.



HOLOPHANE
LEADER IN LIGHTING SOLUTIONS

An Acuity Brands Company



experience
**lighting's
best**





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DECORATIVE

 Expand All Folders

Historical

-  Dorchester : Victorian Gas Light
-  GranVille : Prismatic Acorns - Glass
-  GranVille II LED : Prismatic Acorns - Glass
-  GranVille Mini : Prismatic Acorns - Glass
-  GranVille Premier : Prismatic Acorns - Glass
-  Harp Series : Harp
-  Lantern Post Top LED Series : Octagonal Lanterns
-  Madeira : Prismatic Acorns - Ornamental
-  Milwaukee Lanterns : Lanterns
-  Minuteman Utility Lantern : Lanterns
-  Octagonal Lantern Series : Octagonal Lanterns
-  Pedestrian Teardrop : Teardrop Series
-  Pedestrian Teardrop LED : Teardrop Series
-  Prismsphere : Spheres
-  RSL-350 : Residential Street Light
-  Teardrop : Teardrop Series
-  Teardrop LED : Teardrop Series
-  Utility Series : Utility Series
-  Washington Postlite - Glass : Prismatic Acorns - Glass
-  Washington Postlite II LED - Acrylic : Prismatic Acorns - Acrylic
-  Washington Postlite LED - Glass : Prismatic Acorns - Glass

QUICK PRODUCT SEARCH

STEP 1 OF 4

Select Product Types

[Outdoor](#) > [Decorative](#) > Historical > GranVille II LED

GranVille II LED

Intended Use: For Urban Boulevards, City Streets, Campuses, Commercial Parking, Residential, and Parks & Recreation. Applies to both new installations and retrofit of existing GranVille installations.

Features:

The evolution of a classic continues with this second generation of the GranVille~174; LED luminaire. The GranVille~174; II LED is the next generation of Holophane LED engineering, and brings the luminaire full circle back to its origins of high performance combined with the aesthetic appeal and form factor of period lighting.

GranVille II LED luminaires combine an entirely new LED design with the original housings of the GranVille HID product line, which provides a more historical aesthetic value, greater flexibility in architectural design and an even greater value for retrofit opportunities. Significantly improved lumens per watt (LPW) provides a great opportunity to save energy, while maintaining light levels and excellent uniformity.

The full selection of both standard and Utility Series housing styles along with all decorative trim options means that you have a much larger palette to create your streetscape and area lighting masterpieces. Add to that our highly engineered thermal management, quality construction and finish and you will be sure to experience a dependable, durable and reliable new luminaire.

The new design of the GranVille II LED fully utilizes the Holophane Classic and Premier glass optics to produce the best performance in its class with a "wholly luminous" appearance. The GranVille II LED was completely designed as both a true standalone LED platform as well as an OEM certified retrofit upgrade to your existing GranVille luminaires. Keep your installed poles and reuse your existing GranVille housing and glass optics, but just change out the internal electrical components in a few easy steps.

Keep the look you want along with the performance you need, all while hitting your sustainability goals and keeping the Earth a little greener.

Listings:

Standard product has CSA listing pending. For listing availability, consult factory.
The GVD LED series is a DesignLights Consortium® qualified product



[Brochures](#)

[Specification Sheets](#)

[Photometric Data](#)

[Installation Sheets](#)

[Application Information](#)

[US Terms & Conditions](#)

[Questions about this product?](#)

CLICK LINKS BELOW FOR ADDITIONAL INFORMATION



D-Series Size 0 LED Area Luminaire



d"series

Catalog
Number

Notes

Type

Parking lot
Away from Bldg

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 65% and expected service life of over 100,000 hours.

Specifications

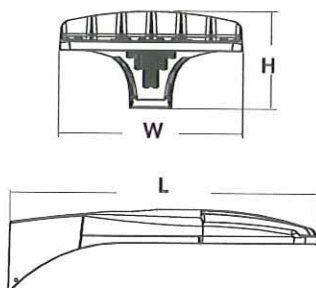
EPA: 0.8 ft²
(0.07 m²)

Length: 26"
(66.0 cm)

Width: 13"
(33.0 cm)

Height: 7"
(17.8 cm)

Weight (max): 16 lbs
(7.25 kg)



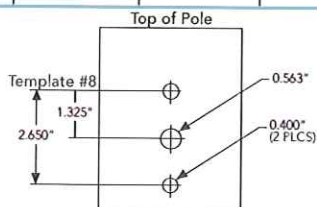
Ordering Information

EXAMPLE: DSX0 LED 40C 1000 40K T3M MVOLT SPA DDBXD

DSX0 LED

Series	LEDs	Drive current	Color temperature	Distribution	Voltage	Mounting	Control options	Other options	Finish
DSX0 LED	Forward optics	530 530 mA	30K 3000K (80 CRI min.)	T1S Type I short	MVOLT ²	Shipped included	Shipped installed	Shipped installed	DDBXD Dark bronze
	20C 20 LEDs (one engine)	700 700 mA	40K 4000K (70 CRI min.)	T2S Type II short	120 ²	SPA Square pole mounting	PER NEMA twist-lock receptacle only (no controls)	HS House-side shield ⁹	DBLXD Black
	40C 40 LEDs (two engines)	1000 1000 mA (1A)	50K 5000K (67 CRI)	T2M Type II medium	208 ²	RPA Round pole mounting	DMG 0-10V dimming driver (no controls) ⁴	SF Single fuse (120, 277, 347V) ¹⁰	DNAXD Natural aluminum
	Rotated optics¹			T3S Type III short	240 ²		DCR Dimmable and controllable via ROAM [®] (no controls) ⁵	DF Double fuse (208, 240, 480V) ¹⁰	DWHXD White
	30C 30 LEDs (one engine)			T3M Type III medium	277 ²	WBA Wall bracket	PIR Motion sensor, 8-15' mounting height ^{4,5}	L90 Left rotated optics ¹¹	DDBTXD Textured dark bronze
				T4M Type IV medium	347 ³		PIRH Motion sensor, 15-30' mounting height ^{4,5}	R90 Right rotated optics ¹¹	DBLTXD Textured black
				TFTM Forward throw medium	480 ³		BL30 Bi-level switched dimming, 30% ^{4,7,8}	Shipped separately DDL Diffused drop lens ⁹	DNATXD Textured natural aluminum
				TSVS Type V very short			BL50 Bi-level switched dimming, 50% ^{4,7,8}		DWHGXD Textured white
				TSS Type V short					
				TSM Type V medium					
				TSW Type V wide					

Drilling



DL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ¹²
DL1347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ¹²
DL1480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ¹²
SCU	Shorting cap ¹²
DSX0HS 20C U	House-side shield for 20 LED unit
DSX0HS 30C U	House-side shield for 30 LED unit
DSX0HS 40C U	House-side shield for 40 LED unit
DSX0DDL U	Diffused drop lens (polycarbonate)
SPA19/MR2 DDBXD U	Square pole DM19 to DM19AS adapter (specify finish)
RPA19/MR2 DDBXD U	Round pole DM19 to DM19AS adapter (specify finish)

DSX0 shares a unique drilling pattern with the AERIS™ family. Specify this drilling pattern when specifying poles, per the table below.

DM18AS	Single unit	DM28AS	2 at 90° *
DM28AS	2 at 180°	DM39AS	3 at 90° *
DM48AS	4 at 90° *	DM32AS	3 at 120° **

Example: SSA 20 4C DM18AS DDBXD

Visit Lithonia Lighting's **POLES CENTRAL** to see our wide selection of poles, accessories and educational tools.

*Round pole top must be 3.25" O.D. minimum.
**For round pole mounting (RPA) only.

Tenon Mounting Slipfitter**

Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	N/A	N/A	N/A	N/A
2-7/8"	AST25-190	AST25-280	N/A	AST25-320	N/A	N/A
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-430

NOTES

- Only available with rotated optics (L90 or R90 option).
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options).
- Not available with single-board, 530 mA product (20C 530 or 30C 530). Not available with 1000mA.
- Not available with 347 or 480V.
- Specifies a ROAM[®] enabled luminaire with 0-10V dimming capability; PER option required. Not available with 347 or 480V. Additional hardware and services required for ROAM[®] deployment; must be purchased separately. Call 1-800-442-6745 or email: sales@roamservices.net. Not available with PIR or PIRH.
- PIR specifies the SensorSwitch SBR-10-ODP control; PIRH specifies the SensorSwitch SBR-6-ODP control; see Motion Sensor Guide for details. Dimming driver standard. Not available with DCR.
- Requires an additional switched circuit.
- Dimming driver standard. MVOLT only. Not available with DCR.
- Also available as a separate accessory; see Accessories information.
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Available with 30 LEDs (30C option) only.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item.

For more control options, visit **DTL** and **ROAM** online.



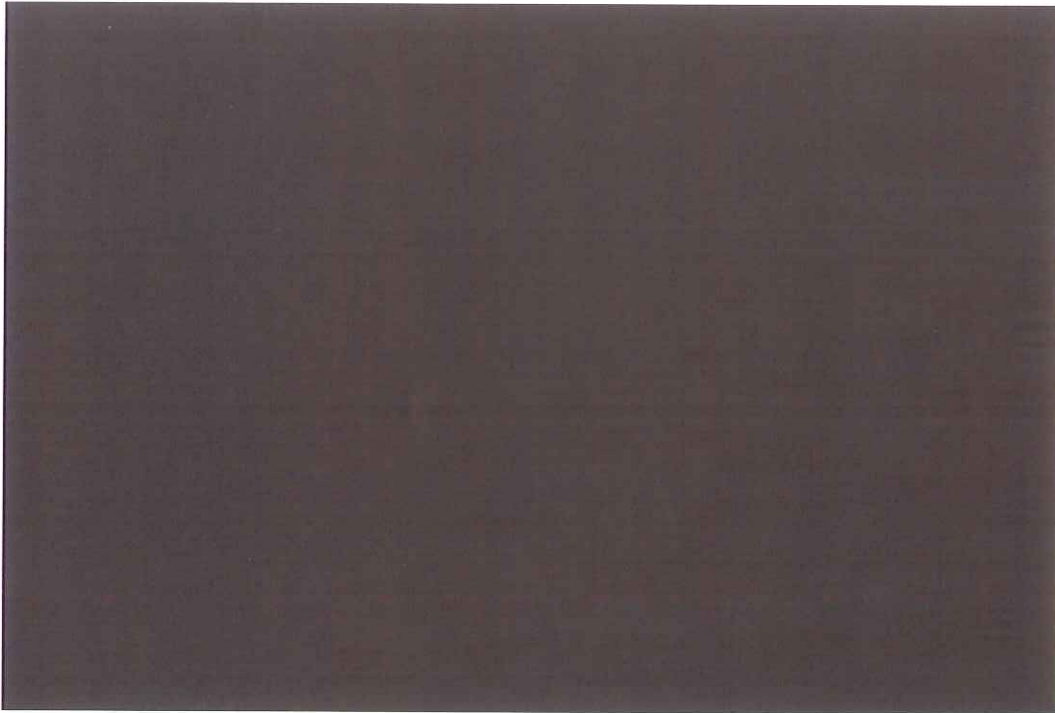
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Thompson Block Partners

Thompson Block Redevelopment Project – Exterior Colors

Dark Bronze Anodized – for Storefront, Doors, Windows, Railings, and Cornice





Ypsilanti Historic District Work Permit Application

Date filed 12/4/14 for HDC meeting date 12/9/14

Action item ☒ Study item ☐ Action items require payment of the application fee. There is no fee to submit a study item for discussion.

Property Address KeyBank, 301 W. Michigan

Applicant ☐ Owner ☐ Architect ☒ Contractor

Name Allied Signs, Inc.

Address 33650 Giftos

City Clinton Twp. State MI Zip 48035

Phone 586-791-7900 Fax 586-791-7788

E-mail Kim@alliedsignsinc.com

Owner Bancsites, Inc.

(If different than applicant)

Who will perform the work? ☐ Owner ☒ Contractor

Contractor Allied Signs, Inc.

(Name, address, phone) 33650 Giftos, Clinton Twp. MI 48035, 586-791-7900

Action Items only:

Construction Cost \$7,620.00

Permit Application Fee _____

The permit fee is \$30 plus \$5 for each \$3,000 of construction cost, and is due at the time of application. An additional administrative fee of \$50 applies to HDC work started without the issuance of applicable permit.

To complete this application:

1. On the reverse side, summarize the work proposed, list the main materials to be used, and (if relevant) indicate the color scheme planned.
2. Attach the following documents:
 - a. Photo(s) showing all locations where work is proposed
 - b. Paint color chips (if relevant)
 - c. Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components
 - d. Dimensioned drawings of any new construction or modifications to existing structures
 - e. A site plan, if proposal is for work on the grounds and not just the structure (e.g., installing an air conditioning system compressor). For fences, new structures, or work that will alter the footprint of existing structures, a photocopy of the mortgage survey with proposed changes indicated is required.

Submit the completed application to the City of Ypsilanti Building Department, 1 South Huron Street, along with the application fee if you wish the HDC to consider the proposal as an action item, not a study item.

Incomplete applications will not be considered.

For additional information, or if you have questions, contact the City of Ypsilanti Planning and Development Department, 734.483.9646, hintern@cityofypsilanti.com.

Ypsilanti Historic District Work Permit Application

Date filed _____ for HDC meeting date _____

Property Address 301 West Michigan

Applicant Allied Signs, Inc.

Description of proposed work *(see sample applications)*

Install (1) directional sign, (1) ATM surround, (3) sign cabinets on ATM kiosk and (1) clearance bar.

Materials

Painted aluminum and plastic.

Colors *(Attach color chips or samples)*

Body _____

Accent 1 Red

Trim _____

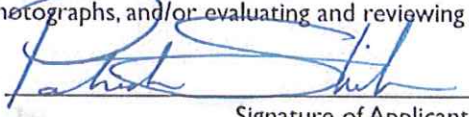
Accent 2 Black

Roof _____

Other White

- ☐ This property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.
(Compliance with this act must be certified to complete this application.)

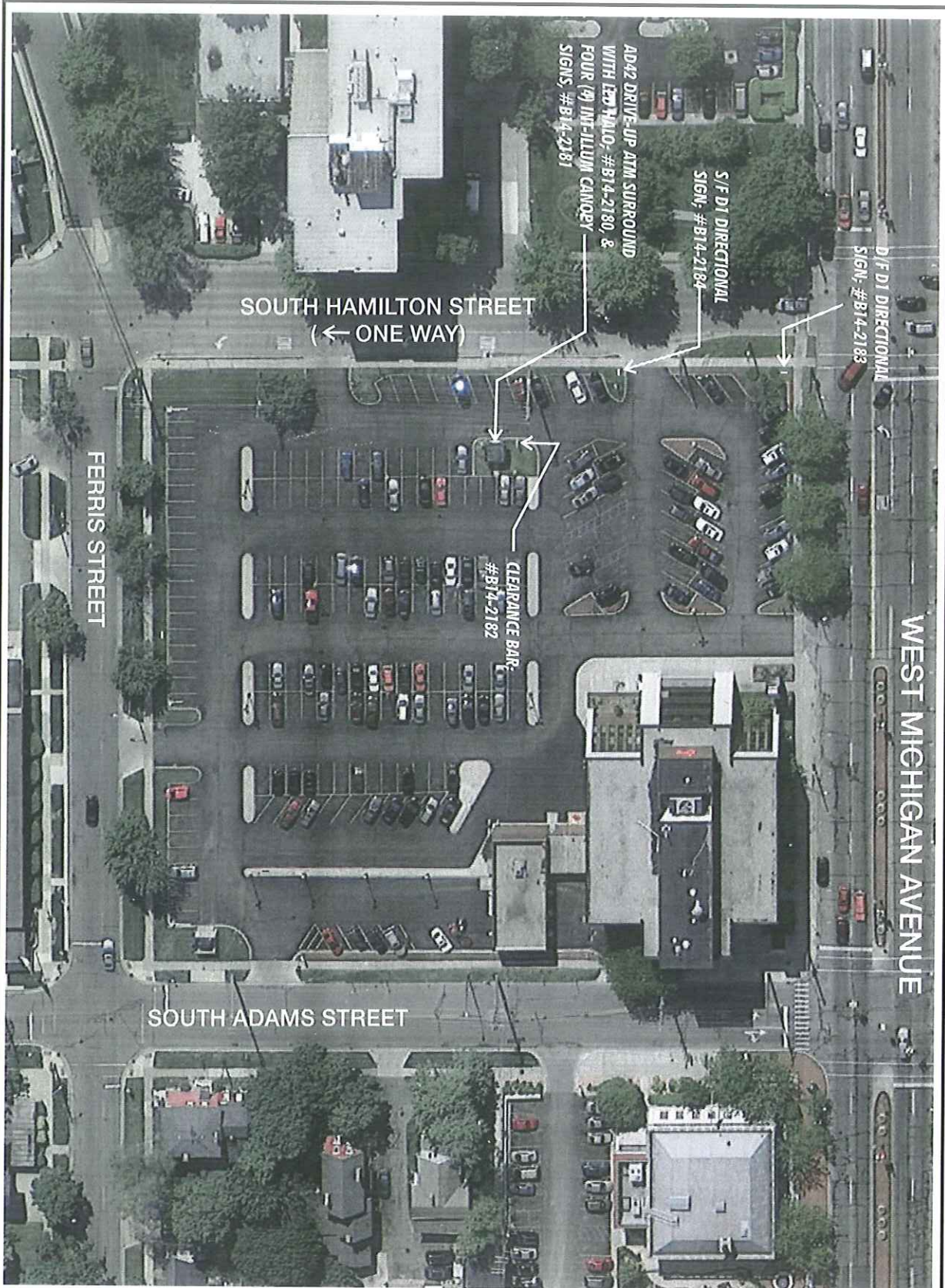
I hereby attest that the above information is accurate. I am authorized to and hereby grant permission to the City of Ypsilanti and its staff to be on my property for the purposes of preparing reports, taking photographs, and/or evaluating and reviewing this application.



Signature of Applicant

12/4/14

Date



NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.



Brilliant Electric Sign Co., Ltd.

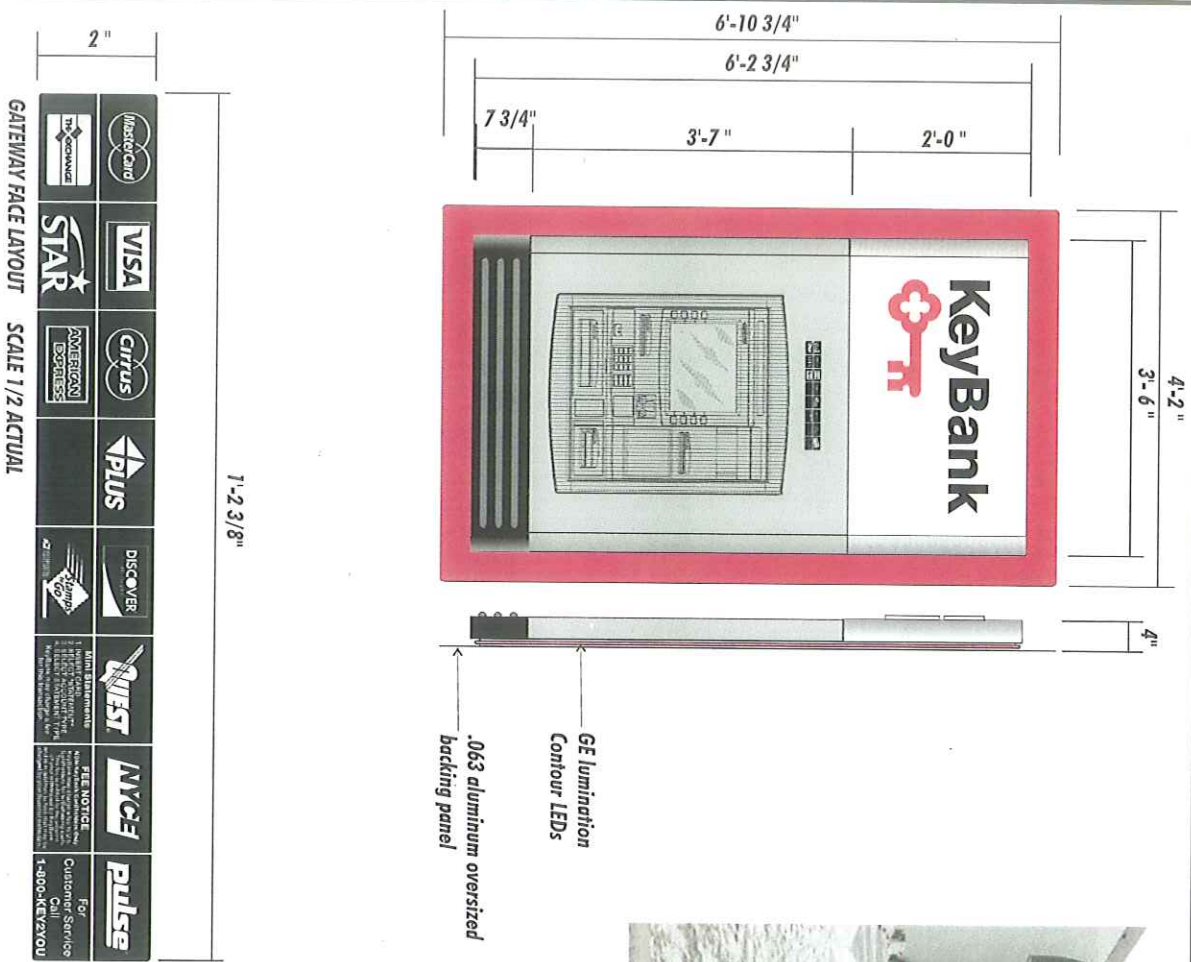
4811 VAN EPPS RD., CLEVELAND, OHIO 44131 (216)741-3800

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COMPANY NAME	KeyBank	SALESMAN	H	DATE	11-3-14	REVISION	11-20-14	DESIGN NO.	B14-2179
LOCATION	301 West Michigan Ave., Ypsilanti, Michigan	DESIGNER	DM	SCALE	NTS			COPYRIGHT ©	2014

PSIGN 14-047

FILE NAME
I:/key mich/301 west michigan ATM 2014



NOTES:
 Internally-illuminated, fabricated aluminum drive-up ATM surround with LED halo around outer edge and oversized backing panel. Key logo and "KeyBank" copy to be cut out of aluminum face, with 1/2" clear plexiglas pushed thru cut out openings; plex to have 3M vinyl applied to first surface with edges of push thru left clear and polished. Key vinyl to be 3M red to match PMS #1795C. "KeyBank" vinyl to be 3M black. All header aluminum surfaces to be painted white. Lower band to be painted black. Oversized backing panel to be painted red SW 6F5-54278C Semi-Gloss finish. All remaining visible aluminum surfaces to be painted silver PMS #877C. Halo to be provided by GE illumination Contour encapsulated LEDs. Gateway logos to be white on black.

RATED 120 VOLTS

All painted surfaces to be two-part acrylic polyurethane. Illuminated header to have illumination provided by GE illumination white LEDs powered by low-voltage power supplies. Header to be built to U.L. specs, be U.L. listed, and carry U.L. label.

AD42
 silver body
 with halo panel

NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.



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COMPANY NAME	KeyBank	SALESMAN	H	DATE	11-3-14	REVISION	DESIGN NO.
LOCATION	301 West Michigan Ave., Ypsilanti, Michigan	DESIGNER	DM	SCALE	3/4" = 1'-0"		B14-2180
							COPYRIGHT © 2014
						FILE NAME	I:/kev mich/301 west michigan ATM 2014



Cabinets to have translucent plastic lenses in bottoms for downlighting

NOTES:

THREE (3) SINGLE-FACE, INTERNALLY-ILLUMINATED CANOPY SIGNS WITH PLEXIGLAS FACES.

COPY TO BE BLACK VINYL.

LOGOS TO BE RED #3630-33 VINYL.

FACE BACKGROUNDS TO BE WHITE #7328 PLEXIGLAS.

CABINETS AND TRIM TO BE PAINTED BLACK.

RATED 120 VOLTS

SIGNS TO BE ILLUMINATED BY GE WHITE LEDS WITH SELF-CONTAINED POWER SUPPLIES. SIGNS TO BE BUILT TO U.L. SPECS, BE U.L. LISTED, AND CARRY U.L. LABELS.

NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.

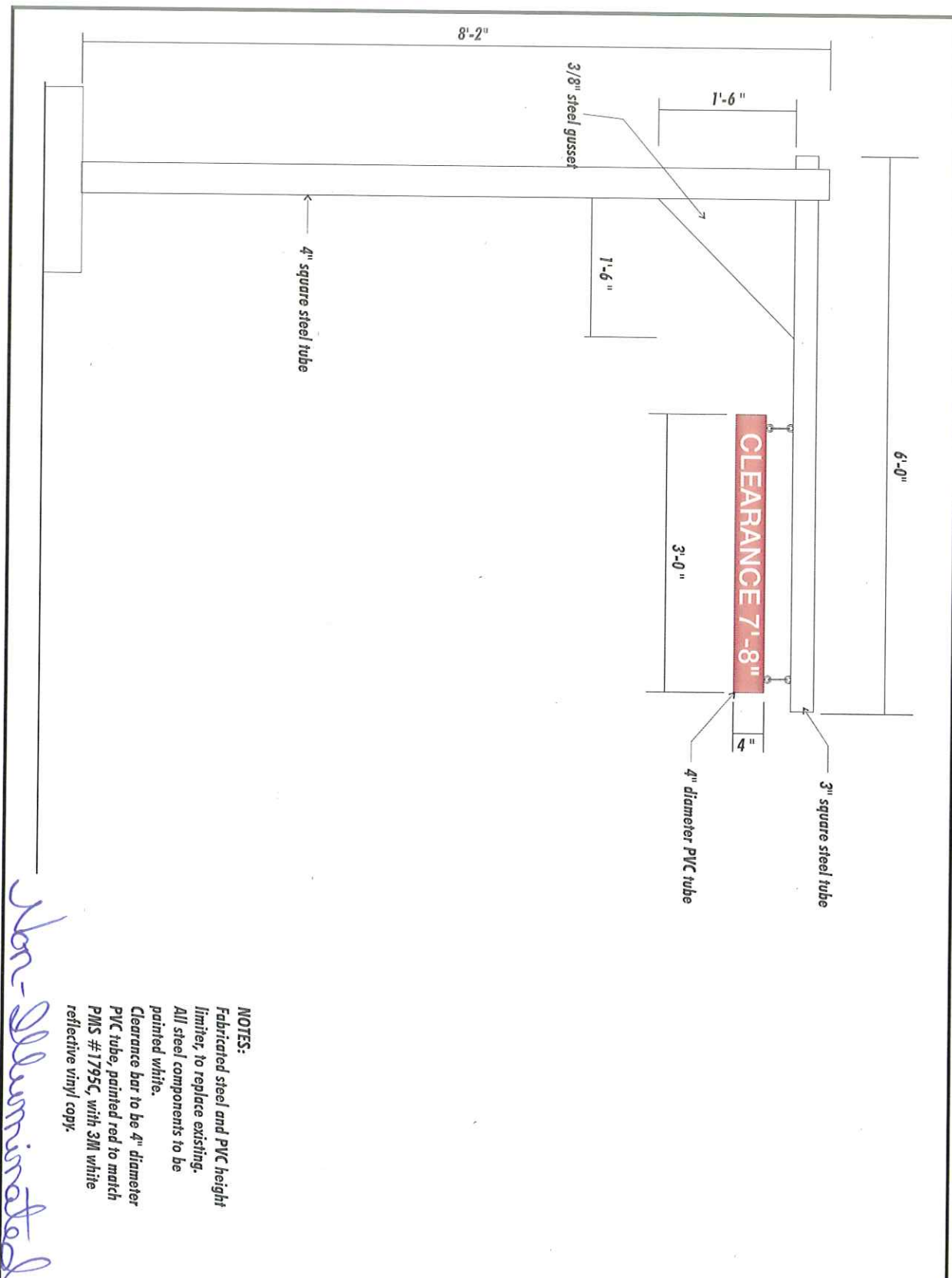


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COMPANY NAME	KeyBank	SALESMAN	H	DATE	11-3-14	REVISION	11-20-14	DESIGN NO.	B14-2181
LOCATION	301 West Michigan Ave., Ypsilanti, Michigan	DESIGNER	DM	SCALE	1" = 1'-0"			COPYRIGHT ©	2014
						FILE NAME			
						I:/key mich/301 west michigan ATM 2014			



NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.

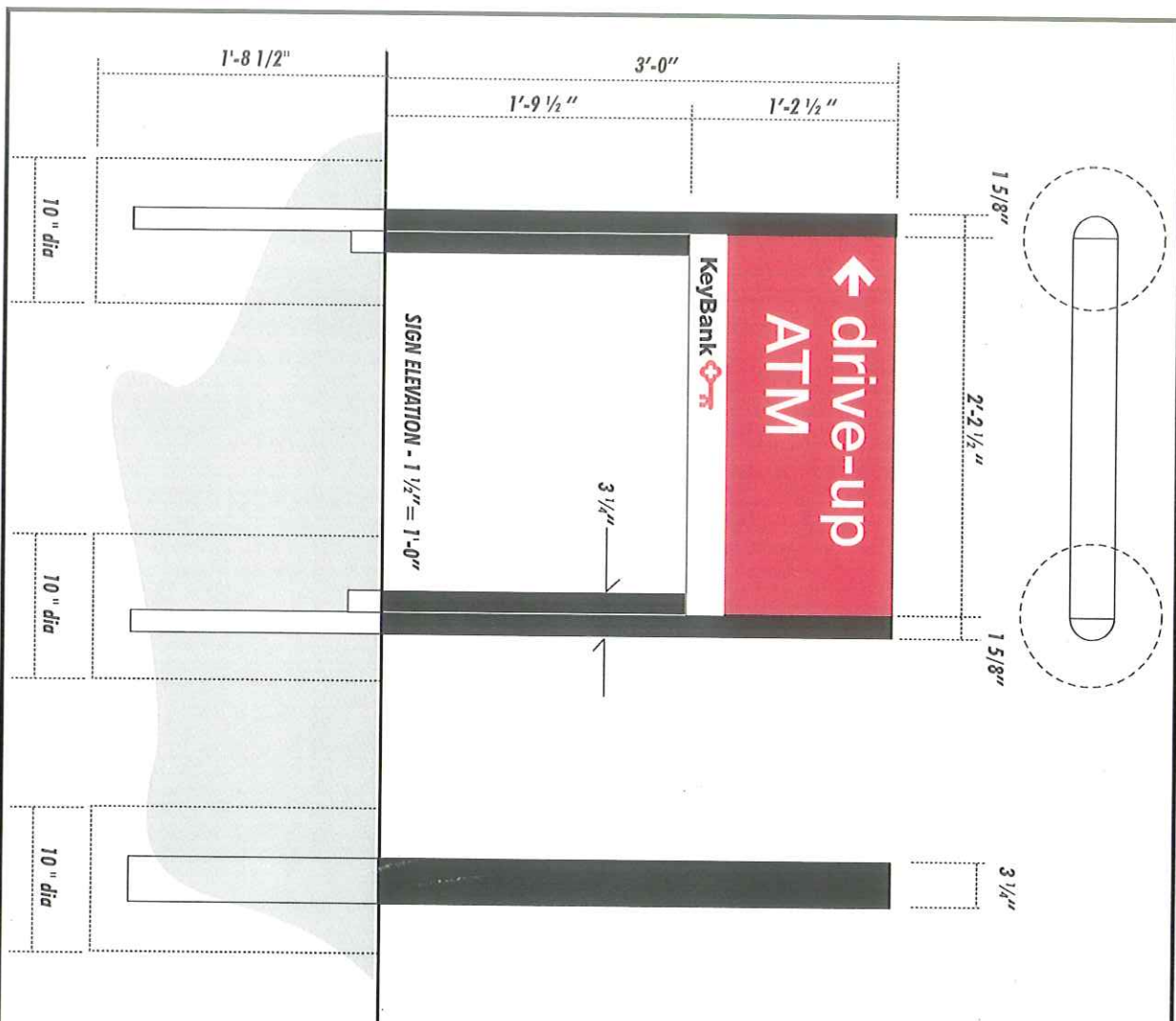


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COMPANY NAME	KeyBank	SALESMAN	H	DATE	11-3-14	REVISION	DESIGN NO.
LOCATION	301 West Michigan Ave., Ypsilanti, Michigan	DESIGNER	DM	SCALE	1" = 1'-0"		B14-2182
							COPYRIGHT © 2014
						FILE NAME	I:/key mich/301 west michigan ATM 2014



REVERSE FACE

NOTES:

TWO (2) DOUBLE-FACE, NON-ILLUMINATED, FABRICATED ALUMINUM DIRECTIONAL SIGNS, UPPER BACKGROUND TO BE PAINTED RED PMS #1795C WITH 3M REFLECTIVE WHITE COPY & ARROWS.
LOWER BAND TO BE 3M REFLECTIVE WHITE VINYL, WITH LOGOTYPE PRINTED RED PMS #1795C AND BLACK.
ALL REMAINING VISIBLE SURFACES TO BE PAINTED SATIN BLACK.

D1
DOUBLE-FACE
TWO (2) REQ.

NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.



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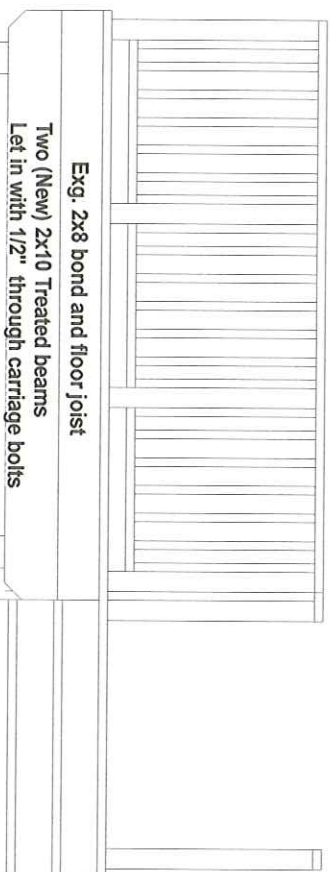
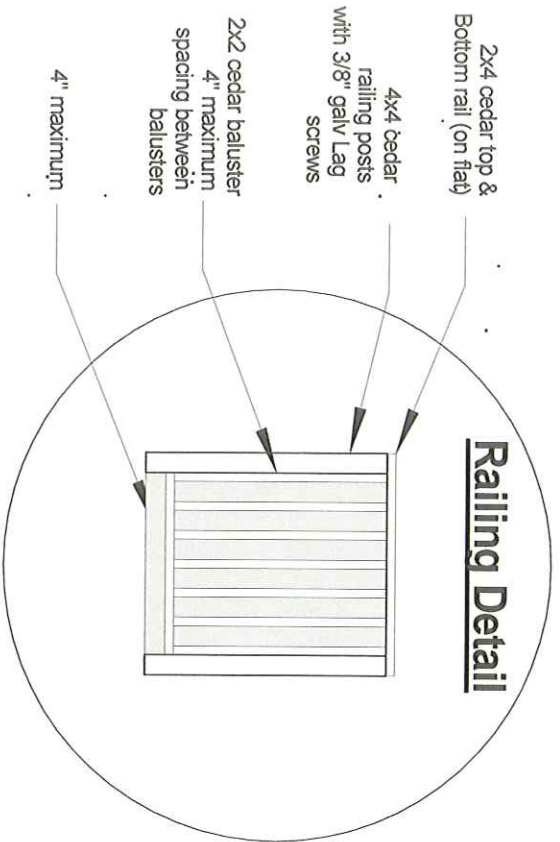
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COMPANY NAME	KeyBank	SALESMAN	H	DATE	11-3-14	REVISION	11-20-14	DESIGN NO.	B14-2183
LOCATION	301 West Michigan Ave., Ypsilanti, Michigan	DESIGNER	DM	SCALE	1-1/2" = 1'-0"			COPYRIGHT ©	2014
FILE NAME									l:/key mich/301 west michigan ATM 2014

Itemized Work Detail, Material Specifications and Fastening Methods

- I. Existing Deck Support System
 - a. Remove existing 4"x4" posts and 2"x10" support beams
 - b. Replace with 6"x6" pressure treated posts at a depth of 42" below grade and a double 2"x10" header
 - c. Headers to be let into posts and connected with 1/2"x8" galvanized carriage bolts w/ washers
- II. Railing
 - a. Remove existing railing
 - b. Add 4"x4" cedar posts that run through the decking and capture the framing. Add 2"x8" pressure treated framing blocks where needed and fasten with 2, 1/2"x4" galvanized lag bolts w/ washers.
 - c. Top and bottom rail to be constructed with cedar 2"x4" running on the flat, fastened to the cedar posts with 3" exterior grade deck screws
 - d. Balusters are cedar 2"x2" with a maximum spacing of 4", toenailed to the top and bottom rail with 16ga 1.5" galvanized finish nails.
 - e. Finished railing height at 36" above deck top
- III. Upper Stair Landing
 - a. Framing
 - i. Landing dimensions to be 4'x4'
 - ii. Framed with pressure treated 2"x6" with joists at 16" O.C. fastened with 3" exterior grade deck screws
 - b. Support
 - i. Upper landing frame to be connected to the house on the east side and fastened into the homes framing with 3" exterior grade deck screws. Galvanized joist hangers will be added to the interior joists. Framing to be flashed, surrounded with J channel and re-sided where connection to the house is made.
 - ii. West side of the landing to be supported with 4"x4" cedar posts (unless cedar posts do not meet local building code, then pressure treated lumber to be used) that extend from 42" below grade to 34 1/2" above deck top to capture railing. Landing framing connected to posts with 2, 1/2"x4" galvanized lag bolts w/ washers to be counter sunk into the exterior of the framing. Galvanized joist hangers will be added to the interior joists.
 - c. Decking
 - i. Upper landing to be decked with 1 1/4" cedar decking
 - ii. Fastened with 3" exterior grade deck screws
- IV. Lower Stair Landing
 - a. Lower landing framing and decking to be consistent with section III above. Landing support will be consistent with section III, b, ii listed above.
- V. Stairs
 - a. Stair stringers to be constructed out of 2"x12" pressure treated lumber.
 - b. Stringer tops to be connected with a 2"x6" pressure treated board fastened from end to end, on to stringer ends with 3" exterior grade deck screws. This will be the stair assemblies connection point at both landings, to be fastened to 3, 2"x6" pressure treated block hangers that extend up into the landings framing fastened with 3" exterior grade deck screws.
 - c. Stringer bottoms
 - i. Top stringer assembly to be connected with a 2"x4" pressure treated board let into the stringers and fastened with 3" exterior grade deck screws. This will be the connection point at the lower landing. Fastened through decking into landing framing with 3" exterior grade deck screws.
 - ii. Bottom stringer assembly to be connected with a 2"x6" pressure treated board fastened from end to end, on to stringer ends with 3" exterior grade deck screws. This board will be the support for the lower stair assembly and will connect the stringers to with 2, 1/2"x4" galvanized lag bolts w/ washers to 2, 4"x4" cedar posts (unless cedar posts do not meet local building code, then pressure treated lumber to be used) that extend from 42" below grade to 34 1/2" above the nose of the treads and capture the railing
 - d. Stair treads to be constructed with 1 1/4" cedar decking fastened to stringers with 3" exterior grade deck screws
 - e. Stair kicks to be constructed with 1"x8" cedar fastened to stringers with 3" deck exterior grade deck screws
 - f. Stair risers not to exceed 8 1/4" with a difference in risers not to exceed 3/8"
 - g. Stair treads will not have a depth of less than 9" and a 3/4" -1" nose
- VI. Handrail
 - a. Handrail will be a continuous painted interior grade Oak or SPF handrail returned to railing at both ends

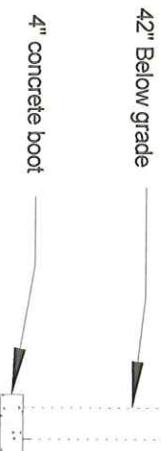


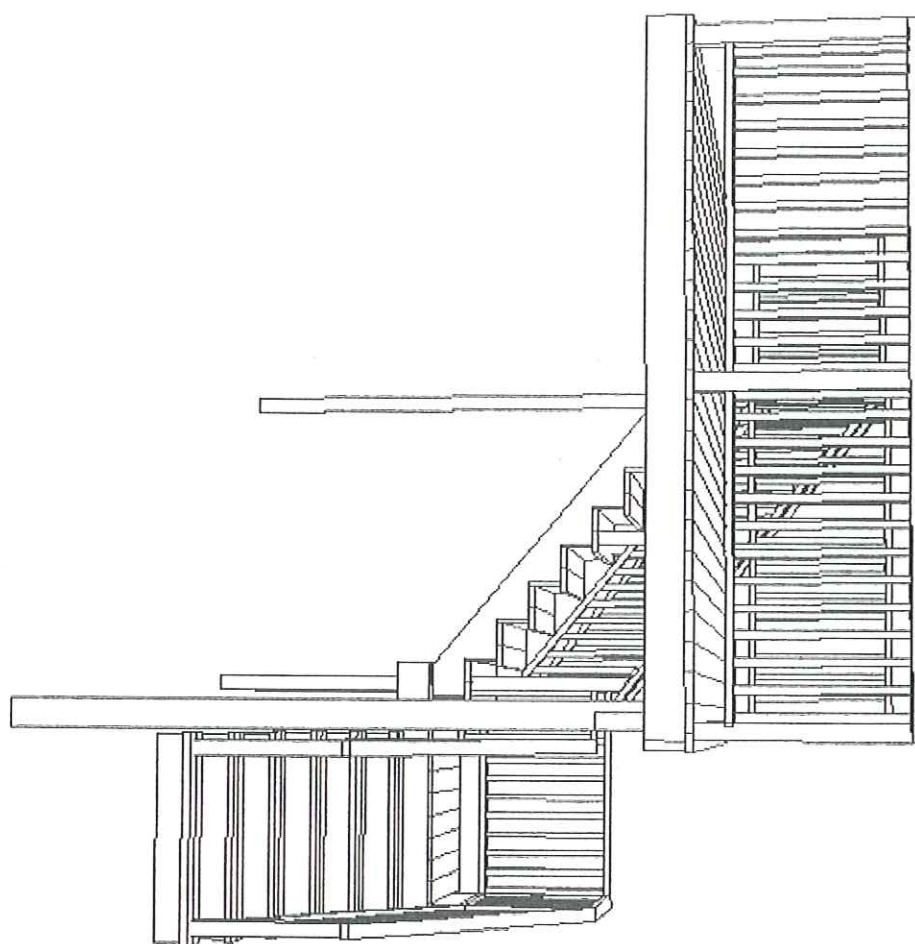
Note: Stair railing not shown in drawing. See 3D view

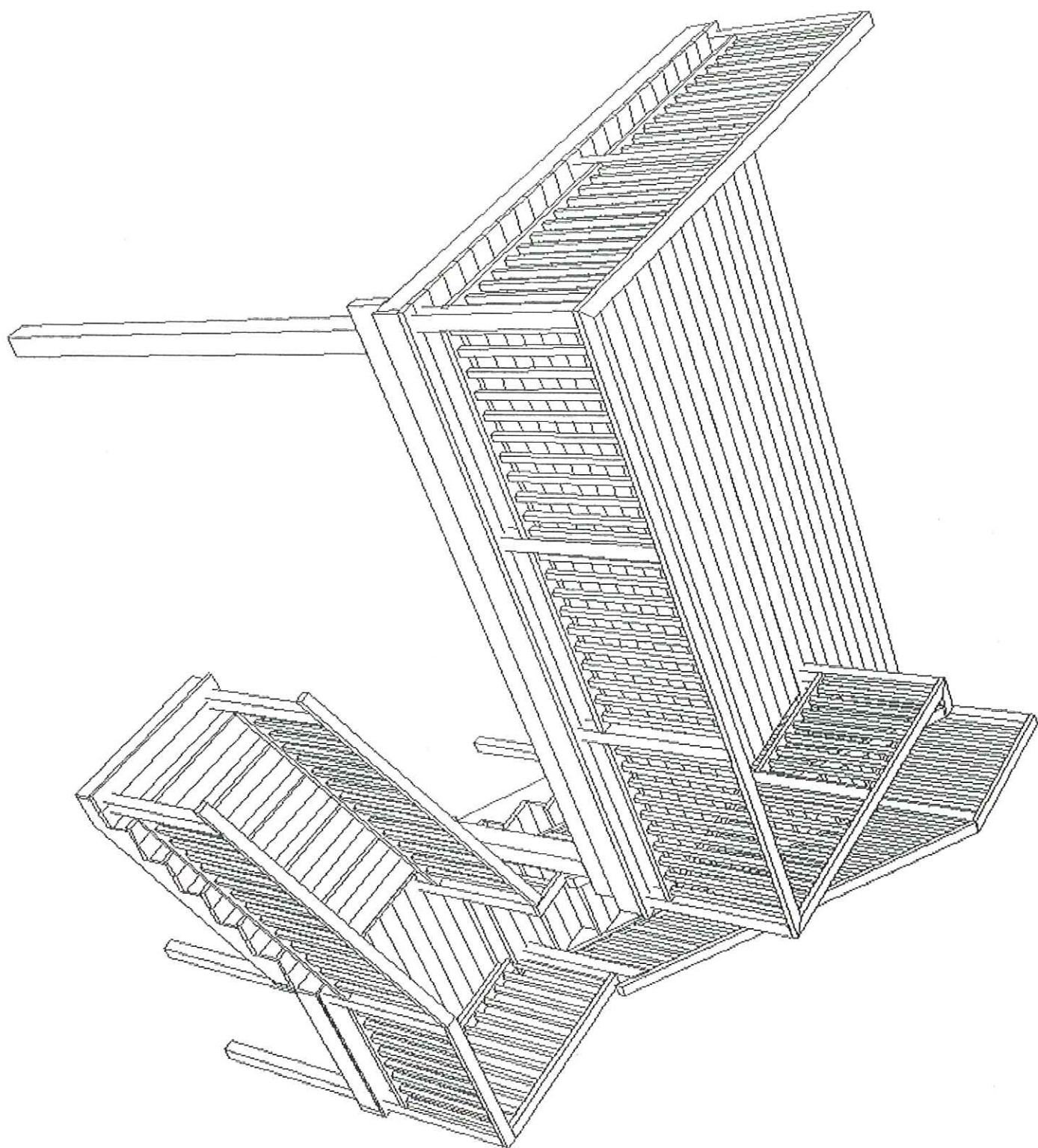
6x6 treated posts
Five quarter stock cedar treads
2x12 Treated stringer
1x8 Cedar kick boards

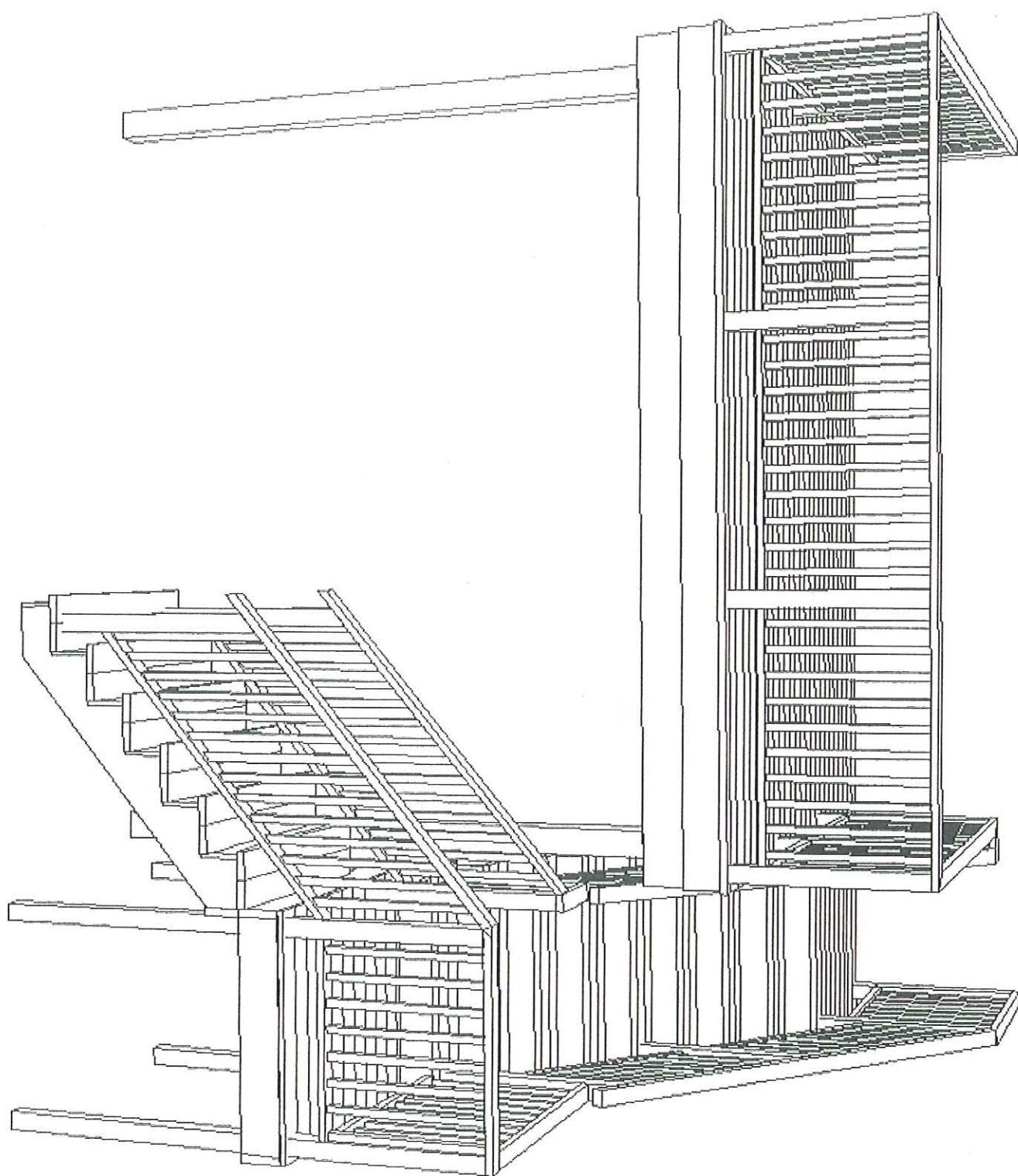
Note: All finish lumber cedar
All sub structure Treated

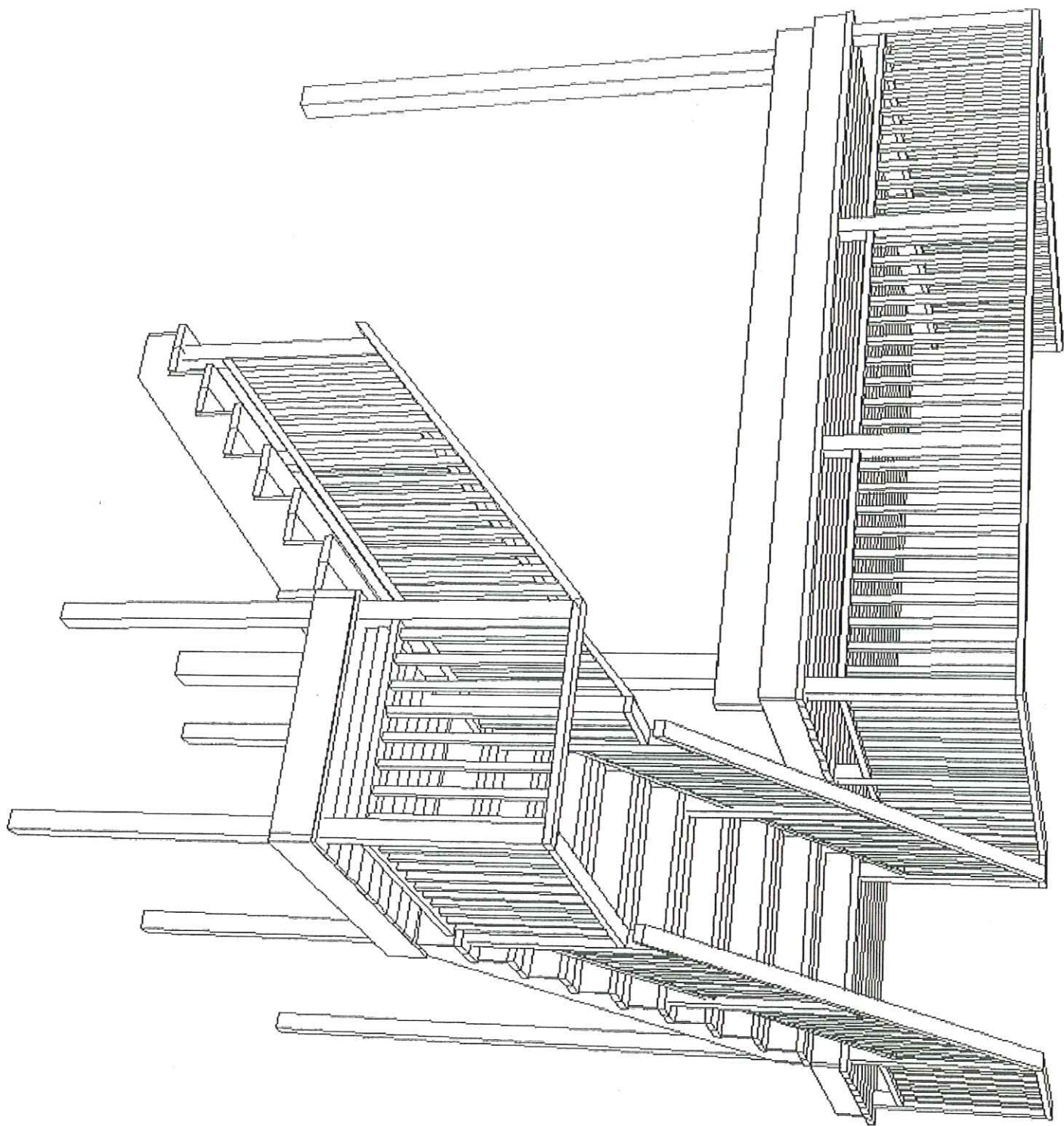
Cross Section

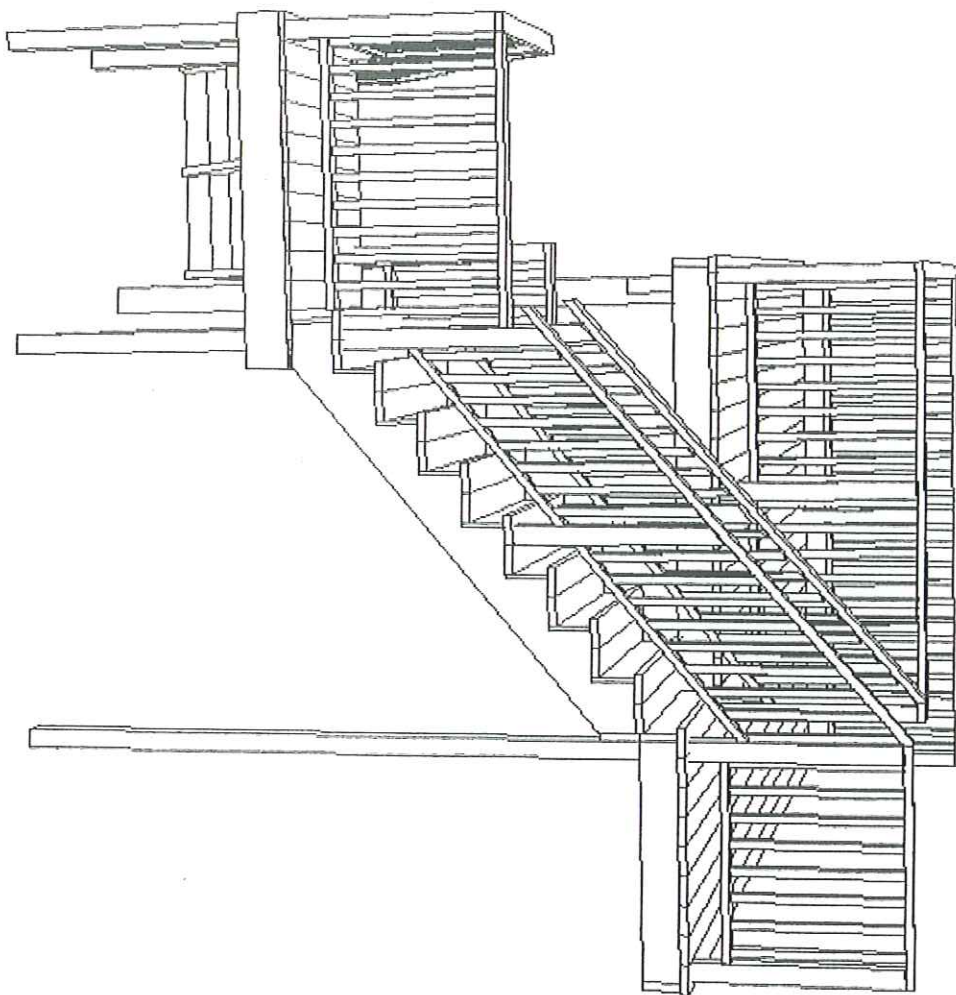












YPSILANTI HISTORIC DISTRICT FACT SHEET

Porches

This is one of a series of Fact Sheets provided by the Historic District Commission to assist property owners and building contractors in planning an appropriate rehabilitation of structures within the Historic District.

The Historic District Commission requires that a building be maintained in its original form whenever possible. The character and historic value of a building both change whenever alterations are made and every effort shall be made to maintain the historical integrity of a building.

Your application for a Historic District Work Permit, submitted to the Building Department, will be forwarded to the Historic District Commission for review and must be approved by the Commission before work can begin. A Building Permit will likely also be required.

Historic District Work Permit applications may be obtained from the Building Department on the 3rd floor of City Hall, in the Planning and Development Department on the 4th floor of City Hall, or on the City website, www.cityofypsilanti.com/hdc.

The following Historic District Commission (HDC) requirements apply to all porch projects, new or replacement. The Commission encourages the retention of original porch elements which still exist and, in some instances, requires duplication of parts. Porches should not be enclosed, as doing so changes both the appearance and the function of the porch. All projects will be considered on a case-by-case basis and are subject to the building code.

The following is a list of the separate parts that make up a porch:

CEILING: the porch ceiling shall, in most cases, consist of bead board.

HEADER: the header, if any, and its decorative elements shall be appropriate to the style of the building and in the proper proportion.

POSTS: the style of the posts shall be appropriate to the style of the house and existing porch details. If 4 x 4s are boxed, resulting posts must be at least 5 x 5. Replacement posts must match original posts, if any still exist, or be of the same diameter as the originals. Split posts may be required for attachment to an exterior wall.

GUARD RAIL (on the porch):

1 & 2 family homes: a guard rail is required if the porch floor surface is more than 30" above grade. Must be 36" high. (May be as low as 30" if evidence exists to indicate the height of original guard rail.) The guard rail shall consist of three parts: a **top rail** shall be a minimum 2 x 4 placed flat & shall have beveled top edges; **balusters** shall be a minimum 2 x 2 and be spaced so that a 4" sphere cannot pass through; a **bottom rail** shall be a maximum of 2 x 4 placed flat with beveled top edges, shall be at least 3" off of porch decking and shall have support blocks if the guard rail exceeds 8' between posts. All members shall be centered on the porch posts with butt joints.

3-unit & most multi-family and commercial structures: a guard rail is required if the porch deck is more than 30" above grade. The guard rail shall comply with Michigan building code, must be 42" high.

HAND RAIL (down the stairs):

1 & 2 family homes: one hand rail is required for all stairs with 4 or more risers (this number includes the porch itself). Must be per code. The hand rail must be graspable. Wood hand rails shall match the guard rail in style. Hand rails are to be installed at 34-38" above the face of the stair nosing of the first tread and must extend from the face of the top riser to the face of the bottom riser. -Ends shall return to the wall or terminate at post or safety terminal. No extension beyond the bottom riser is required. All diagonal members shall be centered on the porch posts and newel posts with butt joints. 1 1/2" pipe rails may be approved.

3-unit & most multi-family and commercial structures: hand rails are required on both sides of flights of 1 or more risers. Must be graspable. Must begin 12" horizontally beyond the face of top riser and

extend at a slope to at least one tread beyond the face of the bottom riser. Ends shall return to the wall or terminate at a post or safety terminal. Shall comply with Michigan building code.

DECK: the deck (floor) of the porch shall consist of 1 x 4 tongue and groove vertical grain fir porch flooring, and shall be installed with the narrow ends of the boards against the wall of the house. The deck shall overhang the skirt and the skirt trim by at least 1". The last deck boards (one at each end of the porch) shall have the exposed tongue and groove trimmed off. The deck of the porch should be sloped in order to shed water.

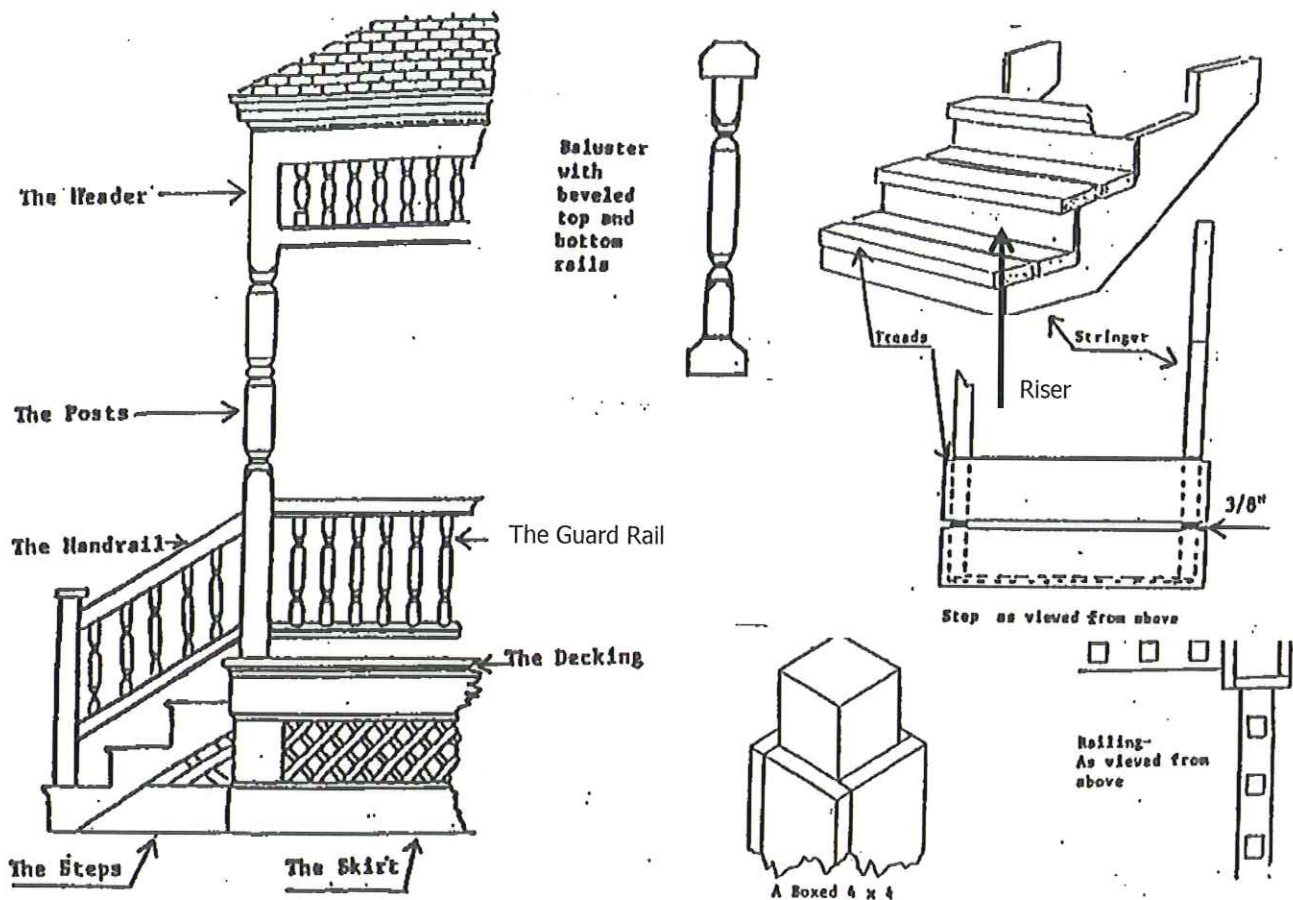
SKIRTING: porch skirting is required. The skirt shall be framed with a minimum of a 1 x 4. Prefabricated lattice is acceptable, although the HDC strongly recommends the original style and a more decorative skirting.

STEPS (1 & 2 family): pre-formed, multi-step concrete units are usually not appropriate. There are four different parts to the wooden step unit: stringers, treads, risers and skirt. Treads and risers shall be of 5/4" lumber. The maximum height of the rise shall be 8 1/2" - 1/4". The minimum depth of the tread shall be 9" measured from nosing to nosing. Treads shall rest on the stringers, not be rabbeted into the stringers. The tread shall consist of two boards separated by a 3/8" gap. Spacers shall fill the gap over the stringers. Treads have a minimum nosing of 3/4" and a 1/2" on the side of stringers. Treads shall overhang fronts of risers and side of stringers by no more than 1". The rise must be enclosed with a solid panel and shall cover the stringer. The top step must be one rise below the deck. A skirt shall enclose the area beneath the stringers and shall be the same style as the skirting on the porch. Steps shall be uniform; the maximum difference from highest to lowest is 3/8".

NEWEL: newel posts shall match or be related in style and size with porch posts. They shall be mounted on the bottom step and shall be capped.

LIGHTING: Any changes in lighting for the porch area must be approved by the HDC.

Please Note: Treated lumber should only be used for portions of the porch that come in contact with the ground. All parts of the porch that are above ground shall be painted or stained an opaque stain.



CITY OF YPSILANTI
HISTORIC DISTRICT COMMISSION
MINUTES OF NOVEMBER 25, 2014

CALL TO ORDER AND ROLL CALL

Hank Prebys Vice-Chair 7:00 PM

Meeting Location: City Council Chambers, City Hall

Commissioners Present: Jane Schmiedeke, Hank Prebys, Michael Condon, Erika Lindsay

Commissioners Absent: Anne Stevenson, Ron Rupert, Alex Pettit

Staff Present: Cynthia Kochanek, HDC Assistant

APPROVAL OF AGENDA

Motion: Schmiedeke (second: Condon) moves to approve the agenda as amended to include 306 N River, Suite C to other business.

Approval: Unanimous. Motion carries.

PUBLIC COMMENT ON AGENDA ITEMS - none

PUBLIC HEARING- none

OLD BUSINESS- none

OLD BUSINESS- none

NEW BUSINESS

330 E Cross

Applicant: Imperial Building Co., contractor (absent).

Discussion: Application is for the side porch roof replacement. The new roof is to be white TPO and it appears that the old roof was brown.

Prebys: States that this job is already completed.

Condon: States that it was done in white TPO.

Schmiedeke: States that while the roof is white TPO, you cannot see most of the side porch roof since it is essentially flat.

Motion: Lindsay (second: Condon) moves to approve the application for 330 E Cross for the side porch roof replacement in single-ply white TPO with the

amendment that the exposed vertical edge be painted to match the existing house trim color.

Secretary of the Interior Standard:
#5- Preserve distinctive features.

Approval: Unanimous. Motion carries.

314 N Adams

Applicant: Taryn Scherer, owner (present).

Discussion: Application is for installation of k- style gutters and seven downspouts in cranberry color.

Scherer: States that she just put the new roof on the house. Is planning to install the gutters in cranberry, which is the same color that already exists on the house. Is planning on having seven downspouts installed and will add two gutters on the side porch and one on the front porch.

Schmiedeke: Would like clarification on the proposal since the contractor sheet states that the color will be white and cranberry.

Scherer: States that the contractor didn't know at the time what color the applicant wanted to go with but she will be going with cranberry.

Prebys: Would like to know if the downspouts will be at the corners of the house as well as the side porch.

Scherer: Confirms that is the case.

Prebys: Would like to know whether the gutters will be installed with straps, spikes or screw fasteners.

Scherer: States that she can have them installed with whatever is required.

Motion: Condon (second: Schmiedeke) moves approval for the application for 314 N Adams to include the installation 5" k- style gutters in the color of cranberry. A total of seven downspouts, all placed at the corners of the structure. If the gutters are to be attached with straps, the straps must be installed under the existing shingles.

Secretary of the Interior Standard:
5- Preserve distinctive features.

Approval: Unanimous. Motion carries.

8 N River

Applicant: Equity Build, contractor; Robert Hopps, representative (present).

Discussion: Application is for stoop and sidewalk repair and door replacement.

Hopps: States that he is replacing the porch and door that was damaged in the accident. The door will be Simpson #6803 in Fir. It will be primed and painted. He states that the owners are open to paint color for the door.

Prebys: States that white would not be practical for the color of the door.

Schmiedeke: Suggests Sherwin Williams #7578 Borscht for the color for the door.

Hopps: States that another car hit the back of the house and damaged the brick foundation. Would like to know if he needs to return to the HDC for the work to fix this.

Prebys: Would like to know if it is just a repair.

Hopps: Confirms that is the case.

Prebys: States that if it is a repair then it does not need to come before the HDC.

Condon: States that it is a repair as long as the same materials are used.

Motion: Schmiedeke (second: Condon) moves approval of the application for 8 N River to remove the steps and sidewalks damaged by the car accident and to replace with the same to match the previous installation. To replace the entry door with Simpson# 6803 to be painted in Sherwin Williams #7578, Borscht.

Secretary of the Interior Standard:

6-Repair, don't replace. Replacements shall match original.

9- Contemporary designs shall be compatible and shall not destroy significant original material.

Approval: Unanimous. Motion carries.

STUDY ITEMS

414 N River

Applicant: Irmgard Gelletly, owner (present).

Discussion: Application is for solar panel installation on a front gable roof.

Gelletly: Had a solar survey done. She states that most of the time the roof will be in the shade of Thompson Block except for the very top. The applicant would like to know if it would be feasible to install the solar panels. She states that most of the time the roof is not seen due to the tree in the front yard. The panels may be set back about 12 inches from the edge of the roof.

Condon: Suggests that the solar panels be set back about a foot, so that it cannot be seen from the street. States that he has no objection as long as you cannot see the panels from River Street. Offers the suggestion that the panels can hang off of the back of the house if needed.

Galletly: States that she is afraid that if the panels hang off of the back of the house that the wind would lift them.

Prebys: States that in principle, solar is not an issue but that the one issue is with the look.

ADMINISTRATIVE APPROVALS

6 S Washington

Discussion: Application is for the installation of a new flat roof. Roof will be white, single-ply TPO. Staff administratively approved this application.

Motion: Schmiedeke (second: Condon) move acceptance of administrative approval for 6 S Washington.

Approval: Unanimous. Motion carries.

OTHER BUSINESS

Property Monitoring:

169 N Washington: Appears that there was a fire at this location and it needs to be monitored. Staff took photos on 11/11/14, otherwise no update.

525 N Huron: Staff will continue to monitor. Photos taken on 11/6/14. Stevenson suggests that a letter be sent at some point advising the owner that the property is still not compliant for the windows.

214 W Forest: Photos taken 11/6/14, the window on the back has been sided over. Letter was sent 11/13, no response at this time.

314 E Cross: No update.

35 S Huron: No update.

106 S Washington: No update.

613 N Prospect: No update.

221 S Washington: Staff advises that a letter was sent on 10/28/14 to the owner regarding fence needing painting. No response has been received at this time. A second notice will be sent after one month has passed.

306 N River St, Suite C:

Original Moxie owner submitted a cut sheet for the doors that she would like to have the HDC confirm is ok. HDC is ok with smooth door and ¾ lite.

AUDIENCE PARTICIPATION ON NON-AGENDA ITEMS –none

HOUSEKEEPING BUSINESS

Approval of the minutes of November 11, 2014

Motion: Condon (second: Schmiedeke) moves to approve the minutes as submitted.

Approval: Unanimous. Motion carries.

ADJOURNMENT

Motion: Schmiedeke (second: Condon) moves to adjourn.

Approval: Unanimous. Motion carries.

MEETING ADJOURNED AT 7:37 pm