

1. Agenda

Documents: [HISTORIC DISTRICT COMMISSION MEETING AGENDA OCTOBER 14, 2014 \(PDF\).PDF](#)

2. Agenda Packet

Documents: [HISTORIC DISTRICT COMMISSION MEETING AGENDA PACKET OCTOBER 14, 2014 \(PDF\).PDF](#)

CITY OF YPSILANTI
Historic District Commission
Regular Meeting Agenda

Tuesday, October 14, 2014
7:00 p.m.

The Ypsilanti Historic District Commission works to safeguard Ypsilanti's built heritage by guiding development and renovation within the Historic District. Enabled by federal, state, and local legislation, the HDC seeks to stabilize and improve property values, to promote preservation education, and to develop the Ypsilanti Historic District as a vital living area.

An audio recording of the meeting will be made for the purpose of assisting in the preparation of official minutes only. Once the official minutes are approved the audio recording will be destroyed.

I. CALL TO ORDER AND ROLL CALL

Anne Stevenson, Chair	P	A
Hank Prebys, Vice Chair	P	A
Ron Rupert	P	A
Michael Condon	P	A
Alex Pettit	P	A
Jane Schmiedeke	P	A

II. APPROVAL OF AGENDA

III. PUBLIC COMMENTS ON AGENDA ITEMS

IV. PUBLIC HEARING - None

V. BUSINESS SESSION

- A. OLD BUSINESS
 - 1. **308 Maple** Garden shed installation
- B. NEW BUSINESS
 - 1. **6 W Michigan** Window, door and roof replacement
 - 2. **25 E Cross** Sign installation, painting
 - 3. **507 N Hamilton** Window, door, gutter & siding replacement
 - 4. **17-21 E Cross** Sign installation
 - 5. **207 N Hamilton** Roof replacement
 - 6. **400 N River** Window, door & patio installation, painting, brick repair/replacement
- C. STUDY ITEMS- None
- D. ADMINISTRATIVE APPROVALS- None
- E. OTHER BUSINESS
 - 1. **Property monitoring updates**

VI. AUDIENCE PARTICIPATION ON NON-AGENDA ITEMS

VII. HOUSEKEEPING BUSINESS

Approval of the minutes of September 23, 2014

VIII. ADJOURNMENT

Secretary of the Interior's Standards for the Rehabilitation of Historic Structures

Developed by the U.S. Department of the Interior, the Standards provide a framework that guides protective decisions regarding historic structures. The Historic District Commission is required to cite applicable Standards with each formal decision it renders. It may also cite HDC Fact Sheets as part of its decision-making process.

1. Use property for original purpose or provide compatible use with minimal alteration.

A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

2. Do not destroy original character. Do not remove or alter historic material or features.

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

3. Do not imitate earlier styles.

Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

4. Preserve significant changes acquired over time.

Changes to a property that have acquired historic significance in their own right will be retained and preserved.

5. Preserve distinctive features.

Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

6. Repair, don't replace. Replacements shall match original.

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

7. Clean building gently—no sandblasting.

Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

8. Preserve archaeological resources.

Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

9. Contemporary designs shall be compatible and shall not destroy significant original material.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

10. New work shall be removable.

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

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Garden shed installation

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Window, door and roof replacement

2. 25 E Cross

Sign installation, painting

3. 507 N Hamilton

Window, door, gutter & siding replacement

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5. 207 N Hamilton

Roof replacement

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Window, door & patio installation, painting, brick repair/replacement

C. STUDY ITEMS- None

D. ADMINISTRATIVE APPROVALS- None

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Ypsilanti Historic District

Work Permit Application

Date filed 9/16/14 for HDC meeting date 9/23/14

Action item ☒

Study item ☐

Action items require payment of the application fee. There is no fee to submit a study item for discussion.

Property Address 308 Maple

Applicant

☒ Owner

☐ Architect

☐ Contractor

Name

DAVID ALBER

Address

308 MAPLE

City

YPSI

State

Zip

Phone

734-262-0810

Fax

E-mail

Owner

(If different than applicant)

Who will perform the work?

☒

Owner

☐

Contractor

Contractor

(Name, address,

phone)

Action Items only:

Construction Cost

\$200 TO \$300

Permit Application Fee

35⁰⁰

The permit fee is \$20 plus \$5 for each (or any portion of) \$3000 of construction cost. Payment is due at the time of application.

To complete this application:

1. On the reverse side, summarize the work proposed, list the main materials to be used, and (if relevant) indicate the color scheme planned.
2. Attach the following documents:
 - a. Photo(s) showing all locations where work is proposed
 - b. Paint color chips (if relevant)
 - c. Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components
 - d. Dimensioned drawings of any new construction or modifications to existing structures
 - e. A site plan, if proposal is for work on the grounds and not just the structure (e.g., installing an air conditioning system compressor). For fences, new structures, or work that will alter the footprint of existing structures, a photocopy of the mortgage survey with proposed changes indicated is required.

Submit the completed application to the City of Ypsilanti Building Department, 1 South Huron Street, along with the application fee if you wish the HDC to consider the proposal as an action item, not a study item.

Incomplete applications will not be considered.

For additional information, or if you have questions, contact the City of Ypsilanti Planning and Development Department, 734.483.9646, hdc@cityofypsilanti.com.

Ypsilanti Historic District Work Permit Application

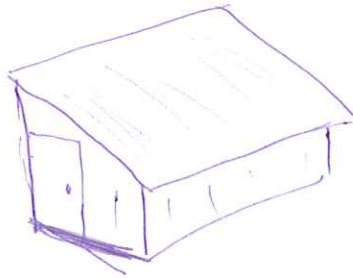
Date filed 9/16/14 for HDC meeting date 9/23/14

Property Address 308 MAPLE

Applicant _____

Description of proposed work (see sample applications)

construction of 8'x12' GARDEN SHED



Materials

Reclaimed lumber Framing

NEW T-111 SIDING
CORRIGATED roofing

Colors (Attach color chips or samples)

Body SAME AS HOUSE

Accent 1 _____

Trim _____

Accent 2 _____

Roof opaque

Other _____

- ☐ This property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended. (Compliance with this act must be certified to complete this application.)

I hereby attest that the above information is accurate. I am authorized to and hereby grant permission to the City of Ypsilanti and its staff to be on my property for the purposes of preparing reports, taking photographs, and/or evaluating and reviewing this application.

[Signature]
Signature of Applicant

9/16/14
Date



308 maple



308 Maple



Ypsilanti Historic District

Work Permit Application

Date filed

10-2-14

for HDC meeting date

10/14/14

Action item ☐

Study item ☐

Action items require payment of the application fee. There is no fee to submit a study item for discussion.

Property Address

6 W. Michigan Ave.

Applicant

☐ Owner

☒ Architect

☒ Contractor

Name

Gary Lamarand

Address

11717 Pardee Rd.

City

Taylor

State

MI

Zip

48180

Phone

734-818-6666

Fax

N/A

E-mail

lamarand@comcast.net

Owner

Nathaniel Worthing

(If different than applicant)

Who will perform the work?

☐ Owner

☒ Contractor

Contractor

Gary Lamarand

(Name, address, phone)

11717 Pardee Rd., Taylor, MI. 48180

Action Items only:

Construction Cost

\$80K

Permit Application Fee

160⁰⁰

The permit fee is \$30 plus \$5 for each \$3,000 of construction cost, and is due at the time of application. An additional administrative fee of \$50 applies to HDC work started without the issuance of applicable permit.

To complete this application:

1. On the reverse side, summarize the work proposed, list the main materials to be used, and (if relevant) indicate the color scheme planned.
2. Attach the following documents:
 - a. Photo(s) showing all locations where work is proposed
 - b. Paint color chips (if relevant)
 - c. Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components
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Incomplete applications will not be considered.

For additional information, or if you have questions, contact the City of Ypsilanti Planning and Development Department, 734.483.9646, hintern@cityofypsilanti.com.

Ypsilanti Historic District Work Permit Application

Date filed _____ for HDC meeting date _____

Property Address 6. W. Michigan Ave.

Applicant Gary Lamarand

Description of proposed work (see sample applications)

- 1) Minor interior renovations.
- 2) Close off 2-existing rear doors.
- 3) Install new rear entry door.
- 4) Paint the entire exterior with Sherwin Williams "Poised Taupe" color.
- 5) Remove and replace roofing membrane
- 6) Remove make-up air handler and AC unit from roof.
- 7) Remove + replace 2-existing front windows

Materials

Paint: Sherwin Williams "Poised Taupe".
Door + Windows: Bronze aluminum frames.
Roof: TPO, off white color, single membrane.

Colors (Attach color chips or samples)

Body Poised Taupe

Trim Poised Taupe

Roof Off-white

Accent 1 _____

Accent 2 _____

Other _____

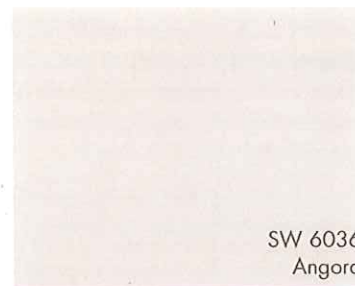
- ☐ This property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended. (Compliance with this act must be certified to complete this application.)

I hereby attest that the above information is accurate. I am authorized to and hereby grant permission to the City of Ypsilanti and its staff to be on my property for the purposes of preparing reports, taking photographs, and/or evaluating and reviewing this application.

[Signature]
Signature of Applicant

10-2-14
Date

SW 6035
Gauzy White



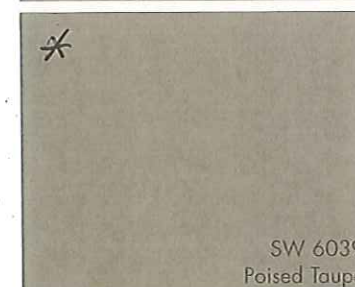
SW 6036
Angora



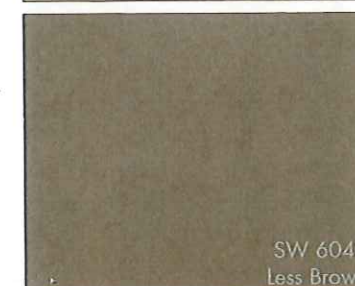
SW 6037
Temperate Taupe



SW 6038
Truly Taupe



SW 6039
Poised Taupe



SW 6040
Less Brown



SW 6041
Otter

COPY

PS167-040



SIGN PERMIT APPLICATION

CITY OF YPSILANTI BUILDING DEPARTMENT
One South Huron, Ypsilanti, MI 48197
Phone (734) 482-1025 ♦ Fax (734) 483-7444
www.cityofypsilanti.com

Date: _____

Business Information	Business Name	Business Address	Business Phone #
	Ann Arbor Professional Pharmacy		734-434-7333
	Owner Name	Owner Address	Owner Phone #
	Nathaniel Worthing		517-879-9260
	Owner signature (Alternately, a signed contract may be attached)		

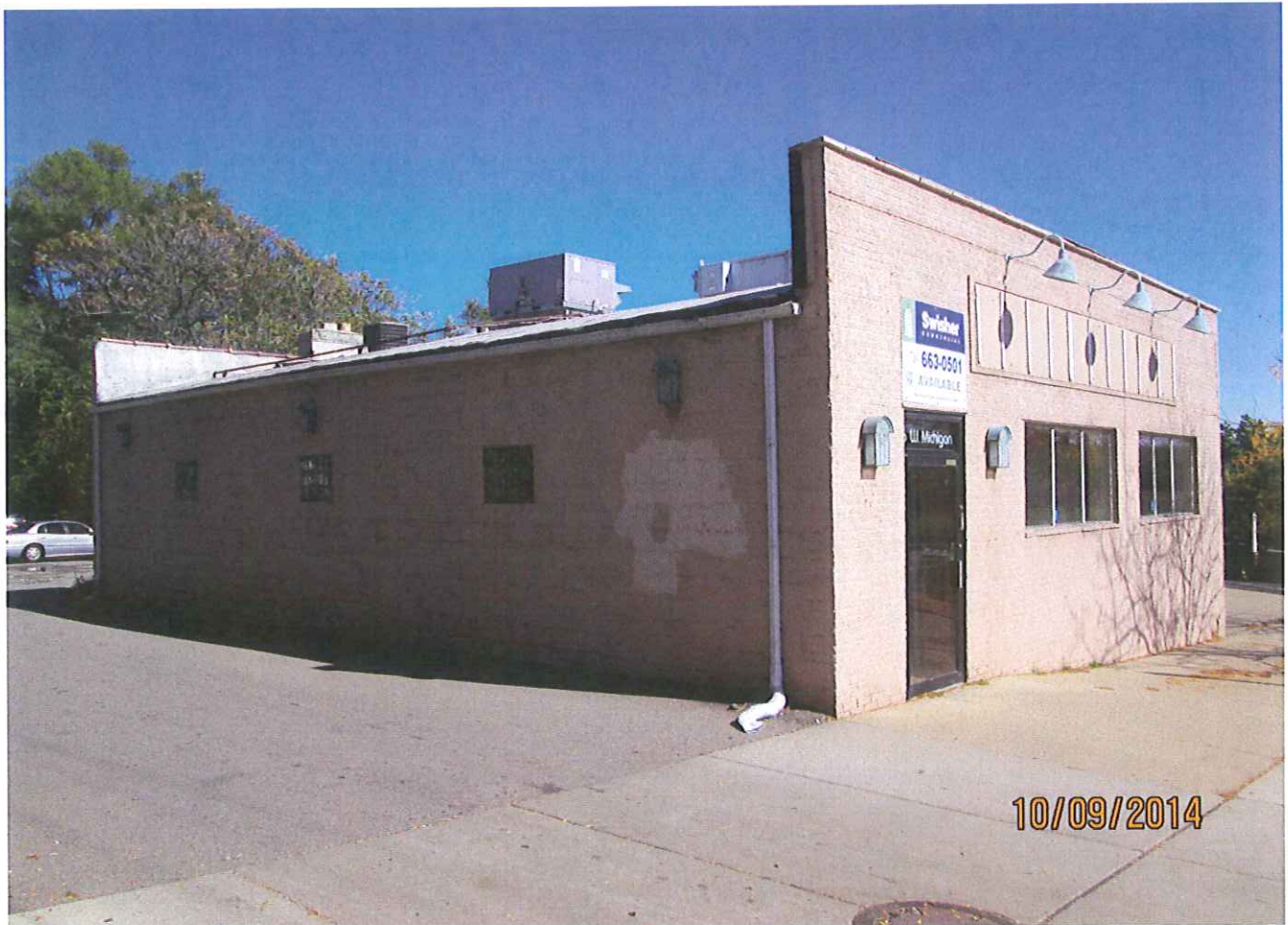
Applicant Information	Contractor Name	Contractor Address	Phone #
	Gary Lamarand	11717 Pardee Rd., Taylor, MI	734-818-6666

Sign Information	Location(s)	☒ Permanent ☐ Temporary* (30 Day)	Historic District	Zoning
	Front Wall	*Dates: From _____ to _____	☒ Y ☐ N	B-3
	Type of Sign(s)		Dimensions	
	☐ Billboard ☐ Banner ☐ Awning/Canopy ☐ Construction ☐ Building Directory ☐ Inflatable ☐ Menu ☐ Special Event ☐ Projecting ☐ Illuminated sign* ☒ Wall Sign * Electrical permit required (additional fee) ☐ Ground (pole or monument) ☐ Other (specify) _____ ☐ Mural ☐ Residential Entry		Sign 1 2.5' x 21' = 52.5 sq ft Sign 2 _____ x _____ = _____ sq ft Sign 3 _____ x _____ = _____ sq ft Total Square Footage: 52.5 sf Height (from grade) 10' Weight 100 lbs. Material(s) Plastic	
	All non-residential permit applications must include a Master Sign Plan showing the dimensions, location, and lighting of all proposed and existing signs on the property. It does not have to be to scale.			

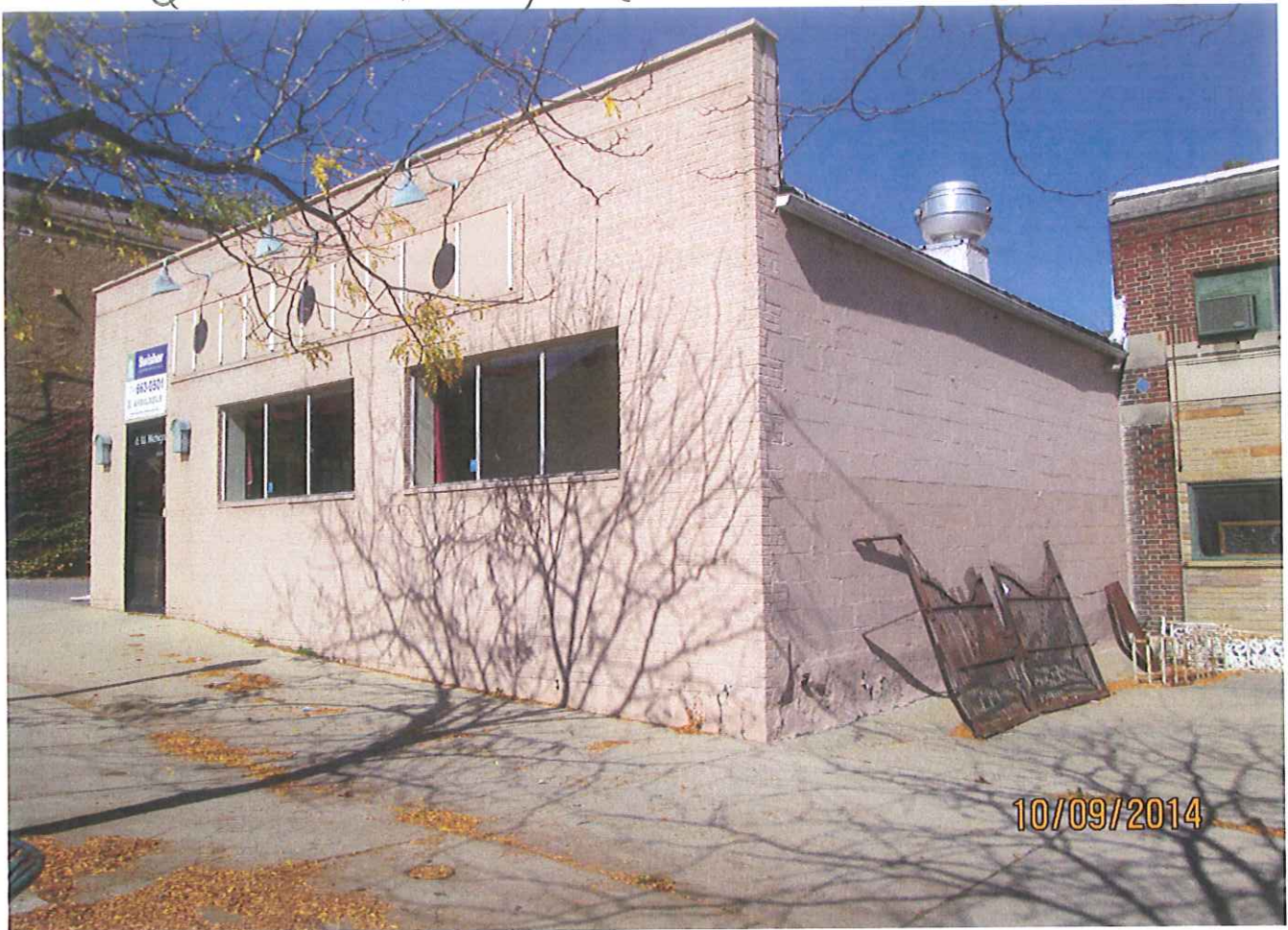
Building Information	Frontage	Setback	Height
	38'-0"	0.0'	15'-0"

Permit Information (City use only)	Notes	
	Applicant/Contractor Signature	Date
	HDC Approval (if required)	Date
	Planning/Zoning Signature	Date
	Building Department Signature	Date
	Deposit (if required) _____ Permit Fee _____ Registration Fee _____ Administration Fee _____ Total Permit Fee _____ Approved _____ Denied _____	

60 W Michigan



6 W Michigan





Ypsilanti Historic District

Work Permit Application

Date filed 10/6/14 for HDC meeting date 10/14/14

Action item ☐

Study item ☐

Action items require payment of the application fee. There is no fee to submit a study item for discussion.

Property Address 25 E Cross St., Ypsilanti 48197

Applicant

☒ Owner ☐ Architect ☐ Contractor

Name Elizabeth Lee Wilkinson

Address 96 E. Columbia Ave.

City Belleville State MI Zip 48111

Phone 734-325-7501 or 255-0958 Fax

E-mail bethwilk49@gmail.com

Owner
(If different than applicant)

Who will perform the work? ☐ Owner ☒ Contractor

Contractor Oona Goodman
(Name, address, phone) ONNA.GOODMAN@GMAIL.COM 734-985-1136

Action Items only:

Construction Cost Permit Application Fee 3500

The permit fee is \$30 plus \$5 for each \$3,000 of construction cost, and is due at the time of application. An additional administrative fee of \$50 applies to HDC work started without the issuance of applicable permit.

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Submit the completed application to the City of Ypsilanti Building Department, 1 South Huron Street, along with the application fee if you wish the HDC to consider the proposal as an action item, not a study item.

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For additional information, or if you have questions, contact the City of Ypsilanti Planning and Development Department, 734.483.9646, hintern@cityofypsilanti.com.

Ypsilanti Historic District Work Permit Application

Date filed _____ for HDC meeting date _____

Property Address 25 E. Cross St., Ypsilanti
Applicant Elizabeth Lee Wilkinson

Description of proposed work (see sample applications)

Signage is planned for a new shop, Artifact & Whimsy.
Two windows and the front door will be painted.
Also, a sign will be affixed above the awning
and attached to the wood there.

(Sketches attached)

Materials

Sign above the awning will be metal & painted.
Windows will be painted.

(please see attached)

Colors (Attach color chips or samples)

Body of sign → purple, gold & green Accent 1 _____
Trim green & metallic gold Accent 2 _____
Roof _____ Other _____
purple

- ☒ This property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.
(Compliance with this act must be certified to complete this application.)

I hereby attest that the above information is accurate. I am authorized to and hereby grant permission to the City of Ypsilanti and its staff to be on my property for the purposes of preparing reports, taking photographs, and/or evaluating and reviewing this application.

Elizabeth Lee Wilkinson
Signature of Applicant

10/6/2014
Date

Custom Art Commission Contract

This Agreement is made the 4th day of OCTOBER (month), 2014 (year), by & between:

(The Artist) Name: ONNA GOODMAN

Address: 12925 WHITTAKER RD MILAN, MI 48160

Phone: 1-734-985-1136 Email: ONNAGOODMAN@gmail.com

And

(The Collector) Name: Elizabeth Lee Wilkinson

Address: 96 E. Columbia Ave, Belleville, Mi. 48111

Phone: 734-325-7501 Email: bethwilk49@gmail.com

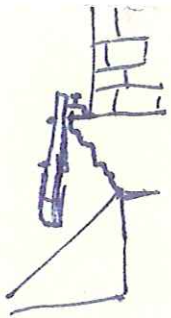
Agreement between Artist & Collector as follows:

1. **The Artwork:** Collector is commissioning artist, Oona Goodman, to paint a series of storefront displays (One (1) overhead sign, and Three (3) window decals)
2. **The Concept:** The Artist will paint an overhead store sign with name of store on sheet metal (approx. 48" x 24"), a front door window sign with name of store on glass (approx. 18" x 24"), and two decorative borders on two outward-facing shop windows (sized 16" x 66" and 58" x 66")
3. **Payment Schedule:** A non-refundable deposit of 50% of service fees and 100% of estimated materials is required before artwork commences. The payment is due in full upon delivery of artwork.
4. **Payment Amount:** The artist and collector agree upon \$1240 USD selling price. Collector will pay additional material costs to finish projects agreed upon and any taxes due.
5. **Copyright:** Artist retains the copyright to all works commissioned by Collector that was created by Artist, including all reproduction rights and the right to claim statutory copyright. No artwork may be reproduced or altered without the written consent of the Artist.
6. **Right of Refusal:** In the event that the Collector does not wish to purchase the commissioned artwork, the Collector may refuse. In that case, the Artist will retain the refused artwork and the non-refundable deposit. This is free of any claims or interests of the Collector and the Collector will not owe any additional fees to the Artist.

IN WITNESS WHEREOF the Artist and Collector have executed the Agreement on the day & year written above.

Oona Goodman
Artist

Elizabeth L. Wilkinson
Collector



7 1/2" metal brackets
 ≥ \$200
 2000
 4575 1/2" x 1/2" x 1/2"
 200 1/2" x 1/2" x 1/2"
 60 1/2" x 1/2" x 1/2"
 40
 40 20
 \$720
 520



ANTIQUES, COLLECTIBLES AND HANDICRAFTS

• GREEN & GOLD LETTERING

• PURPLE & GOLD EA & ANTIQUES, COLLECTIBLES, & HANDICRAFTS

• GREEN, PURPLE & GOLD PEACOCK FEATHER

NOTE: will be slightly different in people



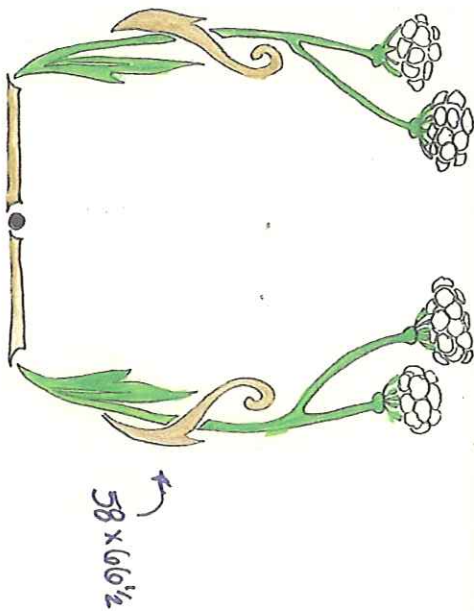
• Burgundy will be ^{deep} purple
INSTEAD

• LETTERING METALLIC GOLD

• GREEN ACCENTS

• W/IN 48" X 24"

• ARTIFACTS WILL BE ARTIFACT, NO 'S'



~~58 x 66 1/2~~



16 x 66 1/2

- GREEN BORDER
- PURPLE & GOLD LETTERING



Ypsilanti Historic District Work Permit Application

Rec 18244

3

Date filed 10/3/2014 for HDC meeting date 10/14/2014

Action item ☒

Study item ☐

Action items require payment of the application fee. There is no fee to submit a study item for discussion.

Property Address 507 North Hamilton Ypsilanti, MI 48197

Applicant ☐ Owner ☐ Architect ☒ Contractor

Name Cameron Gunther

Address 1740 Jewel Rd

City Milan State MI Zip 48160

Phone (734) 260-4154

Fax _____

E-mail cameron@jcjbuilding.com

Owner Erick Johnson

(If different than applicant)

Who will perform the work? ☐ Owner ☒ Contractor

Contractor JCJ Contracting Inc.

(Name, address, phone)

1740 Jewel Rd Milan, MI 48160 (734) 260-4154

Action Items only:

Construction Cost \$138,500.00 Permit Application Fee 700.00

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Ypsilanti Historic District Work Permit Application

Date filed 10/3/2014 for HDC meeting date 10/14/2014

Property Address 507 North Hamilton Ypsilanti, MI 48197

Applicant Cameron Gunther

Description of proposed work *(see sample applications)*

- 1) Miscellaneous siding will be replaced.
- 2) Deck boards, handrails, and steps will be replaced.
- 3) Gutters will be replaced.
- 4) Tuck point any brick needs.
- 5) Windows and doors will be replaced.
- 6) Removal of large bush by front deck.

Materials

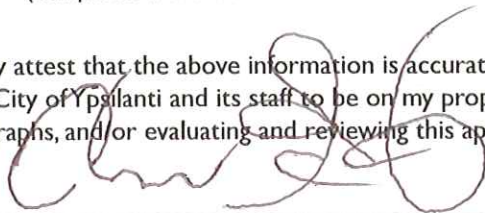
- 1) Reversible Paulownia wood bevel siding.
- 2) All deck boards, handrails, and steps will be replaced with pressure treated lumber to restore to previous historical appearance.
- 3) White metal gutters and downspouts.
- 4) Mortar.
- 5) Aluminium clad wood windows. Doors are being replicated by preservation design.
- 6) Replaced by smaller, decorative bushes.

Colors *(Attach color chips or samples)*

Body	<u>Blue/Blue Gray</u>	Accent 1	<u>Stained Doors</u>
Trim	<u>White</u>	Accent 2	<u>Blue Deck Boards and White Hand Rails</u>
Roof	<u>Three Tab Black Shingles</u>	Other	<u>White Gutters</u>

- ☒ This property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.
(Compliance with this act must be certified to complete this application.)

I hereby attest that the above information is accurate. I am authorized to and hereby grant permission to the City of Ypsilanti and its staff to be on my property for the purposes of preparing reports, taking photographs, and/or evaluating and reviewing this application.



Signature of Applicant

10/3/2014

Date

PRESERVATION BY • DESIGN, LLC

Window Assessment
507 N. Hamilton, Ypsilanti, Michigan



JEFFREY WEATHERFORD M.S., AIC
ARCHITECTURAL & FURNITURE CONSERVATOR – HISTORIC PRESERVATION CONSULTANT
ADJUNCT PROFESSOR – MATERIALS CONSERVATION, EASTERN MICHIGAN UNIVERSITY
408 WEST KILBUCK ST. TECUMSEH, MI 49286 517.424.0236
info@preservationbydesign.net or jweathe2@emch.edu
www.preservationbydesign.net

House Description



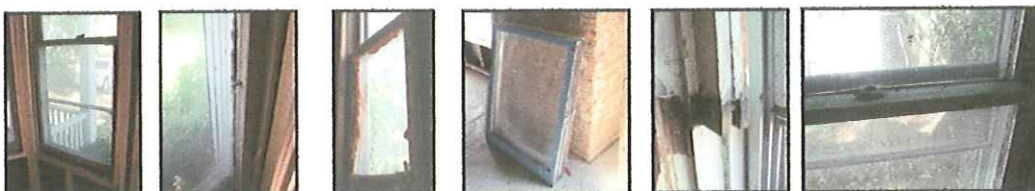
- Modest, two-story Victorian Cottage catalog house with rear wing. Parallel orientation to road.
- Constructed circa 1870 - 1880.
- Balloon framing with applied wood clapboards. No wall sheathing.
- Brick foundation. Footing not identified.
- Tongue & groove hardwood flooring. No subflooring.
- One over one, double hung windows. Sashes not counter-weighted, height levels accomplished with spring pins.

Summary of Historic Changes / Modifications



- Original roofing replaced multiple times. Current roof fiberglass three-tab shingles.
- Original trim missing, including: base boards, window frames & casings, doors, door frames & casings, wainscoting, etc.
- Original Staircase missing, including framing, treads, risers, balustrade, newel posts and railings. Current staircase is a modern replacement.
- Front porch added circa 1920, and partially incorporated into original bay window. Wing porch original, decking replaced.
- Front door is original, but outer casing was modified to accommodate smaller screen door.
- Circa third quarter-20th century addition constructed off of rear wing. House converted into rental property mid-20th century.
- Multiple 20th century interior modifications including : plumbing, heating, and electrical infrastructure, and new wall framing.
- Original lath, plaster walls and plaster ceilings missing.

Summary of Window Changes / Modifications



- Original circa 1870—80 windows likely had two-over two, or one over one double hung sashes (possibly a mixture of both). These windows may have been replaced circa 1920 with one-over-one sashes. Both sash designs were not counter-weighted and height levels were determined with spring pins inserted through the sash stiles and into the sides of the casings.
- Extensive water-related fungal degradation and neglect have significantly damaged many of the window components including the sash frames, jambs and sills.
- Several windows are broken and have been improperly repaired. Inappropriate repairs have included screwing and nailing broken sash components together and filling missing glazing with expanding foam insulation and thick layers of caulking.
- Many sashes were inappropriately installed upside down and nailed shut. Modern aluminum storm (screen insert) windows applied throughout.
- Vandalism has resulted in the destruction of many sashes and window frames throughout the house.

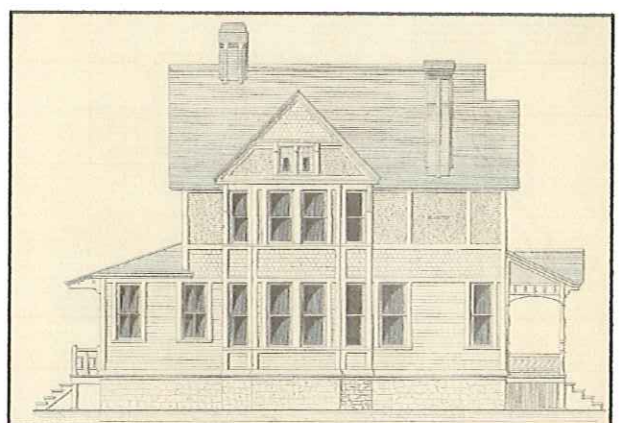
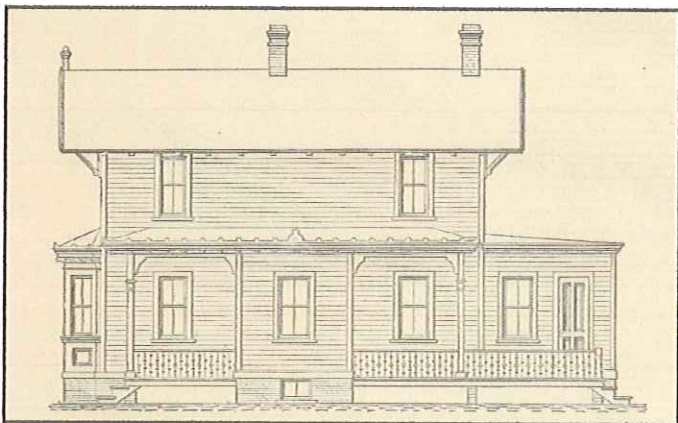
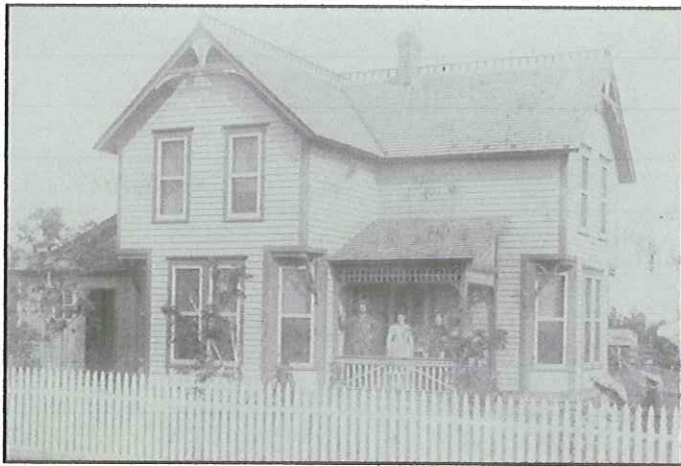
Window Design Analysis - 507 North Hamilton

When the house on 507 North Hamilton was constructed several window sash patterns were available. Builders, house designers, and architects could choose patterns that complimented their design preferences and client's budgets. Period photographs, house catalogs and building journals dating from the 1870s onward display homes with double-hung windows with glass panes divided into six over six, four over four, two over two, and one over one patterns.¹

Analysis of the existing window components within the Hamilton house suggest the original sashes were likely two-over two, one over one, or possibly a mixture of both. This assumption is based on three primary pieces of evidence found on the property during a September 2014 survey.

1. All single pane sashes exhibit joinery typical of late 19th century construction, including the installation of wooden pins securing the mortise and tenon joinery found at the stile and rail intersections (See photo no. 4, page 4)
2. One two pane sash was discovered in the house and is the same size of the single pane versions on site. (Photo no. 3, page 4)
3. All sashes were not counter weighted utilizing ropes, pulleys and bar weights within jamb pockets. Instead height opening adjustments were accomplished utilizing spring pins installed within the sash stiles. These pins shifted into reference holes drilled into the jambs. This type of adjustment design was more common in the 19th century. (Photos nos. 1 & 2, page 4)

Window replacement after 50 years of use was not uncommon, however, and therefore the Hamilton House's windows could have been replaced around 1920 with the one-over-one versions currently installed.



Figs. 1—4, Clockwise: Cabinet Photo circa 1880 of Victorian Catalog House; Hamilton Street House; Drawing of Catalog House, 1879; Drawing of Catalog House, 1881 (note mixture of sash designs).

1. Carpentry and Building, Vols. 1—4, 1879 - 1884. **PRESERVATION BY • DESIGN**, Historic Photo collection.

Window Design Analysis - 507 North Hamilton



Photo 1. Single pane window with sash pin



Photo 2. Single pane windows with sash pins



Photo 3. Broken two pane sash found upstairs.



Photo 4. Broken window with stile remaining in jamb. Lower section of stile shows a wooden pin running through the mortise joint.

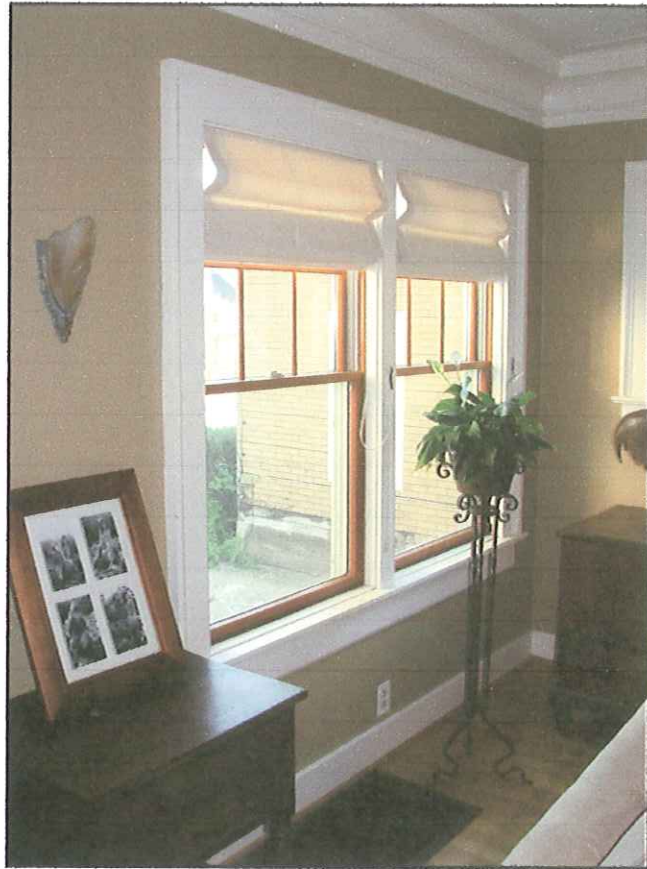
Window Restoration Recommendation - 507 North Hamilton

Both field survey and historic design research have indicated the windows within the historic Victorian Cottage house located at 507 North Hamilton were likely replaced sometime in the early 20th century and that the original windows could have been one of two varieties or a mixture of both. When the house was constructed sometime circa 1870 to 1880 the windows that were installed likely had two-over-two, or one over one double hung sashes and possibly a mixture of both. Site analysis also suggests that many and possibly all the windows may have been replaced around 1920 with one-over-one sashes. Whatever the case, both sash configurations were not counter-weighted as no evidence of counter-weight compartments were found. Sash height levels were determined with spring pins inserted through the sash stiles and into the sides of the casings.

Site survey also revealed that all the sashes were in very poor condition. As indicated above extensive water-related fungal degradation was found on many of the window's components and overall neglect over many decades significantly contributed to additional damage. Vandalism also resulted in many broken panes of glass and sash frames. Several windows were improperly repaired with crude patchwork that included screwing and nailing broken sash components together and filling missing glazing with expanding foam insulation and thick layers of caulking. Many sashes were also inappropriately installed upside down and nailed shut. Later efforts to gain security and energy efficiency included the installation exterior applied, modern aluminum storm windows with screen inserts—all of which remain intact but with many broken components.

Considering the extensive damage to all the windows within the house, replacement of similar design and size windows is recommended. Replacement can be accomplished in one of two ways depending on the owner's budget and future maintenance concerns. New, custom-made, double-hung wood windows of the one over one or two over two variety could be installed. Or, new factory manufactured, aluminum-clad wood windows matching the original design would suffice.

It is of the opinion of this historic preservation consultant that the owner should consider the aluminum-clad option as these windows would closely match the design, color and function of the originals, would offer a wood finish on the interior, and would offer significant energy efficiency.



Photos 5-7. Clockwise: 5. Cross-section of aluminum-clad wood window; 6 & 7. Double-hung, aluminum-clad wood windows installed in a early 20th century Colonial-Revival home.

Installation Instructions

Reversible Paulownia Wood Bevel Siding :

As with any and all horizontal wood sidings, always follow generally accepted practices for installation and make sure all materials are clean and dry.

Construction Using Stud Walls :

Start with a level bottom course of siding using a furring strip to support the lower thick edge. Each succeeding course overlaps the upper edge of the previous course with the recommended 1" overlap. Make sure all layers are level. When applied over sheathing, face-nail bevel siding into studs (one nail per piece into each stud) with 1 1/4" penetration. Use a blunt point ring shank or split-less siding nail (stainless steel or aluminum are recommended) placed at 24" on center or otherwise compliant with local building code requirements. Drive nail through the thick edge (butt) of the siding 1/4" above the thin edge (tip) of the siding piece below. Never nail through both pieces. Do not drive a nail home with a heavy final blow - this may cause splitting.

Masonry/Concrete Walls/Metal Studs :

Furring strips applied horizontally are required on each course level for this type of installation. The furring strips must be thick enough to allow the 1 1/4" penetration of nail into strip. Apply siding same as above instructions for stud walls - place nail every 24" along course of siding.

BUTT JOINTS BETWEEN SIDING ENDS SHOULD BE STAGGERED AND MADE ON STUDS OR OTHER FRAMING MEMBERS. SIDING ENDS SHOULD JUST TOUCH OTHER ENDS/TRIM. USE EXPANDABLE CAULKING AT ALL JOINTS.

SIDING MUST BE TOPCOATED AS SOON AS POSSIBLE WITH AN EXTERIOR LATEX OR OIL-BASED TOPCOAT PER RECOMMENDED FINISHING INSTRUCTIONS.



Asia Building Materials

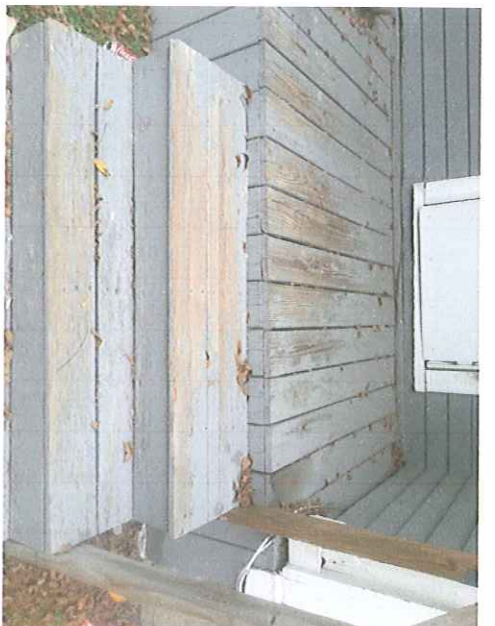
www.asiabm.com

PAULOWNIA
Bevel Siding

Date:
Contents:

Body Paint chip

Trim Paint chip





507 N Hamilton





Ypsilanti Historic District

Work Permit Application

Date filed 10/7 for HDC meeting date 10/14

Action item ☒

Study item ☐

Action items require payment of the application fee. There is no fee to submit a study item for discussion.

Property Address

17 E. Cross St.

Applicant

☒ Owner

☐ Architect

☐ Contractor

Name

Visual Compass Web design

Address

19 E. Cross St

City

Ypsilanti

State

MI

Zip

48198

Phone

734.217.4530

Fax

E-mail

chelsey@vcwebdesign.com

Owner

Freda Klaassen

(If different than applicant)

Who will perform the work?

☐ Owner

☒ Contractor

Contractor

(Name, address,
phone)

Steve's Custom Signs

4676 Freedom Dr. Ypsilanti, MI

Ann Arbor

734
662
5944

Action Items only:

Construction Cost

~\$1000

Permit Application Fee

35⁰⁰

The permit fee is \$30 plus \$5 for each \$3,000 of construction cost, and is due at the time of application. An additional administrative fee of \$50 applies to HDC work started without the issuance of applicable permit.

To complete this application:

1. On the reverse side, summarize the work proposed, list the main materials to be used, and (if relevant) indicate the color scheme planned.
2. Attach the following documents:
 - a. Photo(s) showing all locations where work is proposed
 - b. Paint color chips (if relevant)
 - c. Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components
 - d. Dimensioned drawings of any new construction or modifications to existing structures
 - e. A site plan, if proposal is for work on the grounds and not just the structure (e.g., installing an air conditioning system compressor). For fences, new structures, or work that will alter the footprint of existing structures, a photocopy of the mortgage survey with proposed changes indicated is required.

Submit the completed application to the City of Ypsilanti Building Department, 1 South Huron Street, along with the application fee if you wish the HDC to consider the proposal as an action item, not a study item.

Incomplete applications will not be considered.

For additional information, or if you have questions, contact the City of Ypsilanti Planning and Development Department, 734.483.9646, hintern@cityofypsilanti.com.

Ypsilanti Historic District Work Permit Application

Date filed _____ for HDC meeting date _____

Property Address _____

Applicant _____

Description of proposed work (see sample applications)

See attached pdf. Rounded square
edges. ☺

Materials

Colors (Attach color chips or samples)

Body _____

Accent 1 _____

Trim _____

Accent 2 _____

Roof _____

Other _____

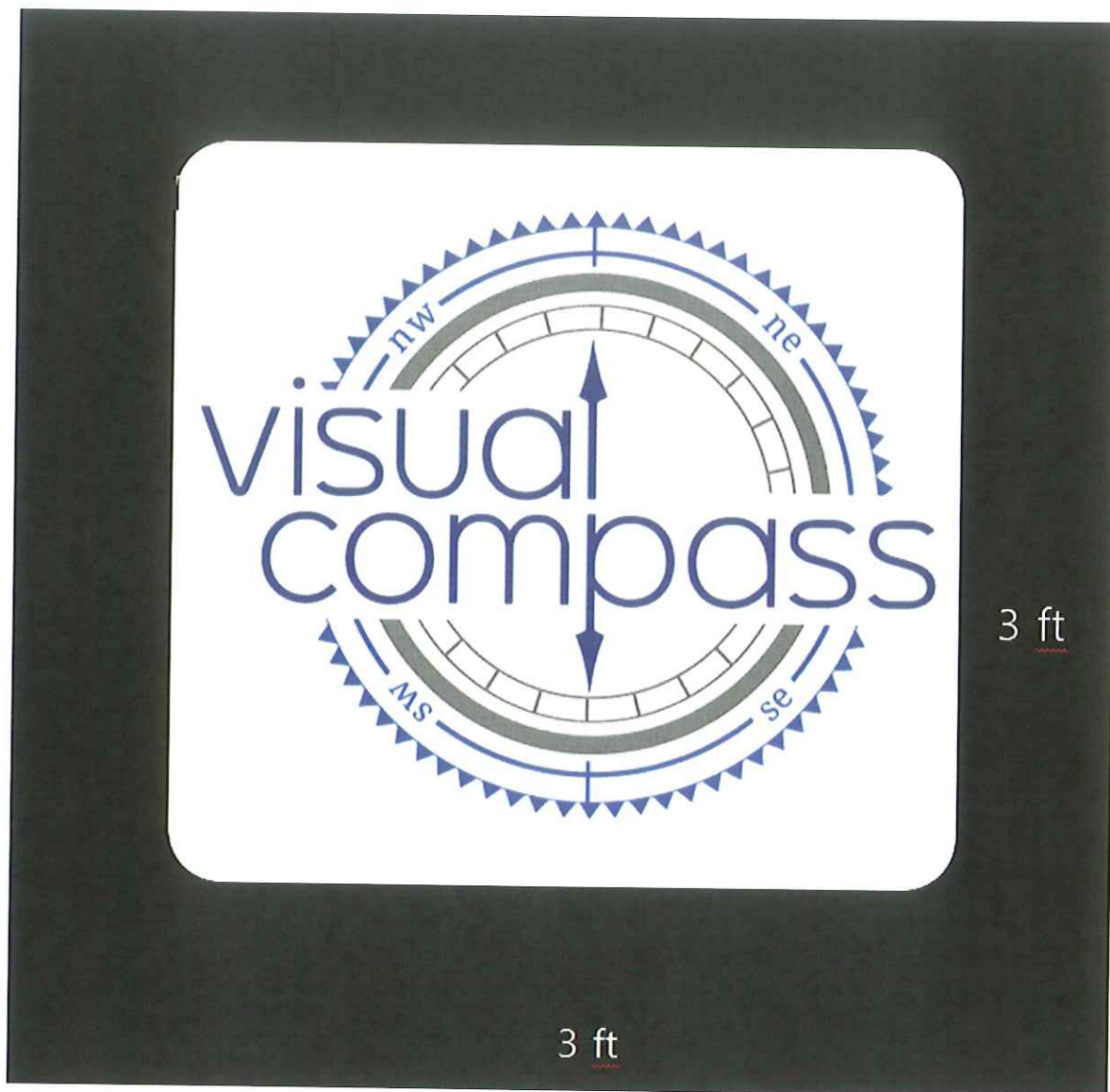
- ☐ This property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.
(Compliance with this act must be certified to complete this application.)

I hereby attest that the above information is accurate. I am authorized to and hereby grant permission to the City of Ypsilanti and its staff to be on my property for the purposes of preparing reports, taking photographs, and/or evaluating and reviewing this application.

Signature of Applicant

10/07/14

Date



Aluminum light material with frame. Cable or chain to secure form top of sign and potentially bottom to avoid the sign "swinging" in the wind. Bracket attached to mortar joints, not brick.

17 E CROSS





Ypsilanti Historic District

Work Permit Application

Date filed 10/7/14

for HDC meeting date 10/14

Action item ☒

Study item ☐

Action items require payment of the application fee. There is no fee to submit a study item for discussion.

Property Address 207 N. Hamilton

Applicant ☒ Owner ☐ Architect ☐ Contractor

Name Barnes & Barnes

Address 520 W. Cross

City Ypsilanti

State MI Zip 48197

Phone 734-480-7400

Fax 734-480-9400

E-mail bob@barnesats.com

Owner same

(If different than applicant)

Who will perform the work? ☐ Owner ☒ Contractor

Contractor J&D Construction

(Name, address,
phone)

520 W. Cross, Ypsilanti MI 48197

Action Items only:

Construction Cost 8000

Permit Application Fee 45

The permit fee is \$30 plus \$5 for each \$3,000 of construction cost, and is due at the time of application. An additional administrative fee of \$50 applies to HDC work started without the issuance of applicable permit.

To complete this application:

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2. Attach the following documents:
 - a. Photo(s) showing all locations where work is proposed
 - b. Paint color chips (if relevant)
 - c. Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components
 - d. Dimensioned drawings of any new construction or modifications to existing structures
 - e. A site plan, if proposal is for work on the grounds and not just the structure (e.g., installing an air conditioning system compressor). For fences, new structures, or work that will alter the footprint of existing structures, a photocopy of the mortgage survey with proposed changes indicated is required.

Submit the completed application to the City of Ypsilanti Building Department, 1 South Huron Street, along with the application fee if you wish the HDC to consider the proposal as an action item, not a study item.

Incomplete applications will not be considered.

For additional information, or if you have questions, contact the City of Ypsilanti Planning and Development Department, 734.483.9646, hintern@cityofypsilanti.com.

Ypsilanti Historic District Work Permit Application

Date filed 10/7/14 for HDC meeting date 10/14

Property Address 207 N. Hamilton

Applicant Barnes & Barnes

Description of proposed work *(see sample applications)*

Re-roof front half of building to match back half.

Materials

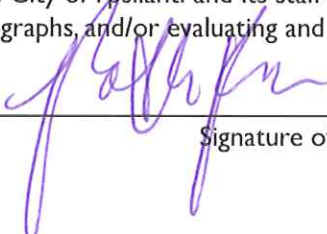
Tamko heritage premium shingles (architectural).

Colors *(Attach color chips or samples)*

Body	_____	Accent 1	_____
Trim	_____	Accent 2	_____
Roof	<u>Black Walnut</u>	Other	_____

- ☐ This property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.
(Compliance with this act must be certified to complete this application.)

I hereby attest that the above information is accurate. I am authorized to and hereby grant permission to the City of Ypsilanti and its staff to be on my property for the purposes of preparing reports, taking photographs, and/or evaluating and reviewing this application.


Signature of Applicant

10/7/14
Date

Heritage® Premium

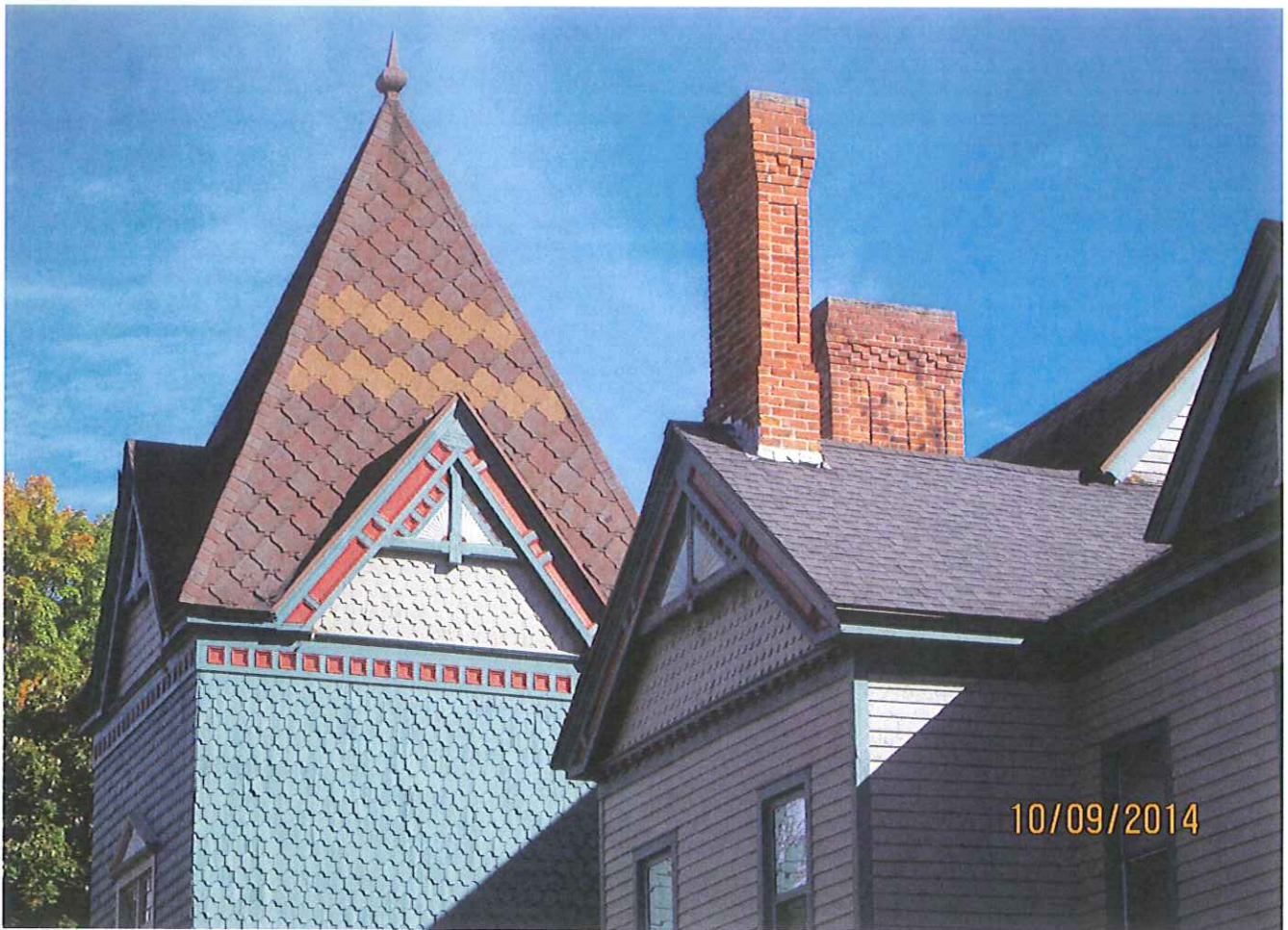
America's Natural Colors

Black Walnut



Note: Reproduction of these colors is as accurate as technology will permit. TAMKO® recommends viewing an actual product installation prior to final color selection for the full impact of color blending and patterns. Dissatisfaction of the selected color after installation is not covered under the limited warranty.

207 N. Hamilton



207 N. Hamilton





Ypsilanti Historic District Work Permit Application

Date filed October 7, 2014 for HDC meeting date October 14, 2014

Action item ☒ Study item ☐ Action items require payment of the application fee. There is no fee to submit a study item for discussion.

Property Address 400 North River Street, Ypsilanti, Michigan 48198

Applicant ☒ Owner ☐ Architect ☐ Contractor

Name Thompson Block Partners, LLC

Address 221 Felch Street

City Ann Arbor State MI Zip 48103

Phone 734-662-6133 Fax 734-662-5869

E-mail fjbeal@jcbeal.com

Owner Same

(If different than applicant)

Who will perform the work? ☐ Owner ☒ Contractor

Contractor JC Beal Construction inc.

(Name, address, phone) 221 Felch Street, Ann Arbor, Michigan 48103

Action Items only:

Construction Cost 567,600⁰⁰ **Permit Application Fee** 976.00

The permit fee is \$30 plus \$5 for each \$3,000 of construction cost, and is due at the time of application. An additional administrative fee of \$50 applies to HDC work started without the issuance of applicable permit.

To complete this application:

1. On the reverse side, summarize the work proposed, list the main materials to be used, and (if relevant) indicate the color scheme planned.
2. Attach the following documents:
 - a. Photo(s) showing all locations where work is proposed
 - b. Paint color chips (if relevant)
 - c. Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components
 - d. Dimensioned drawings of any new construction or modifications to existing structures
 - e. A site plan, if proposal is for work on the grounds and not just the structure (e.g., installing an air conditioning system compressor). For fences, new structures, or work that will alter the footprint of existing structures, a photocopy of the mortgage survey with proposed changes indicated is required.

Submit the completed application to the City of Ypsilanti Building Department, 1 South Huron Street, along with the application fee if you wish the HDC to consider the proposal as an action item, not a study item.

Incomplete applications will not be considered.

For additional information, or if you have questions, contact the City of Ypsilanti Planning and Development Department, 734.483.9646, hintern@cityofypsilanti.com.

Ypsilanti Historic District Work Permit Application

Date filed October 7, 2014 for HDC meeting date October 14, 2014

Property Address 400 North River Street, Ypsilanti, Michigan 48198

Applicant Thompson Block Partners, LLC

Description of proposed work *(see sample applications)*

This is a comprehensive "gut re-hab" project, requiring extensive rebuilding and all new systems. At this point the building facades and related floor systems are structurally sound, and while substantial additional infill is required, the construction activities required are straightforward, consisting as they did in the in the 2011 facade stabilization projects of constructing multiwythe brick walls and installing floor systems of structural wood bond beams, joists, and decking to provide a platform for the remaining work. This work will all be performed by hand, working from scaffold erected within the existing building envelope.

Exterior Restoration: Portions of the masonry building exterior were stabilized when construction began in 2008 and additional areas saw improvement in the 2011 façade stabilization effort. That said the entire building envelope will be revisited when work restarted to insure the building's long term improvement. All masonry work will be inspected, and tuckpointed where necessary. The windows originally intended to be restored, but almost without exception destroyed in the 2009 fire, will be replaced, and the storefronts rebuilt in a historically accurate manner. Site improvements will include a new raised front patio area and sidewalks along River and Cross Streets, and a parking lot on Cross Street.



Materials

Primary Exterior Surfaces:

Original Brick and / or replacement brick to match, painted Sherwin Williams historic terra cotta (as now painted)
New windows, storefront, doors, railings, and cornice to be dark bronze (approaching black)

Primary Interior Surfaces;

Original Brick to be left exposed and unpainted,
New drywall to be painted white
Floor to be natural wood, no acoustical ceilings

Colors *(Attach color chips or samples)*

Body	<u>terra cotta</u>	Accent 1	<u></u>
Trim	<u>dark bronze</u>	Accent 2	<u></u>
Roof	<u>not visible</u>	Other	<u></u>

- ☒ This property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.
(Compliance with this act must be certified to complete this application.)

I hereby attest that the above information is accurate. I am authorized to and hereby grant permission to the City of Ypsilanti and its staff to be on my property for the purposes of preparing reports, taking photographs, and/or evaluating and reviewing this application.



Signature of Applicant

October 7, 2014

Date

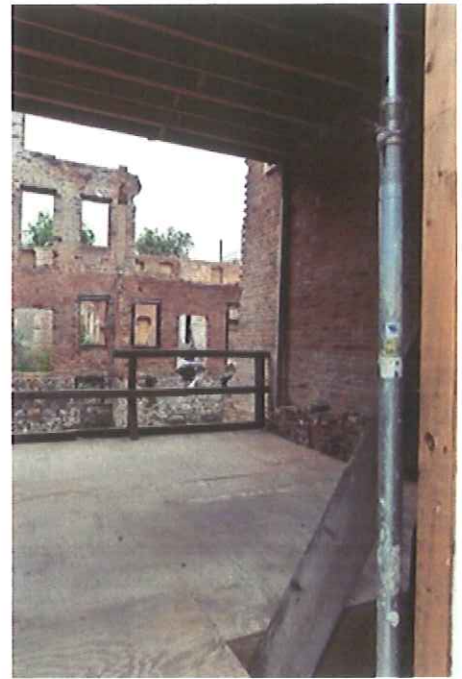


Thompson Block Today



Thompson Block Building after 2011 Façade Reconstruction



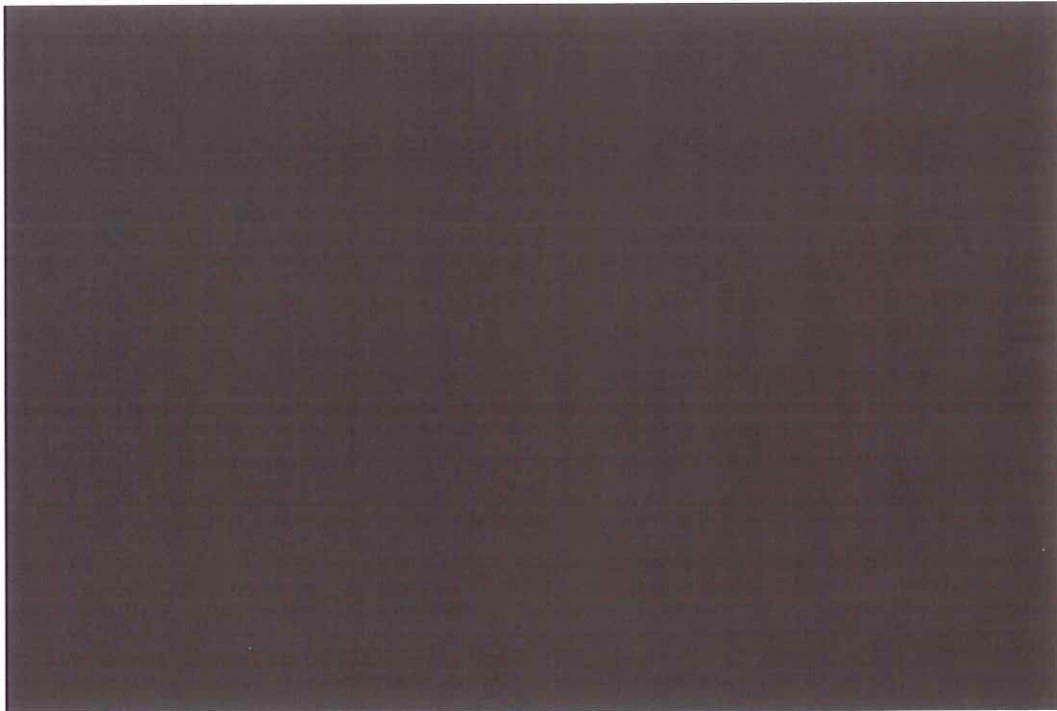




Thompson Block Partners

Thompson Block Redevelopment Project – Exterior Colors

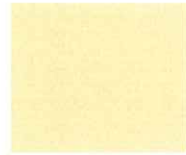
Dark Bronze Anodized – for Storefront, Doors, Windows, Railings, and Cornice



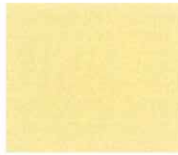
Monroe's Historic Palette



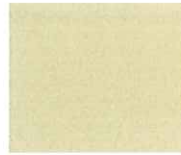
Colors provided by
The Sherwin-Williams Company



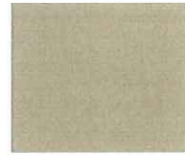
Jersey Cream
SW 6379



Sunbeam Yellow
SW 0078



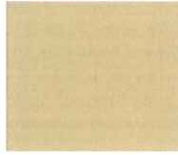
Sand Beach
SW 7529



Sanderling
SW 7513



Oak Barrel
SW 7714



Ligonier Tan
SW 7717



Sandbar
SW 7547



Riverway
SW 6222



Yearling
SW 7725



Antiquarian Brown
SW 0045



Zeus
SW 7744



Gale Force
SW 7605



Smoke Topaz
SW 6117



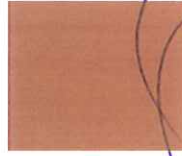
Jute Brown
SW 6096



Peristyle Brass
SW 0043



Relentless Olive
SW 6425



Reynard
SW 6348



Rookwood Terra Cotta
SW 2803



Mossy Gold
SW 6339



Secret Garden
SW 6181



Spicy Hue
SW 6342



Fired Brick
SW 6335



Status Bronze
SW 7034



Billiard Green
SW 0016



Crabby Apple
SW 7532



Rookwood Dark Brown
SW 2808

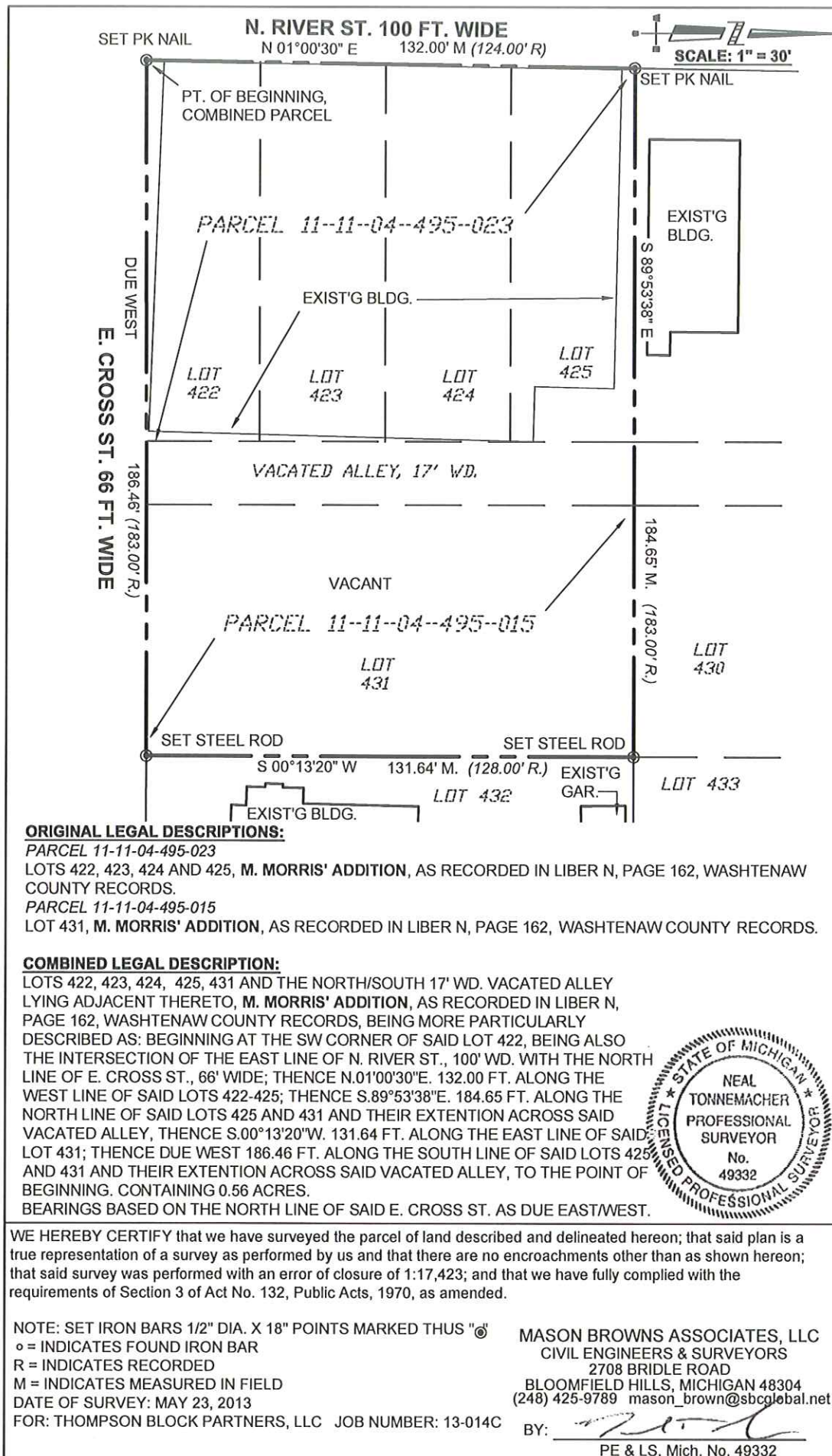


Black Fox
SW 7020



Rock Garden
SW 6195





ORIGINAL LEGAL DESCRIPTIONS:

PARCEL 11-11-04-495-023

LOTS 422, 423, 424 AND 425, **M. MORRIS' ADDITION**, AS RECORDED IN LIBER N, PAGE 162, WASHTENAW COUNTY RECORDS.

PARCEL 11-11-04-495-015

LOT 431, **M. MORRIS' ADDITION**, AS RECORDED IN LIBER N, PAGE 162, WASHTENAW COUNTY RECORDS.

COMBINED LEGAL DESCRIPTION:

LOTS 422, 423, 424, 425, 431 AND THE NORTH/SOUTH 17' WD. VACATED ALLEY LYING ADJACENT THERETO, **M. MORRIS' ADDITION**, AS RECORDED IN LIBER N, PAGE 162, WASHTENAW COUNTY RECORDS, BEING MORE PARTICULARLY DESCRIBED AS: BEGINNING AT THE SW CORNER OF SAID LOT 422, BEING ALSO THE INTERSECTION OF THE EAST LINE OF N. RIVER ST., 100' WD. WITH THE NORTH LINE OF E. CROSS ST., 66' WIDE; THENCE N.01°00'30"E. 132.00 FT. ALONG THE WEST LINE OF SAID LOTS 422-425; THENCE S.89°53'38"E. 184.65 FT. ALONG THE NORTH LINE OF SAID LOTS 425 AND 431 AND THEIR EXTENTION ACROSS SAID VACATED ALLEY, THENCE S.00°13'20"W. 131.64 FT. ALONG THE EAST LINE OF SAID LOT 431; THENCE DUE WEST 186.46 FT. ALONG THE SOUTH LINE OF SAID LOTS 425 AND 431 AND THEIR EXTENTION ACROSS SAID VACATED ALLEY, TO THE POINT OF BEGINNING. CONTAINING 0.56 ACRES.

BEARINGS BASED ON THE NORTH LINE OF SAID E. CROSS ST. AS DUE EAST/WEST.

WE HEREBY CERTIFY that we have surveyed the parcel of land described and delineated hereon; that said plan is a true representation of a survey as performed by us and that there are no encroachments other than as shown hereon; that said survey was performed with an error of closure of 1:17,423; and that we have fully complied with the requirements of Section 3 of Act No. 132, Public Acts, 1970, as amended.

NOTE: SET IRON BARS 1/2" DIA. X 18" POINTS MARKED THUS "⊙"

⊙ = INDICATES FOUND IRON BAR

R = INDICATES RECORDED

M = INDICATES MEASURED IN FIELD

DATE OF SURVEY: MAY 23, 2013

FOR: THOMPSON BLOCK PARTNERS, LLC JOB NUMBER: 13-014C

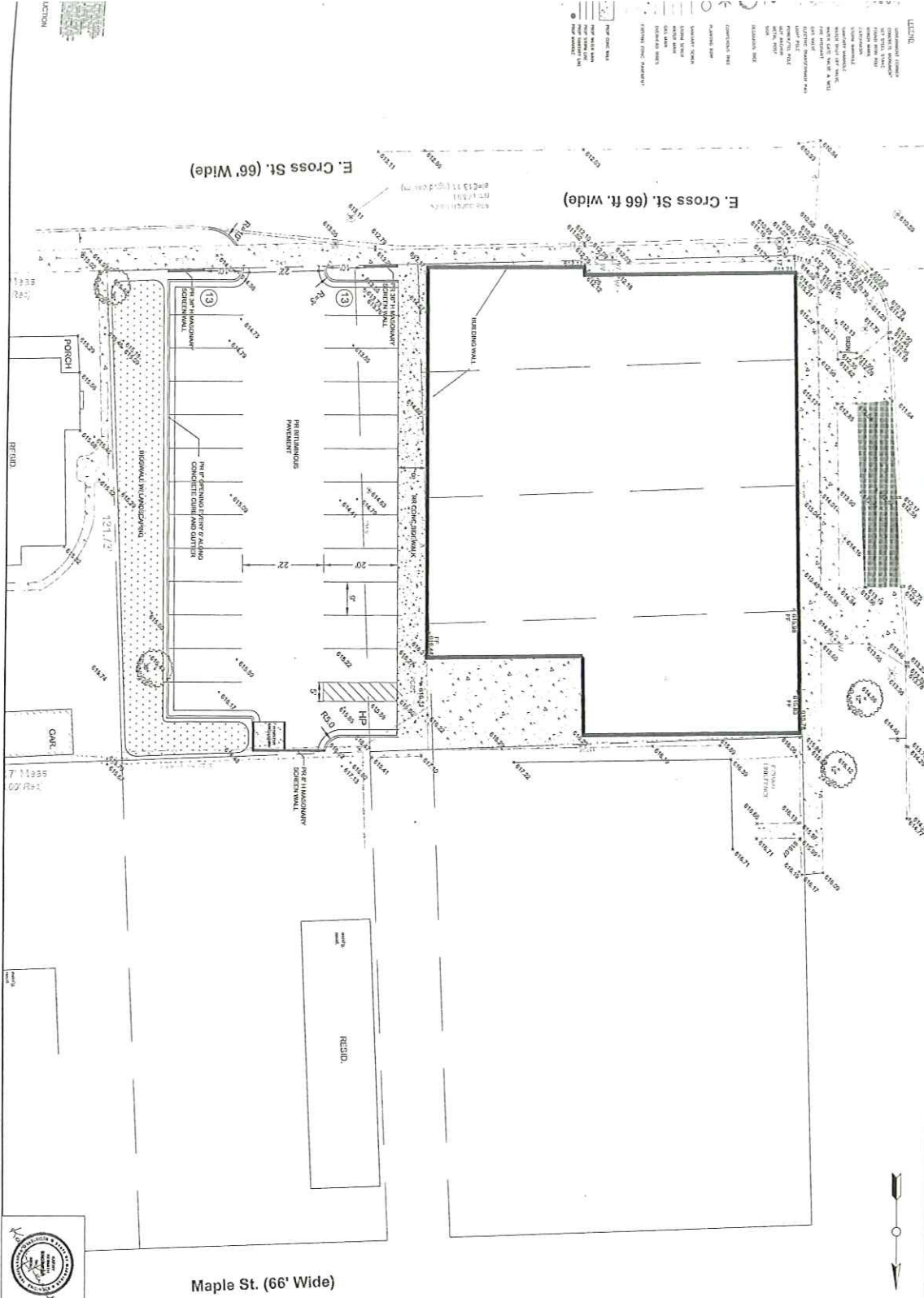
MASON BROWNS ASSOCIATES, LLC
 CIVIL ENGINEERS & SURVEYORS

2708 BRIDLE ROAD
 BLOOMFIELD HILLS, MICHIGAN 48304
 (248) 425-9789 mason_brown@sbcglobal.net

BY: _____

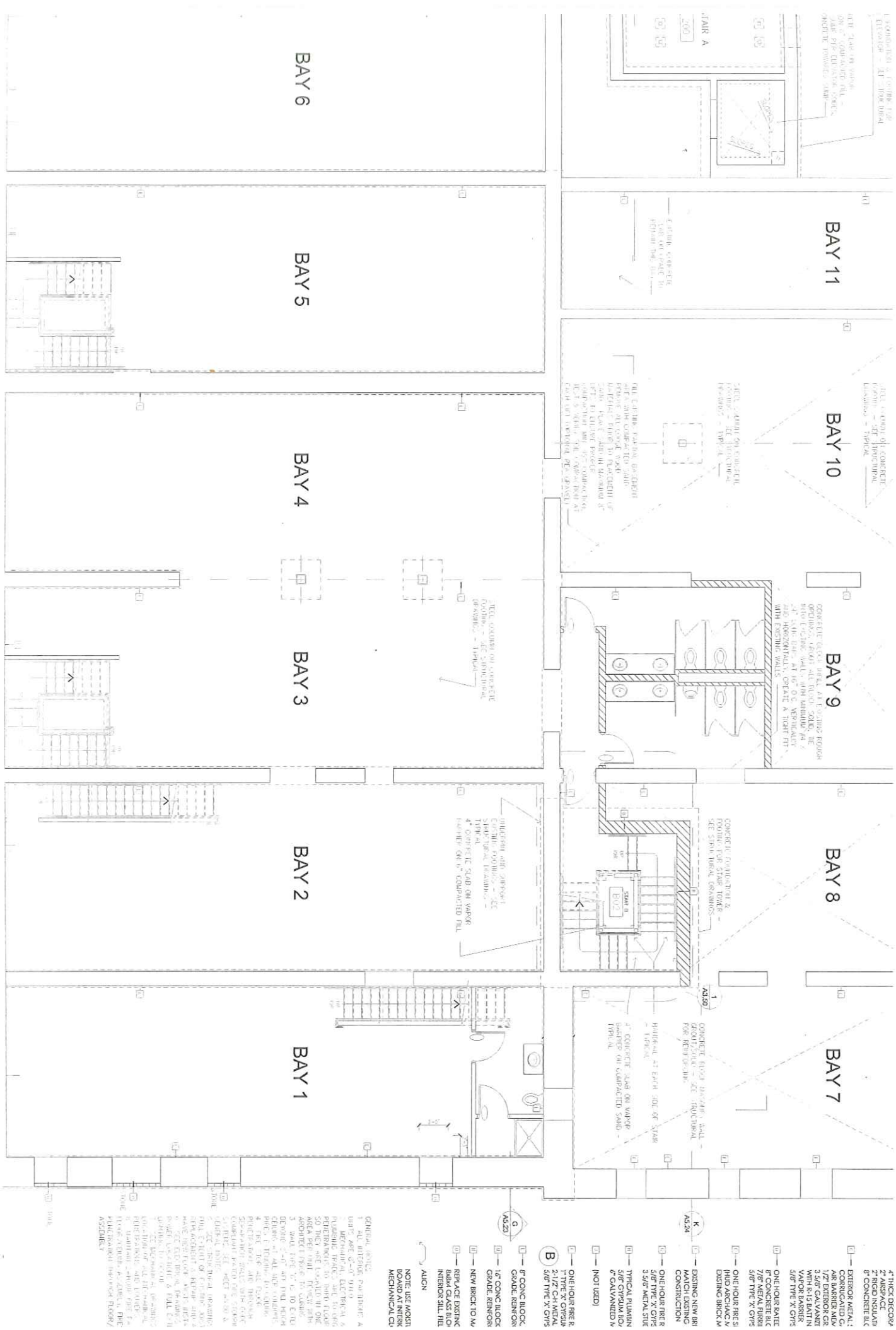
PE & LS, Mich. No. 49332



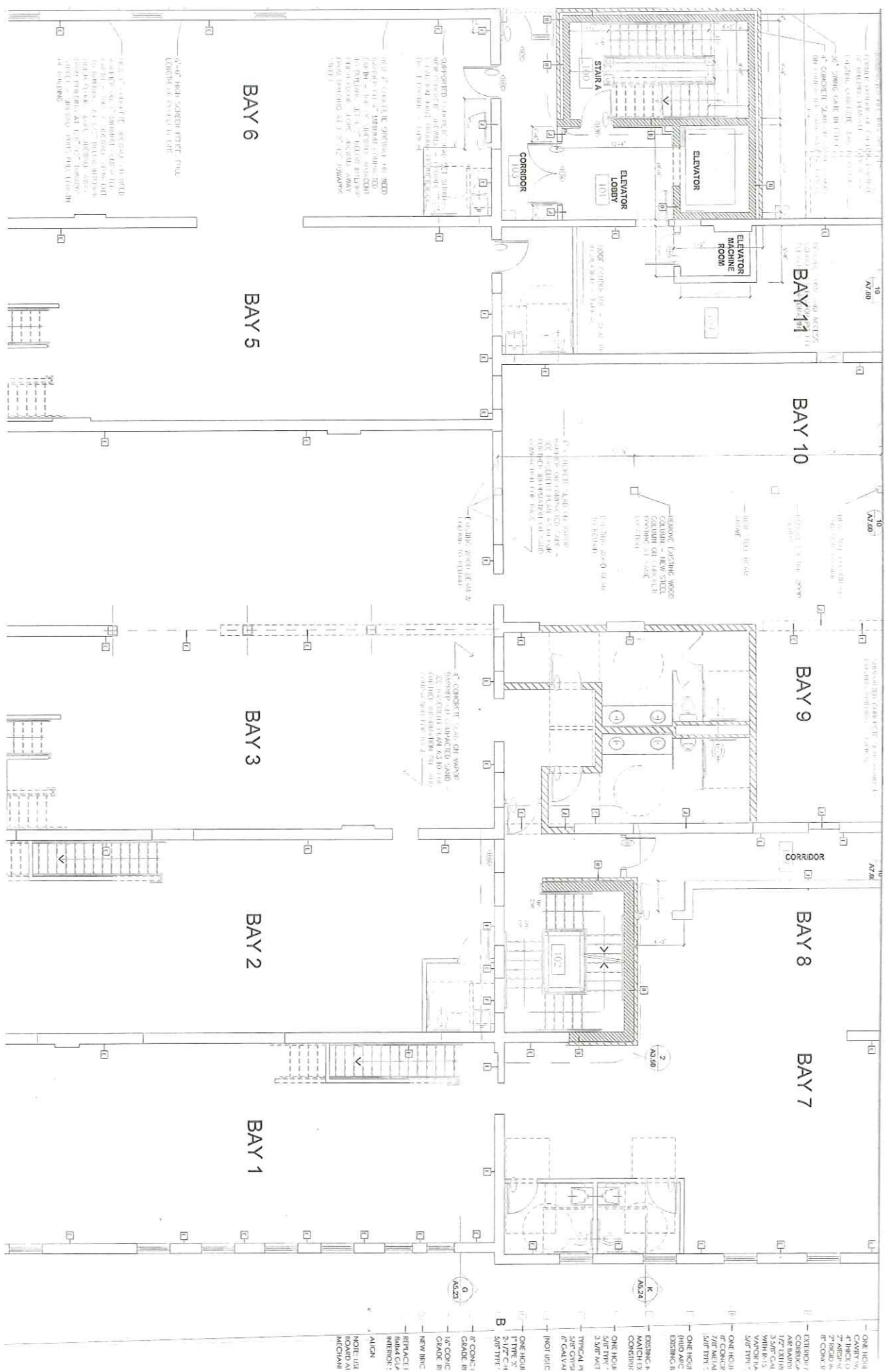


CLIENT THOMPSON BLOCK PARTNERS LLC DATE 10-7-14 SCALE 1"=10' BY K.K. ON K.K. CHECKED K.K. ON K.K. SHEET NO. C-02	THOMPSON BLOCK 400 NORTH RIVER ROAD LAYOUT	SECTION 00 TOWN O SOUTH, RANGE O EAST DEPOT TOWN WASHTENAW COUNTY	Notice: Construction site safety is the sole responsibility of the contractor. The engineer will not be responsible for safety of the work, or any nearby structures, or all other persons.	PERIMETER	PERIMETER ENGINEERING LLC 11245 BOYCE ROAD CH-ELSEA, MI 48118 734-218-9941
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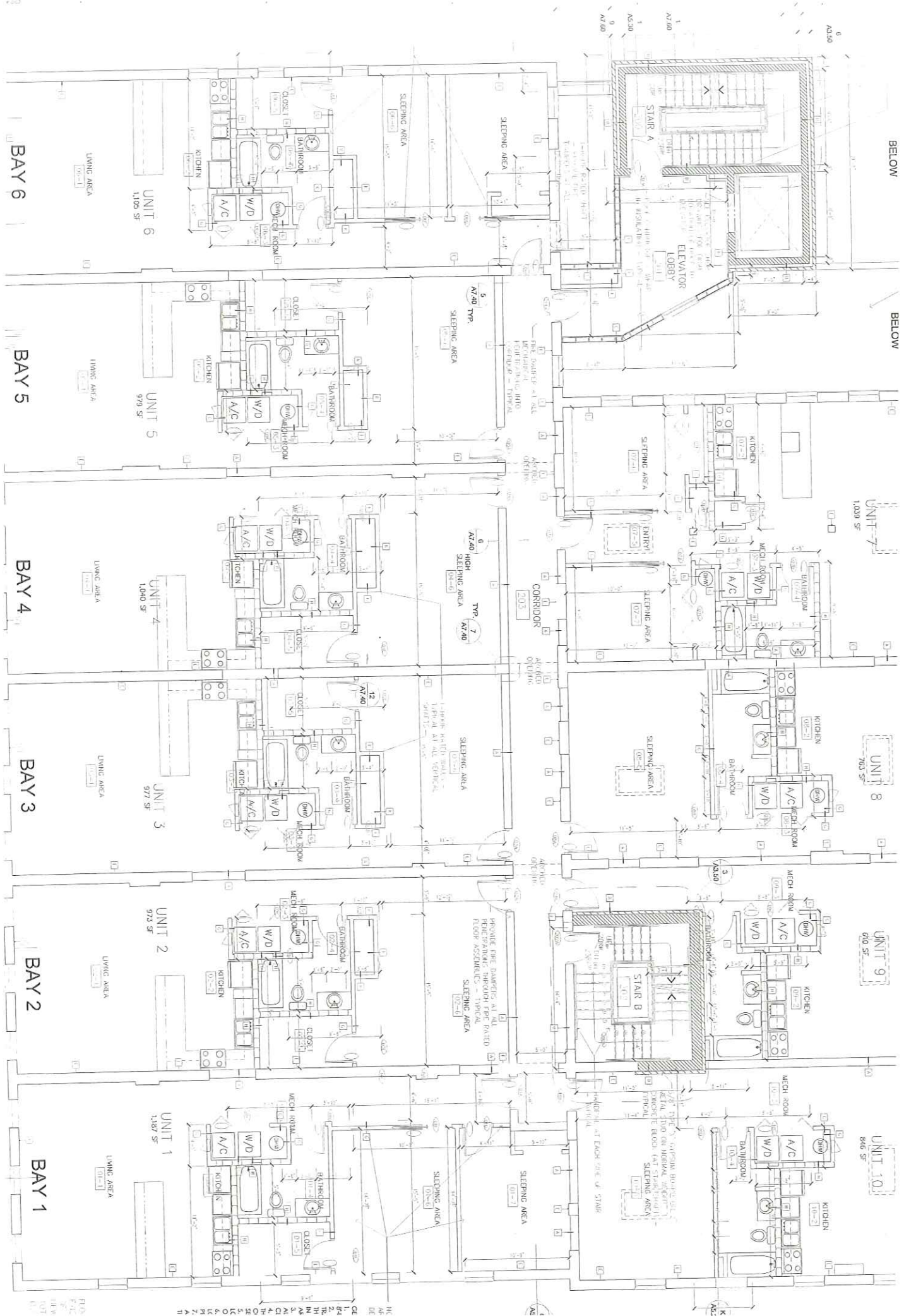
Besemant Plan



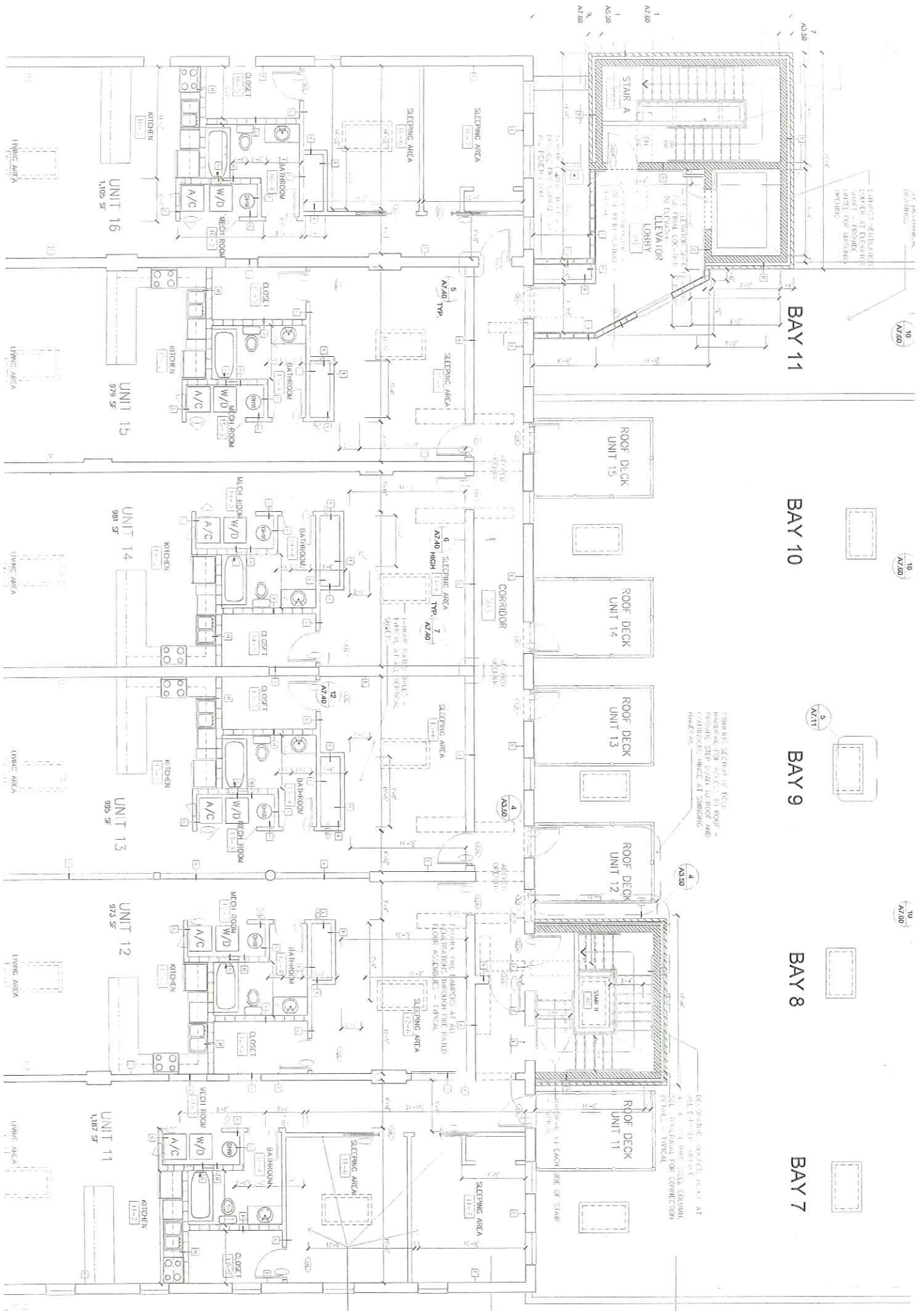
1st Fiber Plan



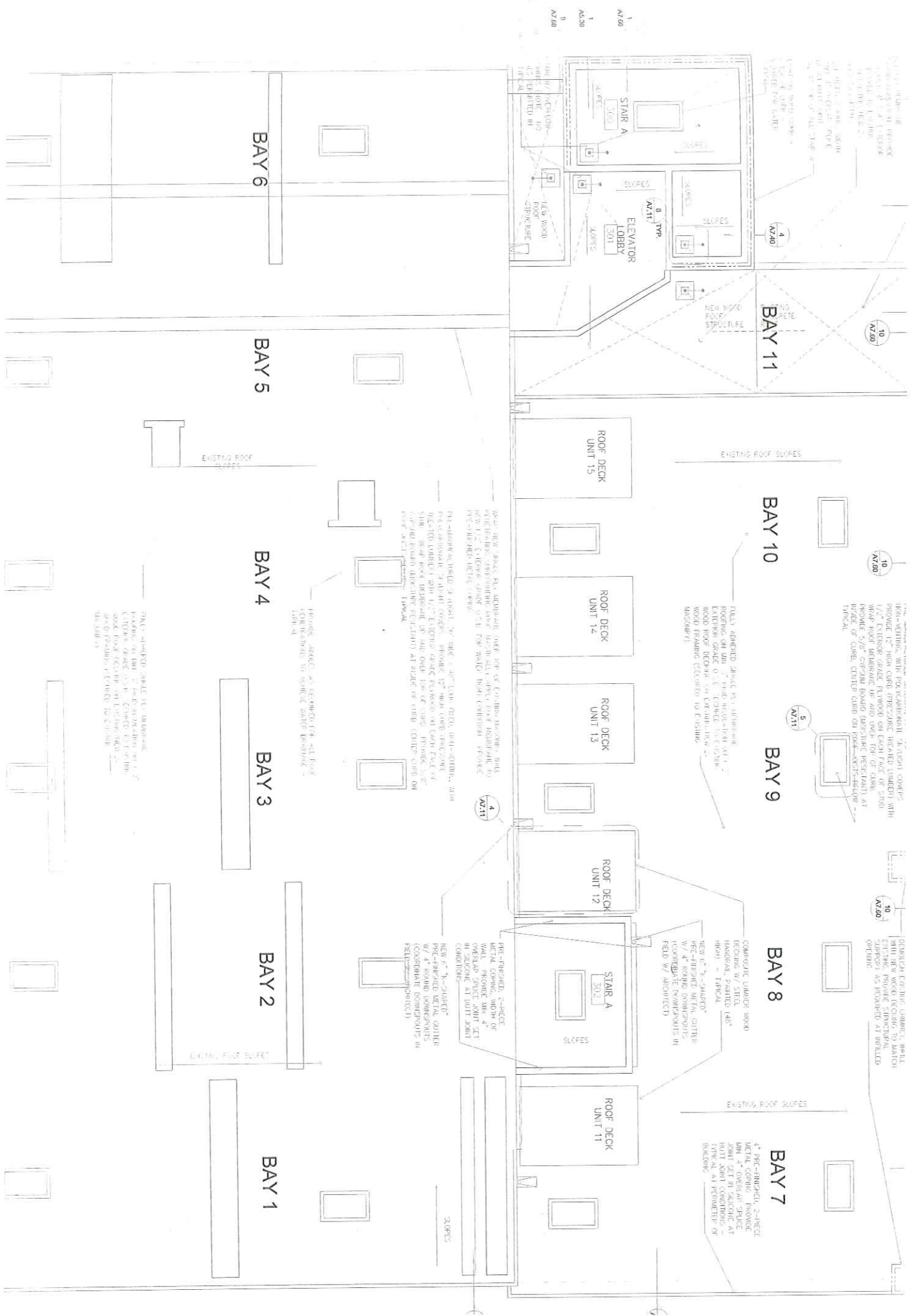
2nd Floor Plan

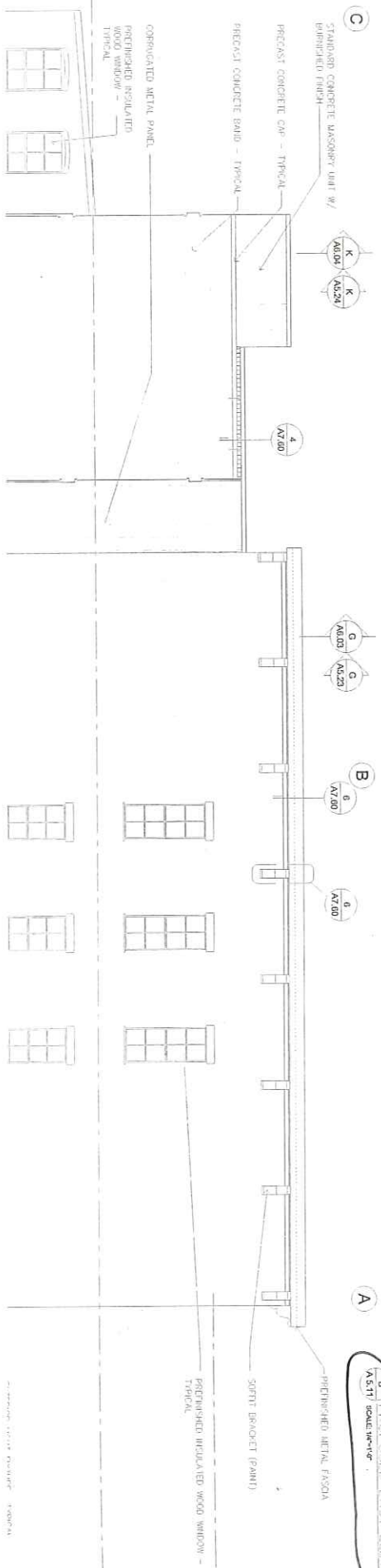
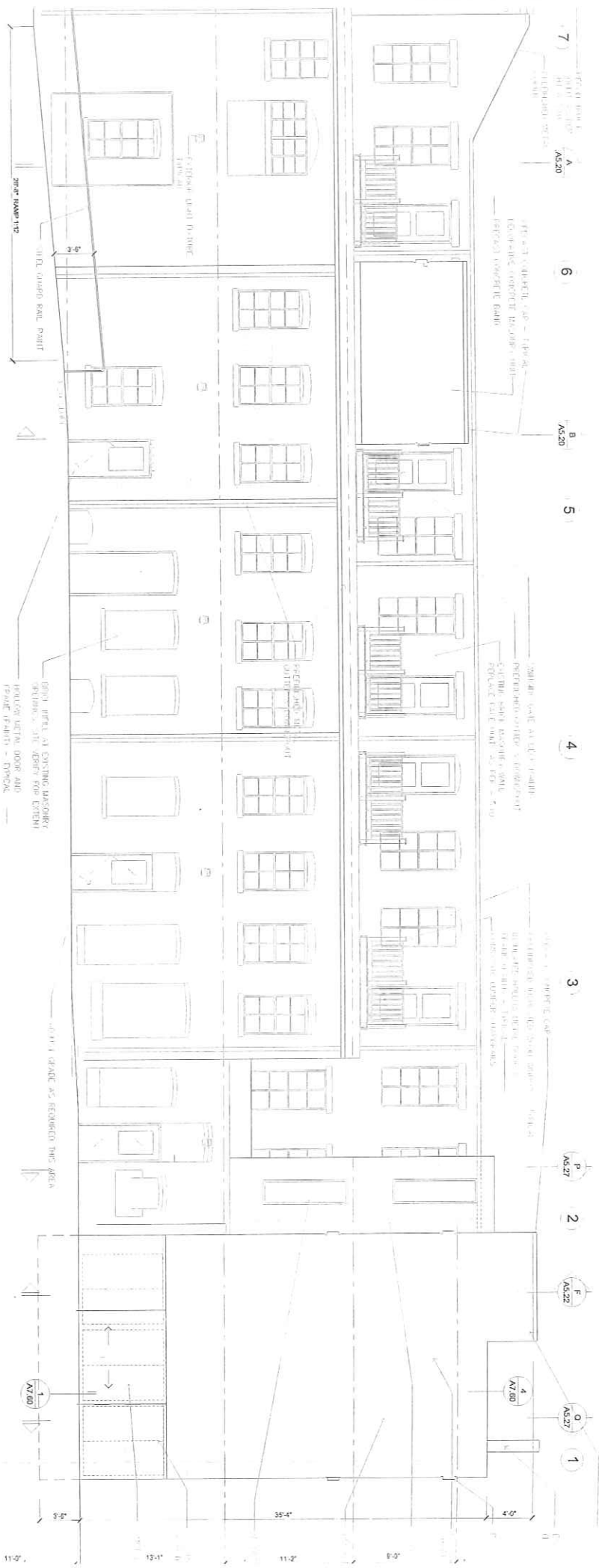


3rd Floor Plan



Roof Plan





OVERSEAS 24 HRS X 16
HRS - 24 HOUR COUNTRY
TELEPHONE SERVICE
MAY 1988, 1989, 1990
1991, 1992, 1993, 1994
1995, 1996, 1997, 1998
1999, 2000, 2001, 2002
2003, 2004, 2005, 2006
2007, 2008, 2009, 2010
2011, 2012, 2013, 2014
2015, 2016, 2017, 2018
2019, 2020, 2021, 2022
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2663, 2664

Enlarged wall
sections

OT PIPE

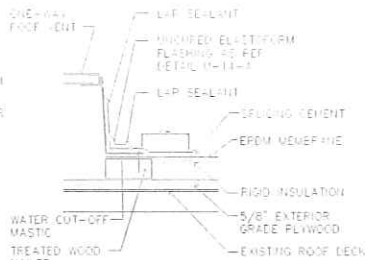
RESISTANT

ST

WALL

ROOF

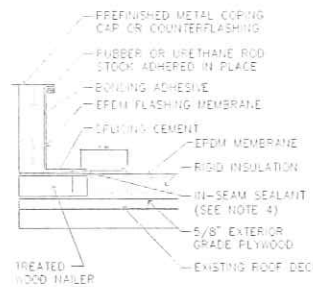
- 1 UNPAVED ELASTOFORM FLASHING
- 2 TREATED WOOD NAILER
- 3 SPACING CEMENT
- 4 LAP SEALANT
- 5 EPDM MEMBRANE
- 6 RIGID INSULATION
- 7 5/8" EXTERIOR GRADE PLYWOOD
- 8 EXISTING WOOD ROOF DECKING



NOTES:

1. CARPULS DOES NOT REQUIRE ROOF VENTS WITH SURE-SEAL/BRITE-PLY ROOFING SYSTEMS; WHEN ROOF VENTS ARE SPECIFIED BY OTHERS, INSTALLATION MUST CONFORM TO THIS DETAIL.
2. NAILERS AND WATER CUT-OFF MASTIC MUST BE PRESENT UNDER ALL ROOF VENTS; FOR ADDITIONAL FLASHING INSTALLATION INSTRUCTIONS, SEE DETAIL U-14-A.
3. WATER CUT-OFF MASTIC MUST BE HELD UNDER CONSTANT COMPRESSION.
4. A HEAT GUN MUST BE USED WHEN FORMING FLASHING.

SEAL FOR USE WITH
LIFE OF METAL
3.150' F.
ASBESTOS APPLIED
5.3 INCH MINIMUM
ED WHEN FORMING



NOTES:

1. TREATED WOOD NAILERS MUST EXTEND PAST TOTAL WIDTH OF FLASHING FLANGE.
2. LENGTH OF ROOF STOCK IS LIMITED TO 4 FEET; USE INDIVIDUAL SECTIONS OF ROOF STOCK FOR LONGER DIMENSIONS.
3. DETAIL IS NOT ACCEPTABLE FOR OPERATING ROOFTOP UNITS.
4. IN-SEAM SEALANT MUST BE PLACED NO MORE THAN 1/2" FROM EDGE OF FLASHING.
5. 6 INCH WIDE UNPAVED ELASTOFORM FLASHING OR PRESSURE SENSITIVE FLASHING MUST BE CENTERED OVER FIELD SPUR AT ANGLE CHANGE; REFER TO DETAIL U-5-F.
6. PRESSURE SENSITIVE CORNERS CANNOT BE USED FOR THIS DETAIL WHEN THE FLASHING IS LOCATED ON TOP OF THE MEMBRANE DUE TO INCOMPLETE COVERAGE OF THE METAL FLASHING AT CORNERS.

GENERAL NOTES:

PRICING OPTIONS - PROVIDE PRICING INFORMATION FOR THE ROOF MEMBRANE AS SHOWN; PROVIDE PRICING ALTERNATES AND RELATED INFORMATION IN THE FORMAT AS DIRECTED BY THE CONSTRUCTION MANAGER.

CONTRACTOR RESPONSIBLE FOR ROOF MEMBRANE INSTALLATION TO SUBMIT SHOP DRAWINGS AND MEMBRANE MANUFACTURER INSTALLATION INSTRUCTIONS AND RELATED INFORMATION TO THE ARCHITECT PRIOR TO CONSTRUCTION. BEGINNING WORK INDICATES THE RESPONSIBLE CONTRACTOR UNDERSTANDS ALL INSTALLATION TECHNIQUES AND WILL CONFORM TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS TO PROVIDE THE REQUIRED WARRANTY.

ANY WORK INSTALLED DEVIATING FROM THE MANUFACTURER'S INSTALLATION INSTRUCTIONS WILL BE CONSIDERED DEFECTIVE WORK BY THE ARCHITECT AND WILL ACTED UPON ACCORDINGLY.

SEE THE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS FOR INFORMATION PERTAINING TO THE EXISTING WOOD ROOF SUBSTRUCTURE AND STRUCTURE.

THE RESPONSIBLE CONTRACTOR IS TO INSPECT ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK AND NOTIFY THE CONSTRUCTION MANAGER IN WRITING PRIOR TO BEGINNING THE WORK OF ANY SUBSTANDARD OR OTHER CONDITIONS THAT WILL AFFECT HIS WORK. BEGINNING THE WORK INDICATES ACCEPTANCE BY THE RESPONSIBLE CONTRACTOR FOR ALL EXISTING CONDITIONS.

PIPE PENETRATION

10 DETAIL AT ROOF VENT SCALE: 1 1/2"=1'-0"



SEAM FASTENING PLATES 6" WIDE FROM ANY CORNER. EDGED WITH LAP SEALANT. SEALANT IS REQUIRED ON EACH FLANGE BETWEEN SECTIONS OF CURED EPDM JOINTS. REFER TO DETAIL U-14-E FOR PRESSURE SENSITIVE FLASHING. FLASHING CANNOT BE USED FOR ELASTOFORM OR SURE-SEAL. INTERSECTIONS MUST BE

NEW PRE-FABRICATED SKYLIGHT - COORDINATE - SEE SHOP PLAN FOR EXACT SIZE, NUMBER AND VERIFY FINAL LOCATION IN FIELD WITH ARCHITECT. INSTALL PER MANUFACTURER'S REQUIREMENTS.

FILL ENTIRE CAVITY WITH BATT - INDICATED.

PROVIDE NEW 2" WOOD FRAMING AS REQUIRED. COORDINATE IN FIELD - AND VERIFY WITH SKYLIGHT MANUFACTURER.

5/8" MOISTURE RESISTANT GYPSUM - EDGED.

PROVIDE 2" FRAMING BELOW - PERIMETER (ALL SIDES) OF SKYLIGHT ABOVE.

EXISTING WOOD ROOF JOISTS TO REMAIN.

UNPAVED TREATMENT BOTTOM OF SKYLIGHT.

9 DETAIL AT ROOF CURB SCALE: 1 1/2"=1'-0"

PROVIDE ALL FLASHING TO MEET SKYLIGHT MANUFACTURER'S REQUIREMENTS.

FULLY ADHERED DOUBLE PLY MEMBRANE ROOFING MUST BE APPLIED TO 5/8" EXTERIOR GRADE G.I.B. (SCURRED TO NEW 2" P.T. WOOD CURB - VERIFY EXACT SIZE WITH SKYLIGHT MANUFACTURER).

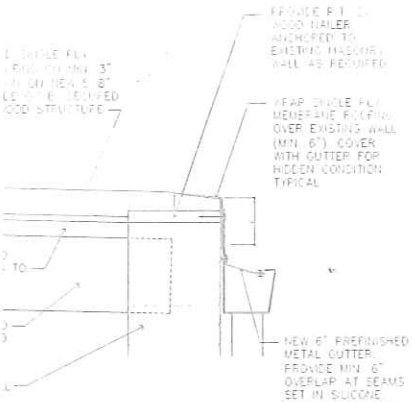
MECHANICALLY FASTENED, DOUBLE PLY MEMBRANE ROOFING ON MIN. 3" RIGID INSULATION (PROVIDE MIN. 1/4" PER FOOT SLOPE) ON NEW 5/8" EXTERIOR GRADE G.I.B. SECURED TO EXISTING WOOD STRUCTURE.

5/8" EXTERIOR GRADE PLYWOOD.

EXISTING WOOD ROOFING DECK.

EXISTING STRUCTURE TO REMAIN.

5 DETAIL AT SKYLIGHT SCALE: 1 1/2"=1'-0"



DOUBLE PLY MEMBRANE ROOFING ON MIN. 3" RIGID INSULATION (PROVIDE MIN. 1/4" PER FOOT SLOPE) ON NEW 5/8" EXTERIOR GRADE G.I.B. SECURED TO EXISTING WOOD STRUCTURE.

PROVIDE 2" WOOD NAILER ADHERED TO EXISTING MASONRY WALL AS REQUIRED.

SEAL DOUBLE PLY MEMBRANE ROOFING OVER EXISTING WALL (MIN. 6") COVER WITH OUTLET FOR HIDDEN CONDITION TYPICAL.

NEW 6" PRE-FINISHED METAL OUTLET. PROVIDE MIN. 6" OVERLAP AT SEAMS SET IN SLOPE FOR WATER TIGHT CONDITION TYPICAL.

FULLY ADHERED DOUBLE PLY MEMBRANE ROOFING ON MIN. 3" RIGID INSULATION (PROVIDE MIN. 1/4" PER FOOT SLOPE) ON NEW 5/8" EXTERIOR GRADE G.I.B. SECURED TO EXISTING WOOD STRUCTURE.

EXISTING WOOD ROOF DECKING TO REMAIN.

EXISTING WOOD STRUCTURE TO REMAIN.

EXISTING MASONRY WALL TO REMAIN.

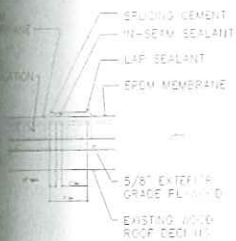
NEW PRE-FINISHED METAL COPING WITH GRAVEL STOP (COLOR TO BE SELECTED BY ARCHITECT). PROVIDE LAP SPURSE JOINT SET IN SLOPE (MIN. 6").

PROVIDE 2" WOOD NAILER ADHERED TO EXISTING MASONRY WALL AS REQUIRED.

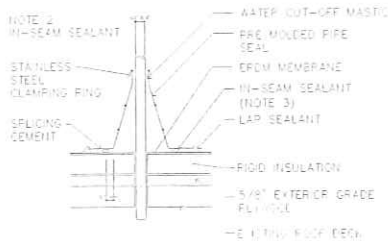
1 DETAIL AT EDGE OF ROOF SCALE: 1 1/2"=1'-0"

2 DETAIL AT EDGE OF ROOF SCALE: 1 1/2"=1'-0"

Thompson Block
DeKalb Town
Tomball, Michigan
construction manager:
JC Beal Construction Inc.
CONSTRUCTION DOCUMENTS
Project Number: 0000 Date: 0000
Sheet Title:
ROOF DETAILS
A 7.10
© 2014 JC Beal Construction, Inc.

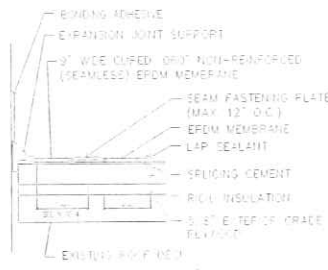


MEMBRANE SPlice PROCEDURE IS FOR SPICES BETWEEN CURED EPDM SECTIONS WITH SPlicing CEMENT OVER ENTIRE 3\"/>



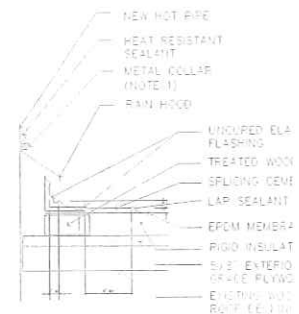
NOTES:

1. REMOVE ALL LEAD AND OTHER FLASHING. PRE-MOLDED PIPE SEAL MUST HAVE CONTACT RIB AT TOP EDGE, REGARDLESS OF PIPE DIAMETER.
2. APPLY IN-SEAM SEALANT 1/2\"/>



NOTES:

1. ALL OUTSIDE AND INSIDE CORNERS REQUIRE 180° CORNER APPLICATION OF UNCURED ELASTOFORM FLASHING. SEE DETAIL 11-IF.
2. WIDTH OF JOINT SHALL BE A MINIMUM OF 3\"/>



NOTES:

1. FIELD FABRICATED PIPE SEAL FOR USE WITH NEW HOT PIPE. TEMPERATURE OF METAL COLLAR MUST NOT EXCEED 180° F.
2. UNCURED ELASTOFORM FLASHING WRAPPED AROUND PIPE SHALL HAVE 3\"/>

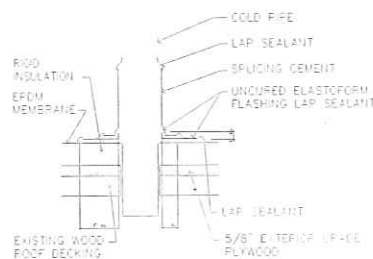
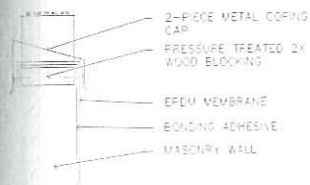
DETAIL AT ROOF EXPANSION INSIDE CORNER

14 DETAIL AT ROOF LAP SCALE: 1 1/2\"/>

13 DETAIL AT ROOF PIPE PENETRATION SCALE: 1 1/2\"/>

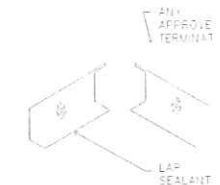
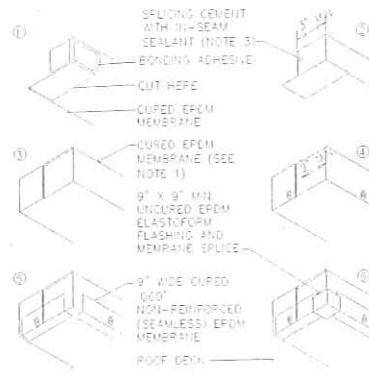
12 CONTINUOUS EPDM WALL FLASHING SCALE: 1 1/2\"/>

11 DETAIL AT ROOF PIPE PENETRATION SCALE: 1 1/2\"/>



NOTES:

1. REMOVE ALL LEAD AND OTHER FLASHING BEFORE INSTALLING FIELD-FABRICATED PIPE SEAL.
2. NAILERS REQUIRED AROUND ALL PIPES GREATER THAN 18\"/>



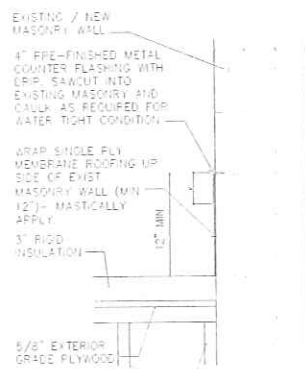
NOTES:

1. INSTALL SEAM FASTENING FL TO 9\"/>

8 ROOF MEMBRANE DETAIL AT COPING SCALE: 1 1/2\"/>

7 DETAIL AT ROOF PIPE PENETRATION SCALE: 1 1/2\"/>

6 TYPICAL EPDM MEMBRANE DETAILS SCALE: 1 1/2\"/>

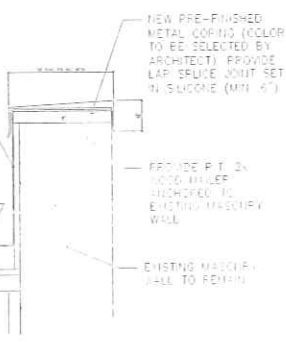


4 DETAIL AT WALL/ROOF INTERSECTION SCALE: 1 1/2\"/>

WRAP SINGLE PLY MEMBRANE ROOFING OVER TOP OF EXISTING WALL FOR WATER TIGHT CONDITION. MASTICALLY APPLY TO NEW 5/8\"/>

FULLY ADHERED SINGLE PLY MEMBRANE ROOFING ON MIN 3\"/>

EXISTING WOOD ROOFING DECK EXISTING STRUCTURE TO REMAIN - SEE STRUCTURAL FOR FULL EXTENT OF REPAIRS



3 DETAIL AT TOP OF WALL SCALE: 1 1/2\"/>

FULLY ADHERED SINGLE PLY MEMBRANE ROOFING ON MIN 3\"/>

EXISTING WOOD ROOF DECK TO REMAIN

EXISTING WOOD STRUCTURE TO REMAIN
EXISTING MASONRY WALL TO REMAIN

2 DETAIL SCALE: 1\"/>

RAIL - SEE
ALTERNATIVE OPTIONS
TREX BOARD DECKING
IMPERSON JUST HANDER -
SEE STRUCTURAL
X 12 PRESSURE TREATED
PIST - SEE STRUCTURAL

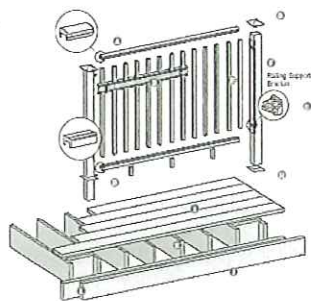
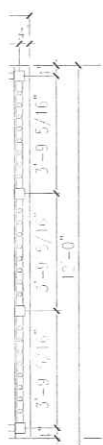
1/2" THROUGH-BOLTS -
TYPICAL
1" SQUARE TUBE STEEL
GALVANIZED
1/4" BENT METAL BRACKET
3 RECEIVE WOOD POST -
RETRILL (2) HOLES FOR
OR 1/2" THROUGH BOLTS
TO POST

2) LVL'S - SEE
STRUCTURAL DRAWINGS

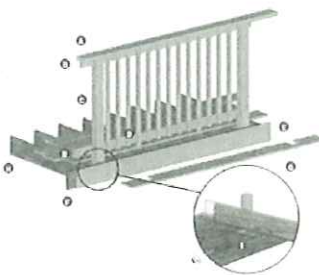
GRADE 2X FRAMING
JOA PERIMETER (ALL
EST. OF SKYLIGHT
OVE)

INTER SKYLIGHT ON
STING JOIST BELOW

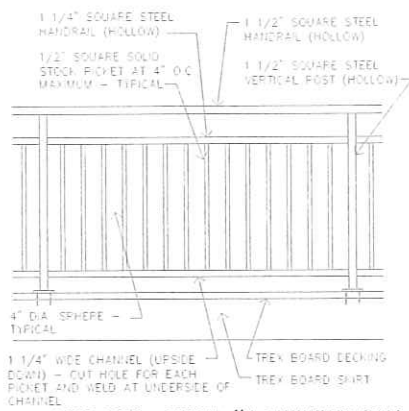
NG



NOTE: The Trex railing system is designed to be used with 1 1/2" square steel posts. Do not use 1" square steel posts. The Trex railing system is not designed to be used with 1 1/2" square steel posts.



NOTE: The Trex railing system is designed to be used with 1 1/2" square steel posts. Do not use 1" square steel posts. The Trex railing system is not designed to be used with 1 1/2" square steel posts.



ROOF DECK - OPTION #4 GALVANIZED STEEL

3 HANDRAIL
NOT TO SCALE

NOTE: ALL STEEL AND CONNECTORS ARE GALVANIZED

TREX RAISED HANDRAIL SERIES ASSEMBLY NOTES

- TREX DESIGNER HANDRAIL - MAXIMUM HEIGHT FROM TOP OF DECKING TO TOP OF HANDRAIL IS 42" ATTACH HANDRAIL TO POST WITH TREX RAILING SUPPORT BRACKETS. TREX HANDRAIL PROVIDES EASE OF ASSEMBLY BY ELIMINATING THE NEED FOR A FILLET STEEL. THE LOWER EDGE ON THE HANDRAIL ALLOWS FOR FASTENING OF THE BALUSTERS USING A 16-GAUGE 2" FINISH NAIL.
- TREX DESIGNER BOTTOM RAIL - ATTACH BOTTOM RAIL TO POST WITH TREX RAILING SUPPORT BRACKETS. NEW BOTTOM RAIL FEATURES BOTTOM LIP FOR ADDED STABILITY.
- TREX RAILING SUPPORT BRACKETS - INNOVATIVE BRACKET DESIGNED FOR HORIZONTAL, ANGLED AND STAIR RAIL INSTALLATION APPLICATIONS. RAILING SUPPORT BRACKETS ARE POSITIONED ACCURATELY ON THE POSTS USING THE RAILING ASSEMBLY.
- RAIL AND ATTACH TO POSTS USING 2 SCREWS (#8 DECK SCREW) 12" ON.
- TREX EXPRESS FRAMING ASSEMBLY TOOL - TOOL (PAPER) BRACKETS TO LINE UP RAILING SUPPORT BRACKETS (FOR A 1/2" HOLE) TO PLUMB THE POSTS AND SET THE BOLT HOLES. USE IT HORIZONTAL FOR BALUSTER BRACKETS.
- TREX 1 3/8" BALUSTERS - MAXIMUM SPACING IS 5" ON CENTER OR 3 5/8" BETWEEN BALUSTERS. USE A NAIL GUN WITH 16-GAUGE (16 GAUGE) TO SECURE TO TOP RAIL AND BOTTOM RAIL TO CREATE SUPPORT BLOCKS. USE TREX 1 1/2" BALUSTERS, CUT TO ATTACH THE POSITION BETWEEN BOTTOM RAIL AND DECK SURFACE. ATTACH TO BOTTOM RAIL USING NAIL GUN. MAXIMUM SPACING OF 18" ON CENTER. TREX RECOMMENDS PRE-DRILLING IF FASTENING WITH SCREWS.
- TREX RAILPOST - 4" X 4" X 52" WITH THE MAXIMUM SPACING OF 24" ON CENTER. ATTACH TO RIM JOIST WITH TWO 1/2" CARPENTER BOLTS. DO NOT NOTCH POSTS. BOLTS MUST BE VERTICALLY SPACED AT LEAST 5 1/2" APART. TOP BOLT MUST BE AT LEAST 1" FROM THE TOP OF THE DECK. THE BOTTOM BOLT MUST BE AT LEAST 1" FROM THE BOTTOM OF THE POST.
- TREX POST CAP - DECORATIVE TOP FOR TREX RAILPOST.
- TREX POST SHIRT - DECORATIVE COVER FOR BITE OF TREX RAILPOST. INSTALL POST SHIRT BEFORE MOUNTING BRACKETS TO POST.
- TREX DECKING.
- TREX TRIM - 1X TRIM AVAILABLE IN VARIOUS WIDTHS.
- CODE-APPROVED WOOD JOIST.
- CODE-APPROVED WOOD RIM JOIST - 2 X 8 OR LARGER.

ROOF DECK - OPTION #2 DESIGNER SERIES

2 RAISED HANDRAIL ASSEMBLY (TREX)
NOT TO SCALE

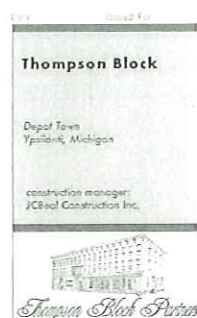
- TREX 5/4 X 6 HANDRAIL - MAXIMUM HEIGHT FROM TOP OF DECKING TO TOP OF HANDRAIL IS 42" ATTACH TOP CAP TO 4 X 4 RAIL POST WITH 2 SCREWS (#12).
- 3X DIAGONAL 2" APART. TOP CAP IS SECURED TO TOP RAIL WITH A SCREW EVERY 12" ON.
- TREX 2 X 4 TOP & BOTTOM RAIL - ATTACH TOP RAIL TO 4 X 4 POSTS WITH 2 SCREWS (#12 X 3") DIAGONALLY 2" APART.
- TREX RAILPOST - 4" X 4" X 52" WITH THE MAXIMUM SPACING OF 24" ON CENTER. ATTACH TO RIM JOIST AND WOOD SUPPORT BLOCKING WITH TWO 1/2" DIAMETER CARPENTER BOLTS. DO NOT NOTCH POSTS. BOLTS MUST BE VERTICALLY SPACED NO LESS THAN 5 1/2" APART. TOP BOLT MUST BE AT LEAST 1" FROM THE TOP OF THE DECK, AND THE BOTTOM BOLT MUST AT LEAST 1" FROM THE BOTTOM OF THE POST.
- TREX 1 3/8" BALUSTERS - MAXIMUM SPACING IS 5" ON CENTER OR 3 5/8" BETWEEN BALUSTERS. FASTEN TWO SCREWS (#10 X 2 1/2") INTO TOP RAIL AND SECURE TWO SCREWS (#10 X 2 1/2") THROUGH BOTTOM RAIL. A BALUSTER MUST EXTEND TO THE DECK EVERY 16" FOR SUPPORT.
- TREX FASCIA - 1" X 6" OR LARGER.
- CODE-APPROVED WOOD RIM JOIST - 2" X 8" OR LARGER.
- TREX DECKING - NOTCH DECKING BOARD AROUND 4 X 4.
- CODE-APPROVED WOOD JOIST.
- CODE-APPROVED WOOD SUPPORT BLOCKING.

ROOF DECK - OPTION #1

1 RAISED HANDRAIL ASSEMBLY (TREX)
NOT TO SCALE

GENERAL NOTES:

- PRICING OPTIONS - PROVIDE PRICING INFORMATION FOR THE DIFFERENT DECK CONSTRUCTION TECHNIQUES AS SHOWN. PROVIDE PRICING IN THE FORMAT AS DIRECTED BY THE CONSTRUCTION MANAGER.
- TREX RAISED HANDRAIL ASSEMBLY.
- TREX DESIGNER SERIES HANDRAIL ASSEMBLY.
- PRESSURE TREATED DECK AND HANDRAIL SYSTEM (SIMILAR TO TREX RAISED HANDRAIL ASSEMBLY).
- GALVANIZED STEEL HANDRAIL.
- CONTRACTOR RESPONSIBLE FOR DECK CONSTRUCTION TO SUBMIT SHOP DRAWINGS AND DECK MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RELATED INFORMATION TO THE ARCHITECT PRIOR TO CONSTRUCTION.
- CONTRACTOR INDICATES THE RESPONSIBLE CONTRACTOR UNDERSTANDS AND WILL CONFORM TO THE MANUFACTURER'S INSTALLATION INSTRUCTION.
- ANY WORK INSTALLED DEVIATING FROM THE MANUFACTURER'S INSTALLATION INSTRUCTIONS WILL BE CONSIDERED DEFECTIVE WORK BY THE ARCHITECT AND WILL ACTED UPON ACCORDINGLY.
- SEE THE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS FOR INFORMATION PERTAINING TO JOIST SIZE AND SPACING FOR THE DECK STRUCTURE.

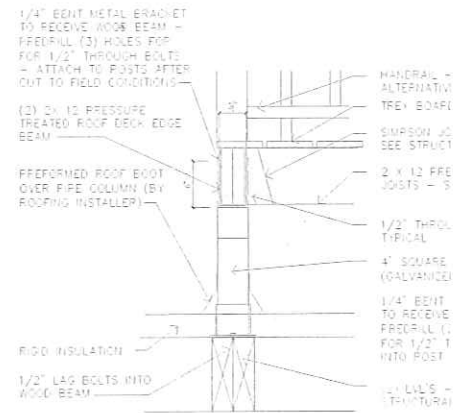


CONSTRUCTION DOCUMENTS
Project Number: 10000 Date: 10/10/10

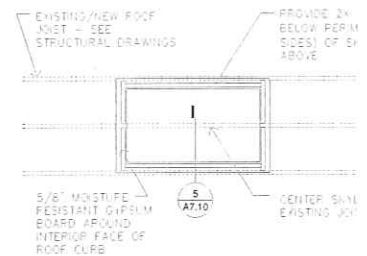
Sheet Title
ROOF & DECK DETAILS

Sheet Number
A 7.11

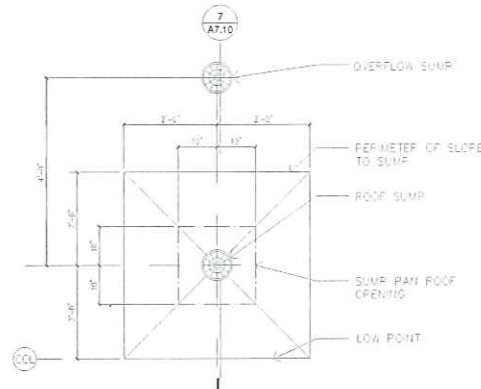
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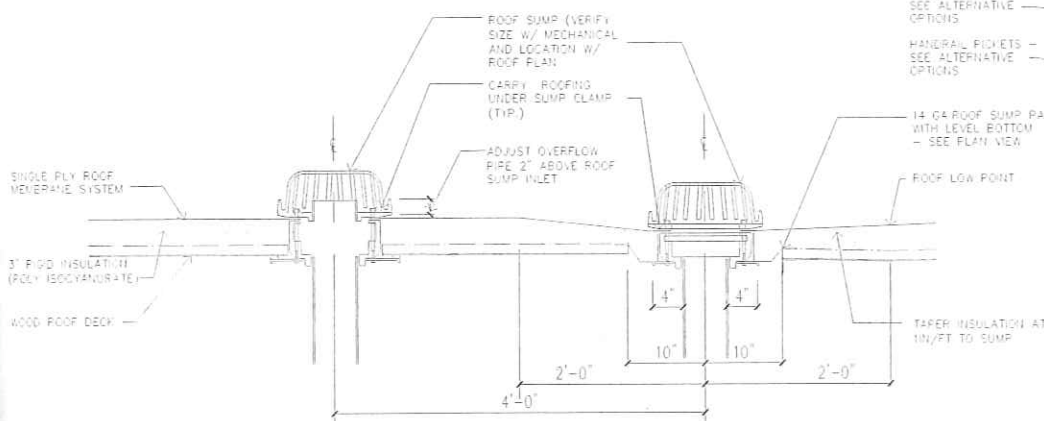
6 **DETAIL AT DECK POST**
SCALE: 1 1/2"=1'-0"



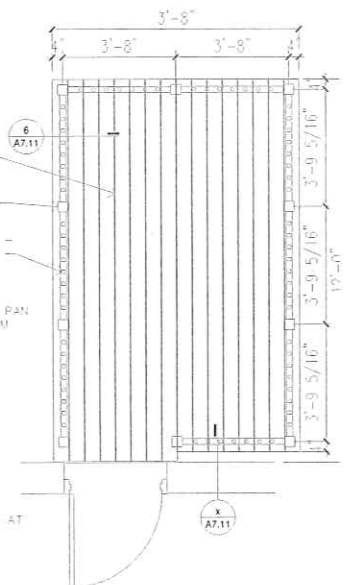
5 **PARTIAL ENLARGED PLAN AT TYPICAL ROOF SKYLIGHT FRAMING**
SCALE: 1 1/2"=1'-0"



8 **PARTIAL PLAN AT ROOF SUMP/OVERFLOW SUMP**
SCALE: 1/2"=1'-0"

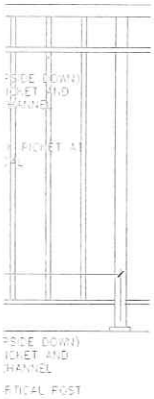


7 **PARTIAL SECTION AT ROOF SUMP/OVERFLOW SUMP**
SCALE: 1 1/2"=1'-0"

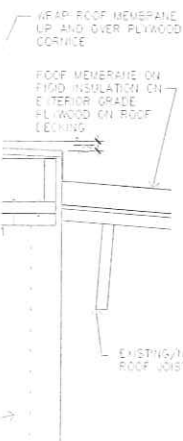


4 **ROOF DECK - OPTION #1 RAISED HANDRAIL ASSEMBLY (TREX)**
SCALE: 1 1/2"=1'-0"

NDRAIL



CAL GUARDRAIL



ORIC CORNICE

- 4" HIGH PRECAST CONCRETE CAP - TYPICAL
- 1/4" x 1 1/2" GALV. STRAP ANCHORS @ 24" O.C. - TYPICAL
- TOP OF MASONRY

- OVERSIZED 24" WIDE X 16" HIGH X 4" THICK CONCRETE DECORATIVE CONCRETE MASONRY UNIT (BURNISHED FINISH) ON 2" AIR SPACE ON 2" RIGID INSULATION 8" CONCRETE BLOCK BACK-UP - PROVIDE #5 BARS @ 24" O.C. VERTICALLY & HORIZONTAL EVERY OTHER COURSE. PROVIDE WEAP HOLES @ 24" O.C.



TOP OF WALL

WEAP HOLES COPPER THRU WALL FLASHING

ROOFING MEMBRANE FULLY MASTIC APPLIED VERTICALLY UP WALL

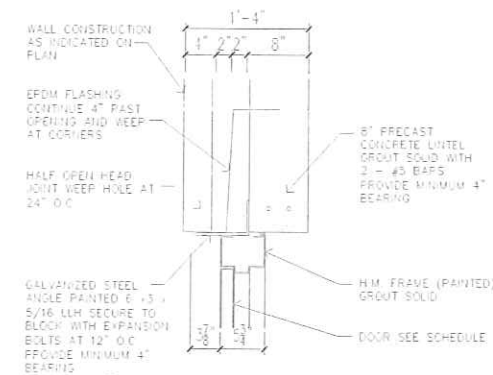
SINGLE PLY VENEER ROOFING ON 3" RIGID INSULATION ON 3/4" T & G PLYWOOD SUBSTRATE. NO PONDING OF WATER WILL BE ALLOWED

2 X 12 ROOF STRUCTURE - SLOPE TO PROVIDE MIN. 1/4" PER FOOT TO ROOF DOWNS

(2) LAYERS, 5/8" TYPE 'X' GYPSUM BOARD ON 3/4" RESISTENT CHANNEL ON (2) LAYERS, 5/8" TYPE 'X' GYPSUM BOARD ON UNDERSIDE OF EXISTING/NEW FLOOR JOISTS

3 DETAIL AT WALL / ROOF INTERSECTION

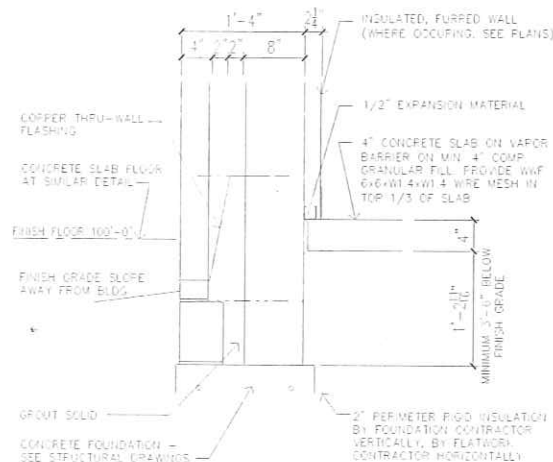
A 7.60 SCALE: 1 1/2" = 1'-0"



2 DETAIL AT DOOR HEAD

A 7.60 SCALE: 1 1/2" = 1'-0"

1" EXTERIOR CONCRETE BLOCK ON 2" AIR SPACE ON 3" RIGID INSULATION ON 8" CONCRETE BLOCK ON 1 5/8" METAL STUDS AT 16" O.C. ON 5/8" EP WALL FLASHING. PROVIDE #5 BARS AT 24" O.C. VERTICALLY AND HORIZ. EVERY OTHER COURSE. PROVIDE WEAP HOLES AT 24" O.C.



1 DETAIL AT BOTTOM OF WALL

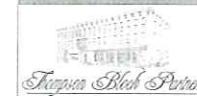
A 7.60 SCALE: 1 1/2" = 1'-0"

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Thompson Block

Dipol Town, Ypsilanti, Michigan

construction manager: JCB Construction, Inc.



CONSTRUCTION DOCUMENTS

Project Number: 1505 Date: 09/30/14

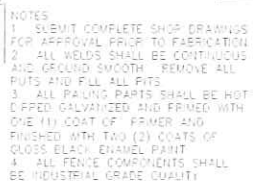
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EXTERIOR DETAILS

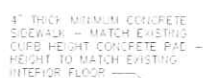
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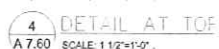
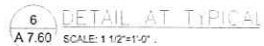
GALVANIZED ANCHOR PLATE. ANCHOR PLATE SHALL BE FASTENED WITH 3/8" DIA. X 3" LONG SLEEVE ANCHORS. 1 1/2" SQUARE POST SHALL BE WELDED TO ANCHOR PLATE. SHEE SHALL BE PLACED ON POST PRIOR TO WELDING ANCHOR PLATE TO POST.



A 7.60 SCALE: 1"=1'-0"

7
A 7.60

DETAIL
SCALE: 1"=1'-0"

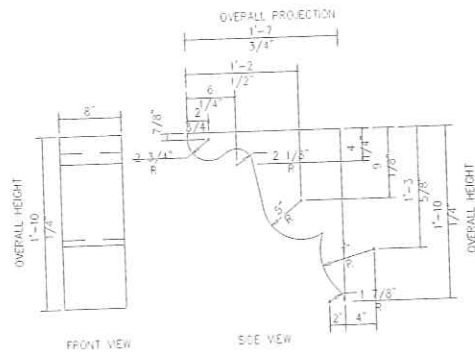




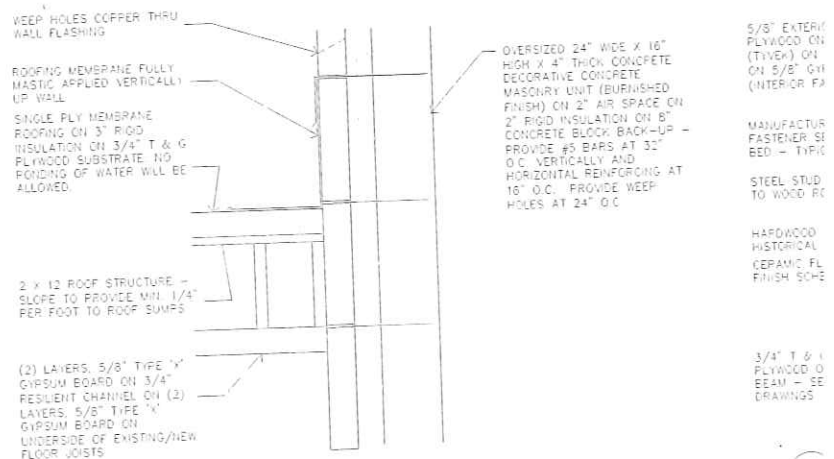
1/4" NOMINAL GAP

BENT METAL CORING W/ HP
FINISH
MANUFACTURER APPROVED
FASTENER SET IN SEALANT
BED - TYPICAL
BENT METAL PLATE W/ HP
FINISH
5/8" EXTERIOR GRADE
PLYWOOD ON 6" METAL STUD
(18 GAUGE) ON 6" BATT
INSULATION ON 5/8"
EXTERIOR GRADE PLYWOOD
ROOF MEMBRANE ON EXTERIOR
GRADE PLYWOOD - WRAP
ROOF MEMBRANE OVER TOP
OF WALL

3 DE
A 7.60 SC



2
A 7.60

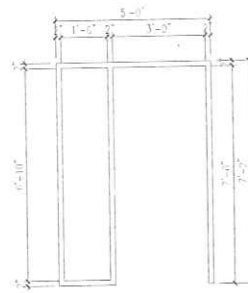


1
A 7.6

DOOR / HARDWARE NOTES
 DOOR SCHEDULE INDICATES NEW DOORS AND EXISTING DOORS REQUIRING MODIFICATION. CONTRACTOR AND OWNER SHALL COORDINATE THE KEYING OF NEW, REWORKED, AND EXISTING DOORS.
 KEYING SHALL BE COORDINATED WITH OWNER. PROVIDE (2) COPIES OF SEPARATE KEYS FOR EACH LOCK. PROVIDE (4) MASTER KEYS FOR ALL BUILDING ENTRY LOCKS. PROVIDE (4) GRAND MASTER KEYS FOR ALL LOCKS.
 LOCATE DOOR FRAMES A MINIMUM OF 4" FROM WALL CORNER TO BACK OF FRAME UNLESS OTHERWISE INDICATED.
 UNDERCUT DOORS AS REQUIRED TO CLEAR FLOOR FINISH MATERIALS AND MAINTAIN FIRE RATING.
 DOORS SHALL BE SMOOTH SWING UNLESS OTHERWISE NOTED.
 PROVIDE WOOD THRESHOLD AT TOILET ROOM.
 GRANT ALL HOLLOW METAL DOOR FRAMES IN MASONRY OPENINGS.

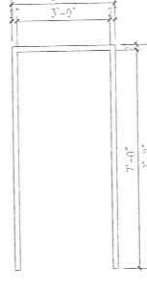
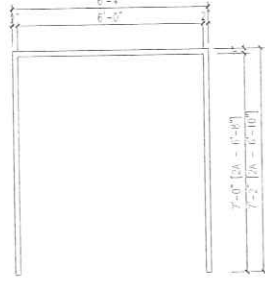
DOOR HARDWARE SCHEDULE

SEE SPECIFICATIONS FOR DOOR HARDWARE SETS



10 FRAME TYPE '4' SINGLE DOOR
 SCALE 1/16"=1'-0"
 NOTE: GROUT ALL FRAMES SOLID

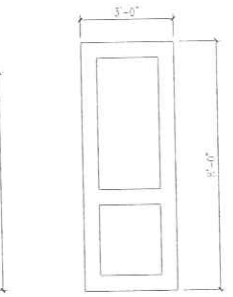
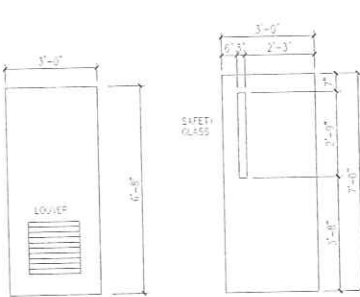
SEE SCHEDULE FOR DOOR WIDTHS



9 FRAME TYPE '3' PRE-HUNG DOORS
 SCALE 1/16"=1'-0"
 NOTE: GROUT ALL FRAMES SOLID

8 FRAME TYPE '2' DOUBLE DOORS
 SCALE 1/16"=1'-0"
 NOTE: GROUT ALL FRAMES SOLID

7 FRAME TYPE '1' SINGLE DOOR
 SCALE 1/16"=1'-0"
 NOTE: GROUT ALL FRAMES SOLID

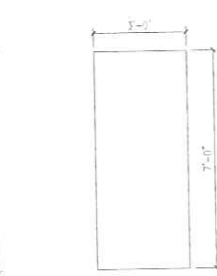
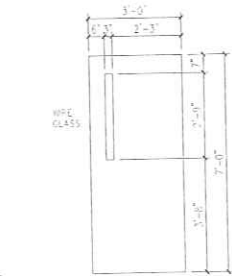
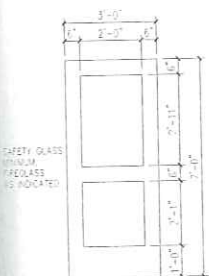


7 DOOR TYPE 'G' HOLLOW FLUSH WOOD DOOR W/ LITE
 SCALE 1/16"=1'-0"

6 DOOR TYPE 'F' SOLID WOOD DOOR W/ LITE
 SCALE 1/16"=1'-0"

5 DOOR TYPE 'E' COREFRONT ENTRY DOOR
 SCALE 1/16"=1'-0"

4 DOOR TYPE 'D' FLUSH HOLLOW METAL DOOR
 SCALE 1/16"=1'-0"



INTERIOR FLUSH WOOD DOORS
 MANUFACTURER: JELD-WEN
 STILE: FLUSH PASSAGE
 COLOR: PFE-FINISHED, SMOOTH, 'OLYMPIC' GLASS
 'A' - UNIT ENTRY DOOR 1 3/4" THICK, 60 MINUTE
 'A-1' - UNIT INTERIOR DOORS 1 3/8" THICK PRE-HUNG IN FRAME

3 DOOR TYPE 'C' / 'C-1' TWO LITE DOOR
 SCALE 1/16"=1'-0"

2 DOOR TYPE 'B' FLUSH DOOR W/ LITE
 SCALE 1/16"=1'-0"

1 DOOR TYPE 'A' & 'A-1' FLUSH WOOD DOOR
 SCALE 1/16"=1'-0"

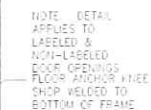
DOOR SCHEDULE	DOOR NUMBER / NAME	TYPE	ROOM NUMBER / NAME	DOOR DESCRIPTION	FINISH	DOOR SIZE
GROUND FLOOR	001	NEW	002 STAIR 'B'	HOLLOW METAL	PAINTED	3'-0" x 7'-0"
	002	NEW	002 STAIR 'B'	HOLLOW METAL	PAINTED	3'-0" x 7'-0"
	003	NEW	002 STAIR 'B'	HOLLOW METAL	PAINTED	3'-0" x 7'-0"
	004	NEW	002 STAIR 'B'	HOLLOW METAL	PAINTED	3'-0" x 7'-0"
	005	NEW	002 STAIR 'B'	HOLLOW METAL	PAINTED	3'-0" x 7'-0"
	006	NEW	002 STAIR 'B'	HOLLOW METAL	PAINTED	3'-0" x 7'-0"
	007	NEW	002 STAIR 'B'	HOLLOW METAL	PAINTED	3'-0" x 7'-0"
	008	NEW	002 STAIR 'B'	HOLLOW METAL	PAINTED	3'-0" x 7'-0"
	009	NEW	002 STAIR 'B'	HOLLOW METAL	PAINTED	3'-0" x 7'-0"
	010	NEW	002 STAIR 'B'	HOLLOW METAL	PAINTED	3'-0" x 7'-0"
FIRST FLOOR	101	NEW	002 STAIR 'B'	HOLLOW METAL	PAINTED	3'-0" x 7'-0"
	102	NEW	002 STAIR 'B'	HOLLOW METAL	PAINTED	3'-0" x 7'-0"
	103	NEW	002 STAIR 'B'	HOLLOW METAL	PAINTED	3'-0" x 7'-0"
	104	NEW	002 STAIR 'B'	HOLLOW METAL	PAINTED	3'-0" x 7'-0"
	105	NEW	002 STAIR 'B'	HOLLOW METAL	PAINTED	3'-0" x 7'-0"
	106	NEW	002 STAIR 'B'	HOLLOW METAL	PAINTED	3'-0" x 7'-0"
	107	NEW	002 STAIR 'B'	HOLLOW METAL	PAINTED	3'-0" x 7'-0"
	108	NEW	002 STAIR 'B'	HOLLOW METAL	PAINTED	3'-0" x 7'-0"
	109	NEW	002 STAIR 'B'	HOLLOW METAL	PAINTED	3'-0" x 7'-0"
	110	NEW	002 STAIR 'B'	HOLLOW METAL	PAINTED	3'-0" x 7'-0"
SECOND FLOOR	201	NEW	002 STAIR 'B'	HOLLOW METAL	PAINTED	3'-0" x 7'-0"
	202	NEW	002 STAIR 'B'	HOLLOW METAL	PAINTED	3'-0" x 7'-0"
	203	NEW	002 STAIR 'B'	HOLLOW METAL	PAINTED	3'-0" x 7'-0"
	204	NEW	002 STAIR 'B'	HOLLOW METAL	PAINTED	3'-0" x 7'-0"
	205	NEW	002 STAIR 'B'	HOLLOW METAL	PAINTED	3'-0" x 7'-0"
	206	NEW	002 STAIR 'B'	HOLLOW METAL	PAINTED	3'-0" x 7'-0"
	207	NEW	002 STAIR 'B'	HOLLOW METAL	PAINTED	3'-0" x 7'-0"
	208	NEW	002 STAIR 'B'	HOLLOW METAL	PAINTED	3'-0" x 7'-0"
	209	NEW	002 STAIR 'B'	HOLLOW METAL	PAINTED	3'-0" x 7'-0"
	210	NEW	002 STAIR 'B'	HOLLOW METAL	PAINTED	3'-0" x 7'-0"



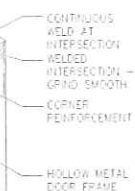
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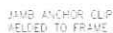
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SCALE 12-15 mm



SCALE 3:1/2"

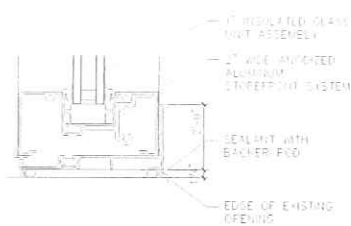


SCALE: 3"=1'-0"

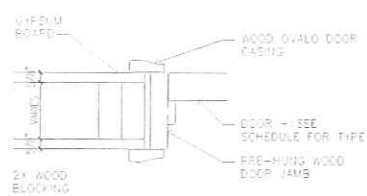


SCALE: 3"=1'-0"

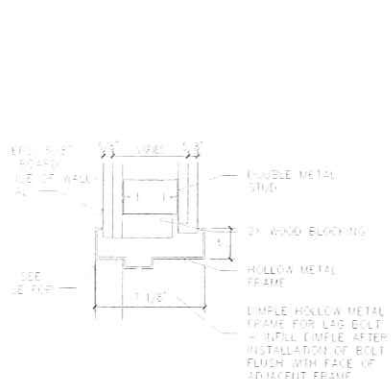
SHIP NAME/NO.	SHIP NUMBER	TYPE	ROOM NUMBER / NAME	ROOM DESCRIPTION	TYPE	DATE	TIME
TAIL	273	SEA	UNIT 7 -	WOOD	PRE-FINISH	1-10	1-10
	274	SEA	UNIT 7 -	WOOD	PRE-FINISH	1-10	1-10
	275	SEA	UNIT 7 -	WOOD	PRE-FINISH	1-10	1-10
	276	SEA	UNIT 7 -	WOOD	PRE-FINISH	1-10	1-10
	277	SEA	UNIT 7 -	WOOD	PRE-FINISH	1-10	1-10
	278	SEA	UNIT 7 -	WOOD	PRE-FINISH	1-10	1-10
	279	SEA	UNIT 7 -	WOOD	PRE-FINISH	1-10	1-10
	280	SEA	UNIT 7 -	WOOD	PRE-FINISH	1-10	1-10
	281	SEA	UNIT 7 -	WOOD	PRE-FINISH	1-10	1-10
	282	SEA	UNIT 7 -	WOOD	PRE-FINISH	1-10	1-10
SECTION VIEW	283	SEA	UNIT 8 -	WOOD	PRE-FINISH	1-10	1-10
	284	SEA	UNIT 8 -	WOOD	PRE-FINISH	1-10	1-10
	285	SEA	UNIT 8 -	WOOD	PRE-FINISH	1-10	1-10
	286	SEA	UNIT 8 -	WOOD	PRE-FINISH	1-10	1-10
	287	SEA	UNIT 8 -	WOOD	PRE-FINISH	1-10	1-10
	288	SEA	UNIT 8 -	WOOD	PRE-FINISH	1-10	1-10
	289	SEA	UNIT 8 -	WOOD	PRE-FINISH	1-10	1-10
	290	SEA	UNIT 8 -	WOOD	PRE-FINISH	1-10	1-10
	291	SEA	UNIT 8 -	WOOD	PRE-FINISH	1-10	1-10
	292	SEA	UNIT 8 -	WOOD	PRE-FINISH	1-10	1-10
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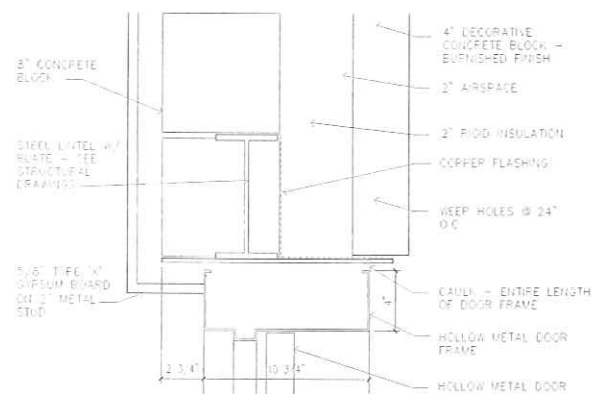
11 DETAIL AT STOREFRONT BASE
SCALE 1/12"=1'-0"



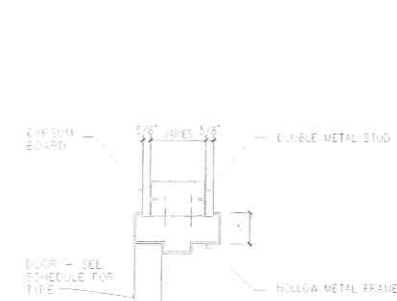
8 DETAIL AT PRE-HUNG WOOD DOOR JAMB/HEAD
SCALE 1/12"=1'-0"



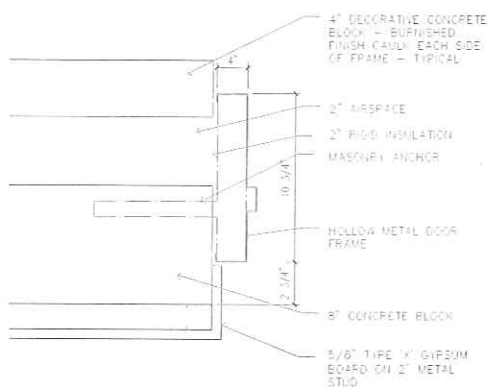
10 DETAIL AT DOOR JAMB/HEAD AT GYPSUM BOARD WALL
SCALE 1/12"=1'-0"



7 DETAIL AT MASONRY DOOR HEAD
SCALE 1/12"=1'-0"

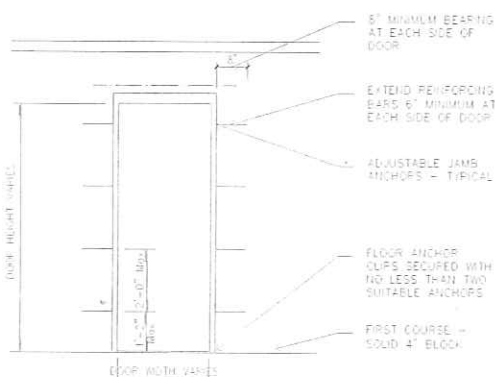


9 WALL DETAIL AT HM DOOR JAMB/HEAD AT GYPSUM BOARD
SCALE 1/12"=1'-0"

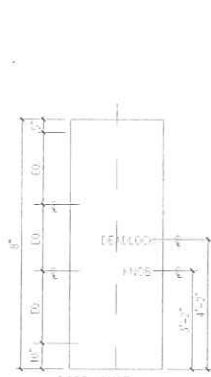


6 DETAIL AT MASONRY DOOR JAMB
SCALE 1/12"=1'-0"

- METAL CHANNEL RUNNER
- CHANNEL RUNNER FASTENED TO STUD WITH SCREWS
- JAMB ANCHOR CLIPS ATTACHED TO DOOR FRAME AND SCREWS FASTENED TO METAL STUD - LOCATE ANCHOR CLIP ABOVE HINGE REINFORCEMENTS AND JUST BELOW HINGE REINFORCING WITH CLIPS ON STRIKE SIDE TO LOCATE DIRECTLY OPPOSITE OF HINGE SIDE
- HOLLOW METAL FRAME
- FLOOR ANCHOR CLIPS SECURED WITH NO LESS THAN TWO SUITABLE ANCHORS
- METAL CHANNEL RUNNER



2 TYPICAL DOOR FRAME AT MASONRY OPENING
SCALE 1/12"=1'-0"



1 DOOR HINGE LOCATIONS
SCALE 1/12"=1'-0"

AT METAL STUD OPENING

03/2014 Permit
Date: Issued For:

Thompson Block

Depot Town
Ypsilanti, Michigan

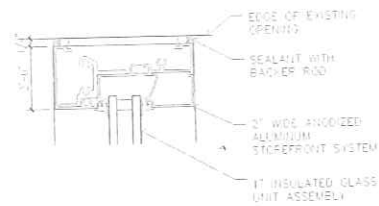
Construction Manager:
JCBest Construction Inc.

Thompson Block Pattern

CONSTRUCTION DOCUMENTS

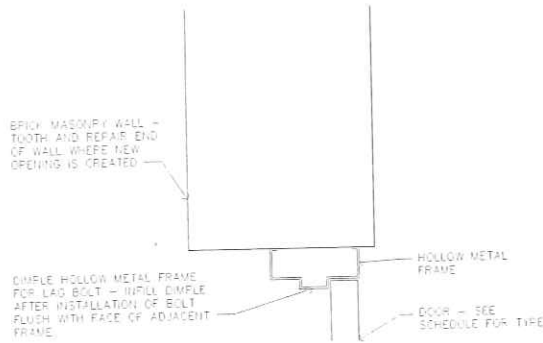
Project Number: 1305 Date: 09/30/14

Sheet Title
**FRAME ANCHOR
DETAILS**

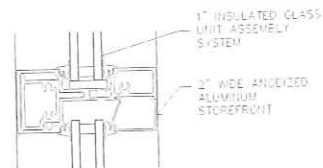


14 DETAIL AT STOREFRONT BASE
SCALE: 1/2"=1'-0"

11 DETAIL
SCALE

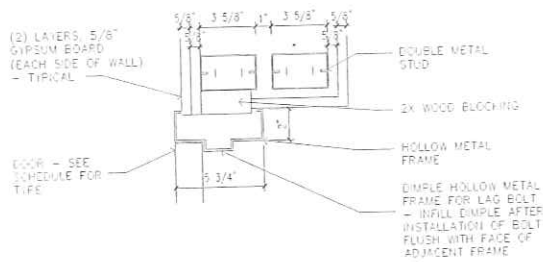


17 DETAIL AT DOOR JAMB/HEAD AT BRICK MASONRY WALL
SCALE: 1/2"=1'-0"

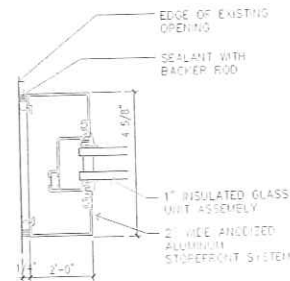


13 DETAIL AT STOREFRONT
SCALE: 1/2"=1'-0"

(2) LAYERS, 5/8" GYPSUM BOARD (EACH SIDE OF WALL) - TYPICAL
DOOR - SEE SCHEDULE FOR TYPE

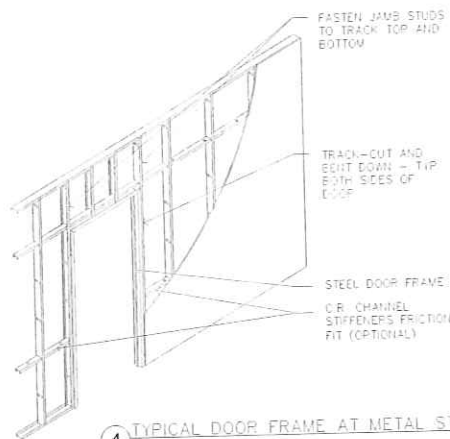


16 DETAIL AT DOOR JAMB/HEAD AT GYPSUM BOARD WALL
SCALE: 1/2"=1'-0"

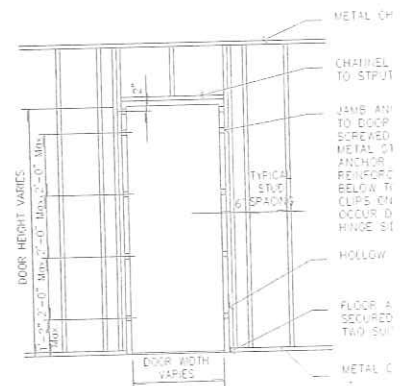


12 DETAIL AT STOREFRONT
SCALE: 1/2"=1'-0"

GYPSUM BOARD
DOOR - SEE SCHEDULE FOR TYPE



4 TYPICAL DOOR FRAME AT METAL STUD OPENING
SCALE: 1/2"=1'-0"



3 TYPICAL DOOR FRAME AT METAL STUD OPENING
SCALE: 1/2"=1'-0"

USER DIAGRAMS SPECIFICATIONS

project:
thompson
block



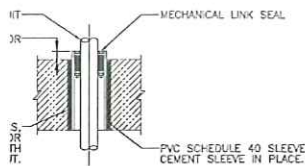
location:
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drawing title:
foundation plan

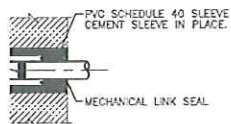
client:
j. b. baird



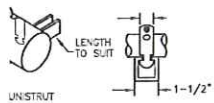
NO.	REVISION	DATE	BY	CHKD.
1	ISSUED FOR PERMIT	10/10/00	JMB	
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3	REVISED TO SHOW CHANGES	12/10/00	JMB	
4	REVISED TO SHOW CHANGES	01/11/01	JMB	
5	REVISED TO SHOW CHANGES	02/11/01	JMB	
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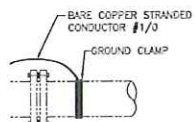
**RIOR FLOOR
DUIT SLEEVE DETAIL**
NONE



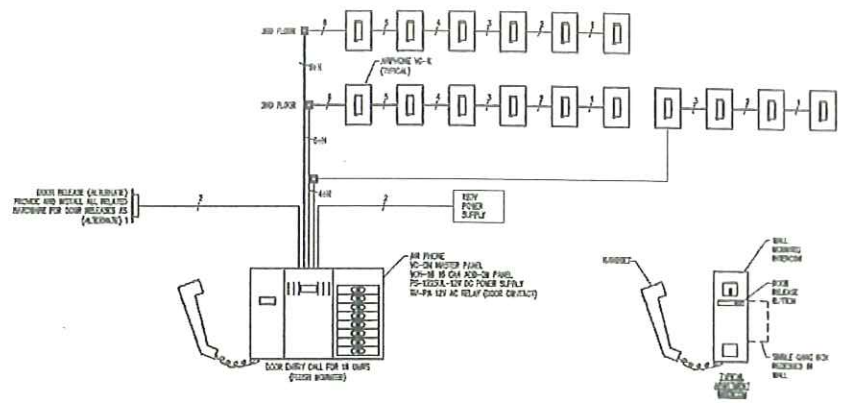
**RIOR WALL
DUIT SLEEVE DETAIL**
NONE



DUIT SUPPORT DETAIL
N.T.S.

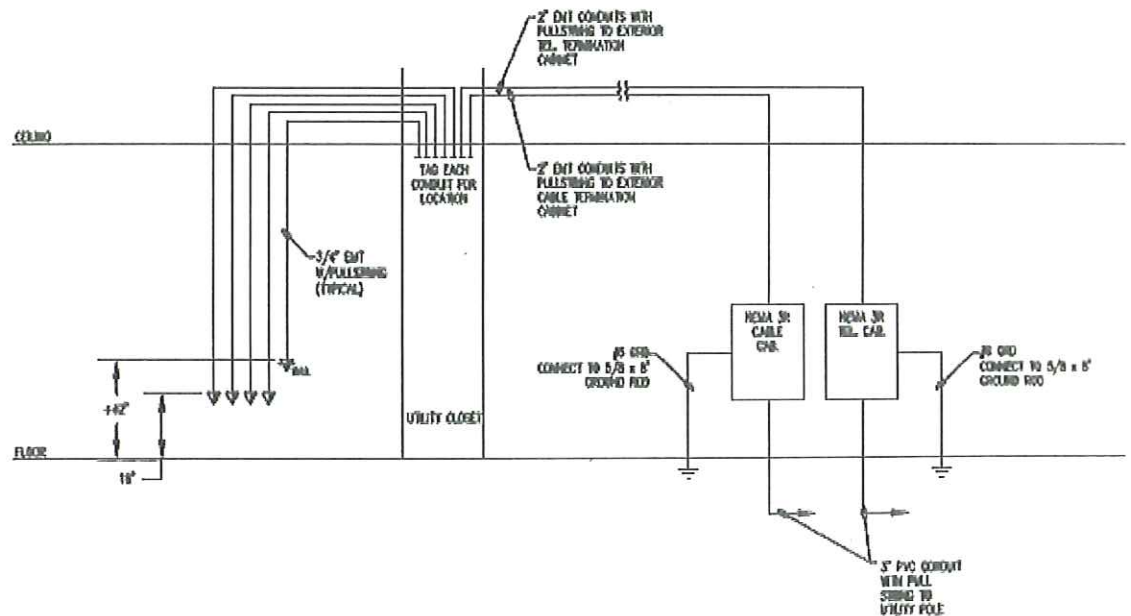


**G FLANGE
INDING BOND**
ONE



3 APARTMENT INTERCOM SYSTEM
NOT TO SCALE

- NOTES:
1. EQUIPMENT AND WIRING BASED ON AIRPHONE SYSTEM VO-CO. WIRING AND EQUIPMENT MAY VARY BASED ON OTHER MANUFACTURERS.
 2. WIRING TO APARTMENTS TO BE INSTALLED IN CONDUIT, 1/2 CONDUIT, 1/2" AND 1/4" CONDUIT AIRPHONE (WIRING) (WIRE OF 1/4").
 3. WIRING TO POWER SUPPLY 2 CONDUCTOR 1/2" AND 1/4" CONDUIT AIRPHONE (WIRING).



4 TELEPHONE/CABLE TYPICAL TENANT RISER DIAGRAM
SCALE: NONE

CITY OF YPSILANTI
HISTORIC DISTRICT COMMISSION
MINUTES OF SEPTEMBER 23, 2014

CALL TO ORDER AND ROLL CALL

Anne Stevenson Chair 7:00 PM

Meeting Location: City Council Chambers, City Hall

Commissioners Present: Anne Stevenson, Jane Schmiedeke, Hank Prebys, Ron Rupert,
Alex Pettit, Michael Condon

Commissioners Absent: None

Staff Present: Cynthia Kochanek, HDC Assistant

APPROVAL OF AGENDA

Motion: Prebys (second: Pettit) moves to approve the agenda as amended to add
216 S Huron as a study item.

Approval: Unanimous. Motion carries.

Motion: Rupert (second: Pettit) moves to approve the agenda as amended to add
106 S Washington as a study item.

Approval: Unanimous. Motion carries.

PUBLIC COMMENT ON AGENDA ITEMS - none

PUBLIC HEARING- none

OLD BUSINESS

29 S Huron

Applicant: Prime Time Real Estate; Craig Annas, owner (present).

Discussion: Application is for a fence repair and painting and replacement of the front
brick courtyard. The HDC tabled the application at the previous meeting in
order to discuss other options with the owner.

Stevenson: States that she noticed that the bricks are now missing in the
front courtyard. States that the HDC was aware that the iron gate and fence
were going to be taken down and painted. The issue is now what will
happen with the courtyard.

Annas: States that the bricks were degraded beyond repair. That most of
them crumbled as they came out.

Rupert: Inquires as to whether the bricks were hard fired.

Annas: States that they were not, that if they were the bricks would probably not have crumbled the way that they had.

Stevenson: States that the staff advised that he would put in grass if not the proposed material of concrete bricks.

Annas: States that if the proposed material is not acceptable then he would like to put in grass.

Prebys: States that grass may be difficult to maintain due to light and water in this area.

Annas: States that he does have a water source and that he understood that the building originally had grass at the front.

Condon: Would like to know why the applicant would not want to replace the courtyard with brick.

Annas: States that the cost is too great to replace the pavers in brick.

Prebys: States there is difficulty with the concrete pavers since it is not compatible with the structure.

Rupert: States that we would approve a hard fired brick.

Stevenson: States that the applicant may want to look for a grass mix that is heartier to use in this location.

Prebys: Would like the applicant to confirm that grass is what he prefers.

Annas: Confirms.

Motion: Prebys (second: Pettit) moves to approve the application for 29 S Huron to remove the front brick courtyard, to repair and paint the wrought iron gate in black. To reinstall the gate and fence as originally installed and to replace the brick pavers with grass in the front courtyard. Shrubs will be installed in the planter box beneath the windows and a dogwood tree in the middle of the courtyard.

Secretary of the Interior Standard:

#4- Preserve significant changes acquired over time.

#10- New work shall be removable.

Approval: Unanimous. Motion carries.

NEW BUSINESS

525 N Huron

Applicant: Michael Parakh, owner (present).

Discussion: Application is for siding repair, window and metal door installation and painting on the exterior.

Stevenson: States that there has been quite a bit of work at the property that the HDC was concerned about. States that the windows that were installed look to be vinyl.

Parakh: Confirms that the windows are vinyl.

Stevenson: States that vinyl is a material that is not allowed in the historic district and an alternative will have to be found. States that vinyl decreases the size of the openings and causes the need for the large trim sections that the applicant had to install and this then changes the look of the house. Advises that the slider windows in the front of the house are also inappropriate.

Parakh: States that he just purchased the house a few months ago and the windows that he installed are the same as what were there before.

Stevenson: Advises that the vinyl windows that were there before were not approved by the HDC. The windows that the applicant changed need to be replaced with appropriate windows. States that the applicant will not need to tear out and replace all of the windows on the house since he did not replace all of the windows. States that we cannot approve the windows that have been replaced since they were not appropriate for the structure in the first place.

Parakh: States that he was trying to match what was already there.

Rupert: Would like the applicant to confirm which windows he did replace.

Parakh: Advises on which windows.

Rupert: States that there are no sills on the windows that the applicant installed and that the sills would have been there originally.

Parakh: States that he is concerned that the new, correct windows will not match the ones that already exist on the house.

Stevenson: States that the old vinyl windows will eventually need to be replaced and that the correct ones will have to be installed at that time. States that the HDC will not force the applicant to change the old vinyl windows that he did not need to replace. Requests that staff provide the applicant with the window fact sheet and advises the applicant that the windows outlined on the fact sheet are appropriate.

Prebys: States that one of the reasons that the HDC does not allow vinyl windows is that they do not last long and are not made very well.

Stevenson: States that the major issue is with the window glass that has been reduced in size now due to the large vinyl window framing.

Parakh: Would like to know if he needs to replace the ones he did not replace already.

Stevenson: States that he would not need to replace the windows that he did not touch. States that the door on the side has been replaced with a 6 panel metal door and that a metal door is inappropriate for this structure.

Parakh: States that the door was an emergency replacement since the house was broken into not that long ago.

Rupert: Would like to know what the front door looks like.

Parakh: States that it is a metal door and he is not planning on replacing it.

Stevenson: States that a simple wood door is appropriate.

Parakh: States that he used a metal door since he believed that it was a door that would hold up better if someone tried to break in.

Condon: Advises that the door will usually fail at the deadbolt when someone tries to break in and not at the door itself.

Stevenson: Would like to address how the siding will be replaced. She would like to confirm that the siding will be replaced with in kind materials.

Parakh: Confirms that this is the case.

Stevenson: States that the application states that he will power wash the structure. Inquires as to whether the applicant has already power washed the house.

Parakh: States that he has not power washed yet.

Stevenson: States that the HDC does not allow power washing since it will force the water under the siding and that will cause damage the wood structure. Advises that a garden hose and brush should be used instead.

Rupert: States to use oil based primer and a satin or semi-gloss finish for the paint. States that either of the paint colors schemes proposed in the application are appropriate.

Prebys: States that with the approval of the applicant the application can be approved with modifications.

Stevenson: Would like to know if the applicant would like to proceed with the application.

Parakh: Confirms.

Schmiedeke: Shows applicant some door options that would be appropriate from a catalog.

Parakh: Would like to know if the door needs to have glass in it.

Schmiedeke: States that it would not necessarily need glass.

Condon: States that the applicant can have glass at the top of the door if break-ins are an issue.

Prebys: Advises that fan or arched openings for the glass on the door are inappropriate. A rectangular window for the door is appropriate.

Motion: Prebys (second: Pettit) moves approval of the application for 525 N Huron to replace small sections of the damaged wood siding to match existing. To replace windows with wooden windows as described in the window fact sheet. The windows may also be aluminum clad wood windows. The house may be washed with low pressure water, scraped and primed with an oil based primer and a latex satin finish coat. The side metal door will be replaced with a wood door that may have a glass panel at the top third with two panels beneath that. The paint colors may be used as submitted on the application in scheme 1: Sherwin Williams 6192 for the body and 6129 for the trim or scheme 2: Sherwin Williams 6430 for the body and 6366 for the trim.

Secretary of the Interior Standard:

#5- Preserve distinctive features.

#10- New work shall be removable.

Approval: Unanimous. Motion carries.

308 Maple

Applicant: David Alber, owner (absent).

Discussion: Application is for the construction of a garden shed.

Prebys: States that this needs to be tabled since the location for the structure is not listed on the application. Also, T-111 siding is not allowed.

Motion: Prebys (second: Rupert) moves table for more information on the location and materials and T-111 siding is not approvable.

Secretary of the Interior Standard:

N/A

Approval: Unanimous. Motion carries.

160 N Washington

Applicant: Eric Maurer, owner (present).

Discussion: Application is for window replacement; replacing a center fixed window with an aluminum clad wood double-hung window.

Maurer: States that the house is problematic but the tenet needs a movable window.

Prebys: Would like to know if what is there is already wood.

Maurer: States that it is wood with metal around it. States that the only difference that you would be able to see is the double hung portion. States that it was an old porch that was closed in at one point.

Condon: Would like to know if the existing casing will be used.

Maurer: Is fine with using the existing, but it depends on the installer.

Schmiedeke: States that the windows are not original to the structure.

Motion: Condon (second: Schmiedeke) moves approval of the application for 160 N Washington for the replacement of the center window as indicated in the application with a new double hung aluminum clad wood window and screen to match the existing window in dimensions. Material will be painted to match.

Secretary of the Interior Standard:
#10- New work shall be removable.

Approval: Unanimous. Motion carries.

613 N Prospect

Applicant: Peter Sturgeon, owner. Jacklyn and Carl Sturgeon, representatives (present).

Discussion: Application is for painting, foundation repair and the relocation of the mailbox.

Stevenson: States that they have received the application for work and would like to know if there is anything that they would like to add.

Condon: Would like to know if they are replacing the entire block for the foundation repair.

Carl Sturgeon: States that they found face replacements that are about 2". States that you just need to be a mason to install them.

Rupert: Would like to know if there was a retaining/cheek walls for the stairs previously.

Jacklyn Sturgeon: States that there was at one point and brought examples. Is planning on putting the wall back to what it was previously.

Carl Sturgeon: It would be supporting the sides of the stairs. States that they have appreciation of the antique and any repairs will be correct to the time period.

Condon: Inquires as to what will occur with the mailbox.

Jacklyn Sturgeon: Would like to replace the mailbox with a U.S. Postal approved mailbox since the one that is now attached to the post on the porch is not correct. States that they would like to move it to the approach walk. States that there are several in the area like this.

Prebys: Would like to confirm that the paint that will be used is a cream color.

Jacklyn Sturgeon: Confirms.

Motion: Condon (second: Prebys) moves approval of the application for 613 N Prospect to include the stripping, priming and repainting of the exterior window trim. The replacing of missing and broken cinder blocks with a matching rock faced block. The rebuilding of the two cheek walls around the concrete stairs in matching rock faced block. The installation of a new mailbox on a 4x4 post on the approach walk at the base of the stairs. The paint color to be used on the trim is Behr HD27 Monterey white.

Secretary of the Interior Standard:

5- Preserve distinctive features.

6- Repair, don't replace. Replacements shall match original.

Approval: Unanimous. Motion carries.

600 N River

Applicant: HighScope Educational Research Foundation; Theresa Schenk, representative (present).

Discussion: Application is for awning replacement at the back of the structure.

Schenk: They are planning on painting the house in the same colors next year. She brought paint chips and they tried to match one of the existing colors used on the structure. States that they deal with a specific awning company and would prefer to use them again. The existing frame for the awning is on lead pipe and that will be replaced. States that they had considered vinyl and fabric awnings but that they could not match the existing color. States that they came up with a close match to the house colors in a grey vinyl awning from Trivantage. The color is Driftwood/CP2719-62. This is an awning at the back of the house.

Motion: Prebys (second: Condon) moves approval of the application for 600 N River for the replacement of the awning at the rear of the house. The awning cover will be Trivantage-Driftwood CP2719-62 and will be similar to what is there now.

Secretary of the Interior Standard:

10- New work shall be removable.

Approval: Unanimous. Motion carries.

Riverside Park

Applicant: City of Ypsilanti, owner (absent).

Discussion: Application is for a kiosk installation in Riverside Park.

Prebys: States that he has no problem with the installation of the kiosk however in the photos provided the stones at the bottom of the kiosk look to be dry laid.

Rupert: States that they used a deep grout.

Condon: States that the material is not really stone and it requires a different grout.

Schmiedeke: Inquires as to whether this is one in a string of these kiosks.

Prebys: Confirms and that would mean they would all need to look alike.

Motion: Prebys (second: Condon) moves approval of the installation of the kiosk in Riverside Park at the termination of the Tridge per the submitted drawings.

Secretary of the Interior Standard:
10- New work shall be removable.

Approval: Unanimous. Motion carries.

17-21 E Cross

Applicant: Vincent Chmielewski and Courtney Tavernit, tenets (present).

Discussion: Application is for awning replacement and installation.

Stevenson: States that this was previously discussed as a study item.

Schmiedeke: Inquires as to where the graphics will be on the awnings.

Tavernit: States that there will not be any lettering or graphics on the awnings.

Motion: Prebys (second: Condon) moves approval of the application for 17-21 E Cross for new awnings on the front and rear façades in the same dimensions as the existing. The new awnings will be Sunbrella #46SU in Slate with no graphics.

Secretary of the Interior Standard:
10- New work shall be removable.

Approval: Unanimous. Motion carries.

STUDY ITEMS

210 N Washington

Applicant: Stewart Beal with Beal Properties; owner (present).

Discussion: Applicant is here to discuss replacement material options for an exterior wall that is currently covered in asphalt shingles.

Beal: This building has five different materials for the siding. The shingles have failed and need replacement. Above this area face brick is used and to the left is real brick.

Condon: Would like to know if it is installed on foam board.

Beal: Confirms.

Stevenson: Would like to know if the applicant has any ideas for a replacement material.

Beal: Suggests a wood siding but is not committed to that material.

Condon: States that real brick will be an issue due to the layers under the shingles.

Beal: Is selling the building and the repair of this areas is a condition of the sale.

Rupert: Suggests a smooth side HardiePlank.

Stevenson: Agrees that HardiePlank is the best option.

9 S Adams

Applicant: Amanda Edmonds and Laura Gillis for Growing Hope, tenet (present).

Discussion: Applicant is here to discuss the possible addition of a door to the warehouse and solar tubes.

Edmonds: The warehouse is a hidden gem. They are aiming to turn the 2 properties (9 S Adams and 16 S Washington) into a year round farmers market. States that they need more doors for public occupancy. They would like the HDC to consider two things: the doors and the lighting. Is also interested in any feedback the HDC might have on the project. State that they will need two pedestrian doors on the warehouse. Will use 16 S Washington for parking and for outdoor farmers market, it will also be used as the main public face for the farmer's market. Will need a double 36" for the door per fire code.

Condon: States that it would be great to see this property in use.

Prebys: Agrees and states to possibly use the existing door for style influence for the new doors. States to keep the look of the bank building for the proposed sheds for the market. The solar light tubes are not a problem.

Schmiedeke: States that the door does not need to recreate the existing.

Condon: States that a commercial door could be used.

Prebys: States that a lot is possible since the building needs to be used.

Edmonds: States that they will use interior storms. Would like comments on 16 S Washington since they would like to define that space.

Rupert: States that they could place a parapet on the building for signage.

Prebys: Will like to see the existing building and canopy on the bank building preserved.

216 S Huron

Applicant: Ron Rupert, contractor (present).

Discussion: The owners are looking for guidance on a replacement material for the siding on the dormer. The existing siding is asbestos and the owners do have extra siding on the property to use for a repair.

Schmiedeke: States to do a repair not replacement.

Condon: Suggests using smooth HardiePlank for a repair if there is not a sufficient amount of shingles available. States that to use cedar shingles here may cause water retention.

17-21 E Cross

Applicant: Vincent Chmielewski and Courtney Tavernit, owner (present).

Discussion: Applicant is considering a projecting sign off of the corner at 17 E Cross. It will be above the awning and even with the cornice. The sign will be at a 45 degree angle. The sign will be 3 x 3 in size. States that they are trying to go with an older look.

The HDC suggests that they would need a visual of the sign. The sign may need additional support if it will be that size. When the applicant comes before the HDC for approval they will need to advise on how it will be installed as well as the design. They will need to avoid the brick itself and install the bracket in the mortar. Will need a frame around the sign and suggestions were made for the material of the sign as well.

106 S Washington

Applicant: Steven Jentzen, owner (present).

Discussion: States that he received a letter advising him to attend the HDC meeting regarding the outbuilding on the property.

Stevenson: Inquires as to what the owner's plans are for the outbuilding.

Jentzen: States that he plans to get a roof on the structure.

Prebys: States that the HDC would not have a problem with the roof being rebuilt.

Condon: Would like to know if any estimates have been acquired.

Jentzen: Confirms that he has a few estimates. The plan is to use asphalt shingles in the same style.

Condon: Would like to know if the contractors stated that the ridge beam and underlying roof framing would need to be replaced.

Jentzen: States that the contractors that he spoke with did, but the barn preservationists that he spoke with did not mention anything about it.

Condon: Advises that what the HDC is most concerned about the preservation of the structure and what it looks like once it is completed. The HDC is concerned with any structure in the district that is unstable and

would like to make sure that the roof does not collapse or the structure is not destroyed.

Jentzen: States that he did try to get barn preservationists to handle the work needed but that did not work out and he is now looking for the easiest, cheapest way to get the structure repaired.

Condon: States that the easiest way is to have trusses made to match the existing and replace the underlying structure and then re-roof the structure after the building walls are supported.

ADMINISTRATIVE APPROVALS- None

OTHER BUSINESS

Property Monitoring:

Terry Bakery: No change.

525 N Huron: Attended meeting.

35 S Huron: The house is in poor condition and the commission would like to see what could be done. Staff is waiting on response from the building department.

209 E Forest: The ramp that was installed needs to be painted according to the previous approval. A letter was sent to the owner on July 29, 2014. Commissioner Rupert did speak with the owner but has not had a response regarding the colors.

214 W Forest: Staff states that a letter was sent August 28, 2014 to Barnes & Barnes with no response at this time. Stevenson suggests that a second letter be sent to the owner since there has not been a response and it has been about a month since the last letter was sent.

613 N Prospect: Attended the meeting.

106 S Washington: Roof on outbuilding is in poor condition. Building department inspected the property and advised owner that repair/replacement is needed and to put an application in to HDC and the building department. A re-inspection is scheduled for October. Owner attended the meeting.

AUDIENCE PARTICIPATION ON NON-AGENDA ITEMS –none

HOUSEKEEPING BUSINESS

Approval of the minutes of September 9, 2014

Motion: Rupert (second: Pettit) moves to approve the minutes as submitted.

Approval: Unanimous. Motion carries.

ADJOURNMENT

Motion: Pettit (second: Prebys) moves to adjourn.

Approval: Unanimous. Motion carries.

MEETING ADJOURNED AT 8:53 pm