

1. Historic District Commission Regular Meeting Agenda

Documents:

[HDC FEBRUARY 28, 2017 AGENDA.PDF](#)

2. Historic District Commission Regular Meeting Packet

Documents:

[HDC PACKET 2-28-17.PDF](#)

CITY OF YPSILANTI
Historic District Commission
Regular Meeting Agenda
February 28, 2017

The Ypsilanti Historic District Commission works to safeguard Ypsilanti's built heritage by guiding development and renovation within the Historic District. Enabled by federal, state, and local legislation, the HDC seeks to stabilize and improve property values, to promote preservation education, and to develop the Ypsilanti Historic District as a vital living area.

An audio recording of the meeting will be made for the purpose of assisting in the preparation of official minutes only. Once the official minutes are approved the audio recording will be destroyed.

I. CALL TO ORDER AND ROLL CALL

Anne Stevenson, Chair	P	A
Hank Prebys, Vice Chair	P	A
Mike Davis Jr.	P	A
Erika Lindsay	P	A
Alex Pettit	P	A
Ron Rupert	P	A
Jane Schmiedeke	P	A

II. APPROVAL OF AGENDA

III. PUBLIC COMMENTS ON AGENDA ITEMS

IV. PUBLIC HEARING – None

V. BUSINESS SESSION

A. OLD BUSINESS - None

B. NEW BUSINESS

1. 322 Maple St

Foundation & porch repair

2. 317 W Cross

Sign replacement

3. 10 N Adams

HVAC & light installation

4. 117 E Cross

Storm window installation & painting

5. 232 N River

Porch repair & painting

6. 15 E Cross

Door replacement

C. STUDY ITEMS

7. 512 N Hamilton

Fence installation

D. ADMINISTRATIVE APPROVALS

8. 313 E Cross

Re-Roof

E. OTHER BUSINESS

9. Annual Elections of Officers – Ballots

VI. AUDIENCE PARTICIPATION ON NON-AGENDA ITEMS

VII. HOUSEKEEPING BUSINESS

Approval of the minutes of February 14, 2017

VIII. ADJOURNMENT

Secretary of the Interior's Standards for the Rehabilitation of Historic Structures

Developed by the U.S. Department of the Interior, the Standards provide a framework that guides protective decisions regarding historic structures. The Historic District Commission is required to cite applicable Standards with each formal decision it renders. It may also cite HDC Fact Sheets as part of its decision-making process.

1. Use property for original purpose or provide compatible use with minimal alteration.

A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

2. Do not destroy original character. Do not remove or alter historic material or features.

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

3. Do not imitate earlier styles.

Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

4. Preserve significant changes acquired over time.

Changes to a property that have acquired historic significance in their own right will be retained and preserved.

5. Preserve distinctive features.

Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

6. Repair, don't replace. Replacements shall match original.

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

7. Clean building gently—no sandblasting.

Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

8. Preserve archaeological resources.

Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

9. Contemporary designs shall be compatible and shall not destroy significant original material.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

10. New work shall be removable.

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

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Historic District Commission
Regular Meeting Agenda
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Jane Schmiedeke	P	A

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2. 317 W Cross

Sign replacement

3. 10 N Adams

HVAC & light installation

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HDC Work Permit Staff Review

Property address: 322 Maple St

Date of Review: February 24, 2017

Date of Meeting: February 28, 2017

Proposed work: Foundation Repair

Materials: 12" concrete masonry units, concrete

Staff review:

1. Work to include foundation repair and side porch replacement. Side porch to be replaced with a concrete slab.
2. Before proceeding with work, the applicant must seek the appropriate building department permits.

Relevant Secretary of the Interior's Standards:
#6, #9

Recommended Motion:

Move to approve work at 322 Maple St to include the installation of concrete slab side porch on the west side and foundation repair with 12"CMU.

1. Use property for original purpose or provide compatible use with minimal alteration.

2. Do not destroy original character. Do not remove or alter historic material or features.

3. Do not imitate earlier styles.

4. Preserve significant changes acquired over time.

5. Preserve distinctive features.

6. Repair, don't replace. Replacements shall match original.

7. Clean building gently—no sandblasting.

8. Preserve archaeological resources.

9. Contemporary designs shall be compatible and shall not destroy significant original material.

10. New work shall be removable.



RECEIVED

FEB 10 2017

CITY OF YPSILANTI
BUILDING DEPARTMENT

City of Ypsilanti

**Historic District Commission
Work Permit Application**

One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646 • Fax: (734) 483-7260
www.cityofypsilanti.com

Rec 21739 1
PHDC-17-0025

OFFICE USE ONLY

Date Filed:

Meeting Date:

Action Item/Study Item

To complete this application:

1. Complete this form.
2. Attach the following documents:
 - a. Photo(s) showing all locations where work is proposed (can be emailed).
 - b. Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components—this includes information from catalogues, professional quotes, or websites (can be emailed).
 - c. Dimensioned drawings of any new construction or modifications to existing structures, including awnings and signs.
 - d. A sketch plan, if proposal is for work on the grounds and not just the main structure (e.g., installing a new driveway, fence, or shed). This can be drawn on a scaled copy of a mortgage survey.
3. Applications and materials must be received by the Building Department **no later** than 4pm on the Tuesday prior to the meeting.

INCOMPLETE APPLICATIONS WILL BE REJECTED

Property

Address

322 maple street

Applicant

*If applicant is not owner of property, a written statement from the owner authorizing this application must be included.

Name

Dexter Builders

Address

8820 Jackson Road

City

Dexter

State

MI

Zip

48130

Phone / Fax

734-424-9420

Fax

734 426 4336

E-Mail

ESpiegelberg@DexterBlock.com

Contractor

Contractor Name & Contact Info

Dexter Builders

734-424-9420

Type of work

☐ Roofing

☐ Window/Door
Replacement

☐ Porches

☐ Sign

☐ Fence (or other sitework)

☒ Other

Foundation Repair/Repl.

SCOPE OF SERVICES

All work summarized below is according to discussions during our site visit. Any change from this proposal may require a cost adjustment (add or deduct), a written change order will be prepared for your approval prior to initiating the change.

- Obtain permits and schedule inspections
- Install temporary supports raising the floor closer to level
- Excavate along 28' of the East wall a minimum of 42" below grade. 13' of the South wall and 12' of the West wall will be excavated down just below existing basement floor level
- Remove the 3 wall sections that have been excavated
- Form and pour 10" x 20" concrete footing with (2) #4 rebar continuous
- Construct an 8" c.m.u. wall in the crawl space area and 12" c.m.u. in the basement area both with vertical #4 rebar in solid cores every 32"
- Waterproof the walls with Mel-Rol
- Backfill with clean fill sand
- Replace the 5' x 8' side porch with a 4" concrete slab
- Install an 18' I-beam to replace the center basement wall (to be removed by others)
- Dispose of all debris including the deck and any excess soils
- Final grade and create positive fall away from the 3 new walls as much as possible

Materials (for paint include color chips or samples with application):

12" C M U

Permit Application Fee (action items only)

The fee is \$35 for the first \$3,000 in construction cost plus \$5 for every additional \$3,000 of construction cost. An additional fee of \$50 applies to HDC work started without the applicable permit.

Construction Cost:

25,800

Permit fee:

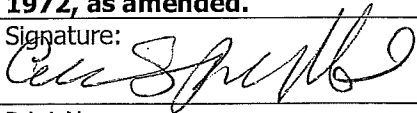
\$35 + _____ = 75⁰⁰

Signature

I hereby attest that the above information is accurate. I am authorized to and grant permission to the City of Ypsilanti staff to be on the subject property for the purposes of preparing staff reports and/or evaluating this application.

I further affirm that this property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.

Signature:



Date:

2-10-17

Print Name:

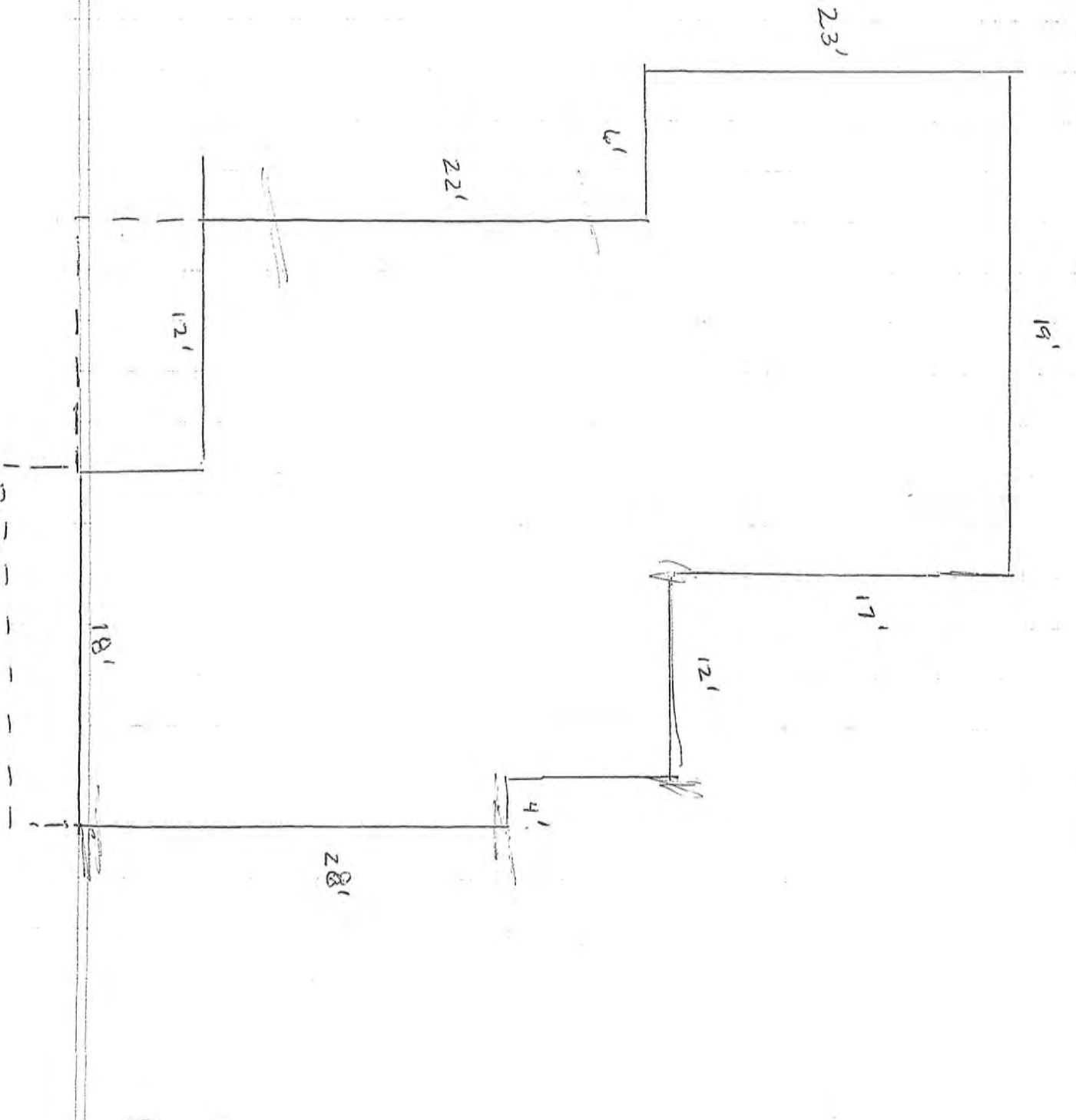
Eric Spiegelberg

If you have questions about what the HDC generally permits or does not permit, or what they need to see in an application to render a decision, please call the office at 734-483-9646, email us at hintern@cityofypsilanti.com, or view our factsheets at cityofypsilanti.com/hdc.

All other necessary Building Permits must be acquired before beginning work.

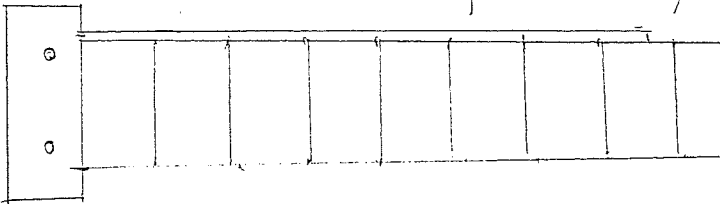
332 Maple
Ypsi

P4217-0005



mel-Rol
waterproofing

UTK 06



vertical #4 Re-bar
Every 32"

Two #4 Rebar
16X20 spread footing



322 Maple



HDC Work Permit Staff Review

Property address: 317 W Cross

Date of Review: February 24, 2017

Date of Meeting: February 28, 2017

Proposed work: Sign replacement

Materials: plastic sign inserts

Staff review:

1. Work included the repainting and reinstallation of sign inserts to reflect the name change of the business.
2. Work has already been completed.
3. Before proceeding with work, the applicant must seek the appropriate building department permits.

Relevant Secretary of the Interior's Standards:
#10

Recommended Motion:

Move to approve the sign change at 317 W Cross using colors Navajo White #SW 6126 and Bohemian Black # SW 6988.

1. Use property for original purpose or provide compatible use with minimal alteration.

2. Do not destroy original character. Do not remove or alter historic material or features.

3. Do not imitate earlier styles.

4. Preserve significant changes acquired over time.

5. Preserve distinctive features.

6. Repair, don't replace. Replacements shall match original.

7. Clean building gently—no sandblasting.

8. Preserve archaeological resources.

9. Contemporary designs shall be compatible and shall not destroy significant original material.

10. New work shall be removable.



Rec 21748
PHDC-17-0009

2

**City of Ypsilanti
Historic District Commission
Work Permit Application**

One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646 • Fax: (734) 483-7260
www.cityofypsilanti.com

OFFICE USE ONLY

Date Filed:

Meeting Date:

Action Item/Study Item

2/28/17

Application due
by Feb. 21, 2017

To complete this application:

1. Complete this form.
2. Attach the following documents:
 - a. Photo(s) showing all locations where work is proposed (can be emailed).
 - b. Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components—this includes information from catalogues, professional quotes, or websites (can be emailed).
 - c. Dimensioned drawings of any new construction or modifications to existing structures, including awnings and signs.
 - d. A sketch plan, if proposal is for work on the grounds and not just the main structure (e.g., installing a new driveway, fence, or shed). This can be drawn on a scaled copy of a mortgage survey.
3. Applications and materials must be received by the Building Department **no later** than 4pm on the Tuesday prior to the meeting.

INCOMPLETE APPLICATIONS WILL BE REJECTED

Property

Address

317 W. Cross St Ypsilanti, MI 48197

Applicant

*If applicant is not owner of property, a written statement from the owner authorizing this application must be included.

Name

James Johnson

Address

303 N. Wallace St

City

Ypsilanti

State

MI

Zip

48197

Phone / Fax

cell-734-660-9932 fax-734-905-7425

E-Mail

jjohnson1620@gmail.com

Contractor

Contractor Name & Contact Info

James Johnson

Type of work

- ☐ Roofing
☐ Window/Door Replacement

- ☐ Porches
☒ Sign
☐ Fence (or other sitework)

☐ Other

Complete Description of Proposed Work:

- Name change
- remove plastic inserts on signs, repaint (swatches in envelope attached) re-install plastic inserts,

Materials (for paint include color chips or samples with application):

attached

Permit Application Fee (action items only)

The fee is \$35 for the first \$3,000 in construction cost plus \$5 for every additional \$3,000 of construction cost. An additional fee of \$50 applies to HDC work started without the applicable permit.

Construction Cost:

\$ 375.00

Permit fee:

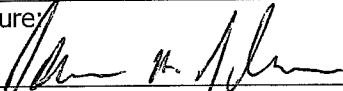
\$35 + _____ =

Signature

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I further affirm that this property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.

Signature:



Date:

2/13/17

Print Name:

James Johnson

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All other necessary Building Permits must be acquired before beginning work.

19

SW 6126
Navajo White

SW 6988
Bohemian Black



317 W Cross



HDC Work Permit Staff Review

Property address: 10 N Adams

Date of Review: February 24, 2017

Date of Meeting: February 28, 2017

Proposed work: Light installation and HVAC work

Materials: Bronze gooseneck lighting, bronze cylinder lighting, guardrails for HVAC system

Staff review:

1. Gooseneck and cylinder lights proposed at various locations on the building. HDC to verify if the cylinder lights are dark sky complaint.
2. HVAC equipment to be installed on the roof of the building with a guardrail for the service equipment to be installed just south of the equipment.
3. Fabric awnings indicated on the plans, no details included.
4. Before proceeding with work, the applicant must seek the appropriate building department permits.

Relevant Secretary of the Interior's Standards:
#9, #10

Recommended Motion:

Move to approve the work at 10 N Adams to include the installation of Millennium Lighting Architectural Bronze R Series 1 Gooseneck lights and Deking Cylinder porch lights in bronze. HVAC to be installed as indicated on the submitted plans with a guardrail to the south of the equipment.

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5. Preserve distinctive features.

6. Repair, don't replace. Replacements shall match original.

7. Clean building gently—no sandblasting.

8. Preserve archaeological resources.

9. Contemporary designs shall be compatible and shall not destroy significant original material.

10. New work shall be removable.



City of Ypsilanti
Historic District Commission
Work Permit Application

One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646 • Fax: (734) 483-7260
www.cityofypsilanti.com

Rec 21749
PHDC 17-0010

3

OFFICE USE ONLY

Date Filed:

Meeting Date:

Action Item/Study Item

To complete this application:

1. Complete this form.
2. Attach the following documents:
 - a. Photo(s) showing all locations where work is proposed (can be emailed).
 - b. Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components—this includes information from catalogues, professional quotes, or websites (can be emailed).
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INCOMPLETE APPLICATIONS WILL BE REJECTED

Property

Address

10 N. Adams Ypsilanti

Applicant

*If applicant is not owner of property, a written statement from the owner authorizing this application must be included.

Name

Mohamed Fayed

Address

~~10 N. Adams~~ 4850 Argyle St - Dearborn MI 48126.

City

Dearborn

State

MI

Zip

48126

Phone / Fax

313-262-1821

E-Mail

Fayed3333@yahoo.com

Contractor

Contractor Name & Contact Info

Mohamed Fayed

Type of work

- ☐ Roofing
☐ Window/Door Replacement

- ☐ Porches
☐ Sign
☐ Fence (or other sitework)

☒ Other
Mechanical HVAC
Lighting

Complete Description of Proposed Work:

- Mechanical :
- Installation of Hood Intake / Exhaust / Ducting / rails.
 - Installation of exterior goose neck lighting
 - Installation of cylinder lighting.

Materials (for paint include color chips or samples with application):

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Construction Cost:

\$18,000

Permit fee:

\$35 + _____ = *60⁰⁰*

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Signature:

Mohamed Fayed

Date:

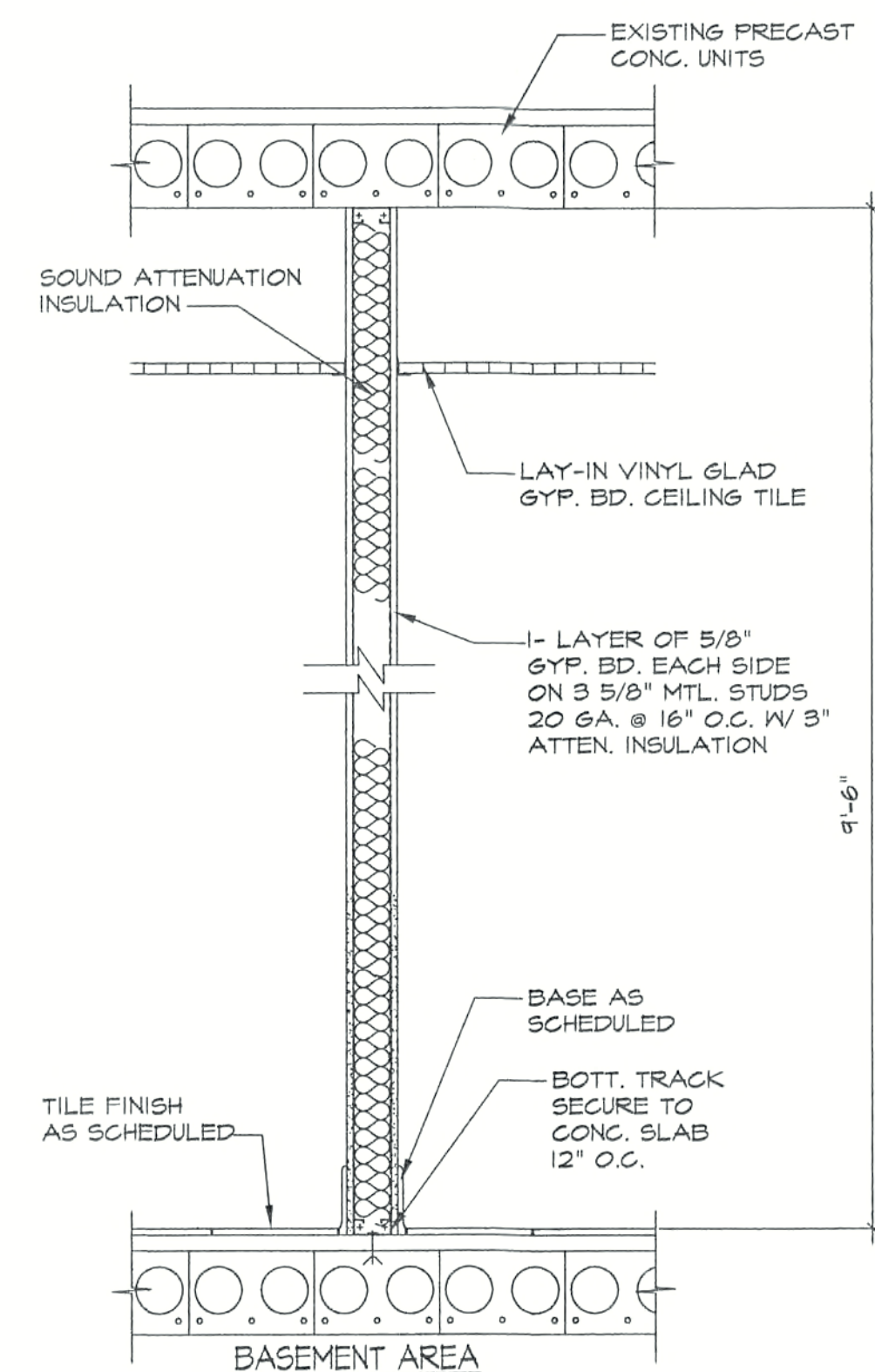
02/19/2017

Print Name:

Mohamed Fayed

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1. CONTRACTOR SHALL VISIT SITE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS IN FIELD AND ASSUME RESPONSIBILITY FOR INCLUDING REQUIREMENTS TO EXISTING CONSTRUCTION IN BID SUM.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD.
3. ALL WORK AND MATERIAL TO BE IN ACCORDANCE WITH APPLICABLE CODES AND ORDINANCES FOR STATE AND LOCAL AUTHORITIES.
4. CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW CONSTRUCTION FROM ANY DAMAGE DURING CONSTRUCTION AT NO COST TO THE OWNER.
5. CONTRACTOR TO CAREFULLY LAYOUT, CUT, FABRICATE AND FIT ITEMS OF ROUGH CARPENTRY, PLUMBING CAPPED FIXTURES AND LEVEL ALL MEMBERS TO ASSURE THAT THEY ARE SECURED WITH SUFFICIENT NAILS, SPIKES, BOLTS OR OTHER SUITABLE FASTENINGS TO ASSUME RIGIDITY AND FIRST CLASS WORKMANSHIP.
6. PROVIDE 1 HOUR SEALANT AT PIPE AND CONDUIT PENETRATION AT 1 HOUR FIRE RATED WALLS (TYPICAL).
7. CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY BRACING AND SHORINGS OF STRUCTURES DURING DEMOLITION AND CONSTRUCTION IF REQUIRED.
8. FOR FIRE STOPPING AT WALL PARTITION USE UNFACED THERMA FIBER SAFING INSULATION & FIRE CODE COMPOUND AS REQUIRED TO MAINTAIN 2.0 HR. FIRE RATINGS.
9. TIME IS OF ESSENCE OF THE CONTRACT. ALL WORK SHALL PROCEED AS EXPEDITIOUSLY AS POSSIBLE IN WORKMANLIKE MANNER.
10. CONTRACTORS SHALL INCLUDE COSTS OF ALL PERMITS & FEES IN BASE BID.
11. CONTRACTORS SHALL PROVIDE ALL LABOR, MATERIALS, INSURANCE, EQUIPMENT, INSTALLATION, TOOLS, TRANSPORTATION, ETC. FOR A COMPLETE AND PROPER COMPLETION OF THE PROJECT AS INDICATED ON THE DRAWINGS AND AS SPECIFIED.
12. SUBCONTRACTORS SHALL VERIFY DIMENSIONS IN THE FIELD PRIOR TO START OF WORK.
13. ALL MATERIALS & EQUIPMENT SHALL BE NEW & IN PERFECT CONDITION WHEN INSTALLED AND SHALL BE OF THE BEST GRADE & OF THE SAME MANUFACTURE THROUGHOUT FOR EACH CLASS OR GROUP OF EQUIPMENT.
14. CONTRACTOR SHALL REMOVE ALL DEBRIS FROM SITE AND LEGALLY DISPOSE OF.
15. CONTRACTOR SHALL PROVIDE A WRITTEN GUARANTEE THAT WILL BE MADE GOOD AT CONTRACTOR'S OWN EXPENSE FOR ANY IMPERFECTIONS IN MATERIAL AND/OR WORKMANSHIP WHICH MAY DEVELOP WITHIN (1) YEAR FROM FINAL ACCEPTANCE.
16. ALL DIMENSIONS ARE TO FINISH 6" P. BD. U.N.O.
17. THE ARCHITECT/ENGINEER WILL NOT HAVE CONTROL OR CHARGE OF AND WILL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY REGULATIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
18. PORTABLE FIRE EXTINGUISHERS TO BE PROVIDED AS REQUIRED BY THE FIRE DEPT. AND PER NFPA # 104. LOCATIONS TO BE DETERMINED ON SITE AS DIRECTED BY THE FIRE MARSHALL.

EXISTING EXTERIOR WALL BRICK VENEER ON MAS. BLOCK UNIT.

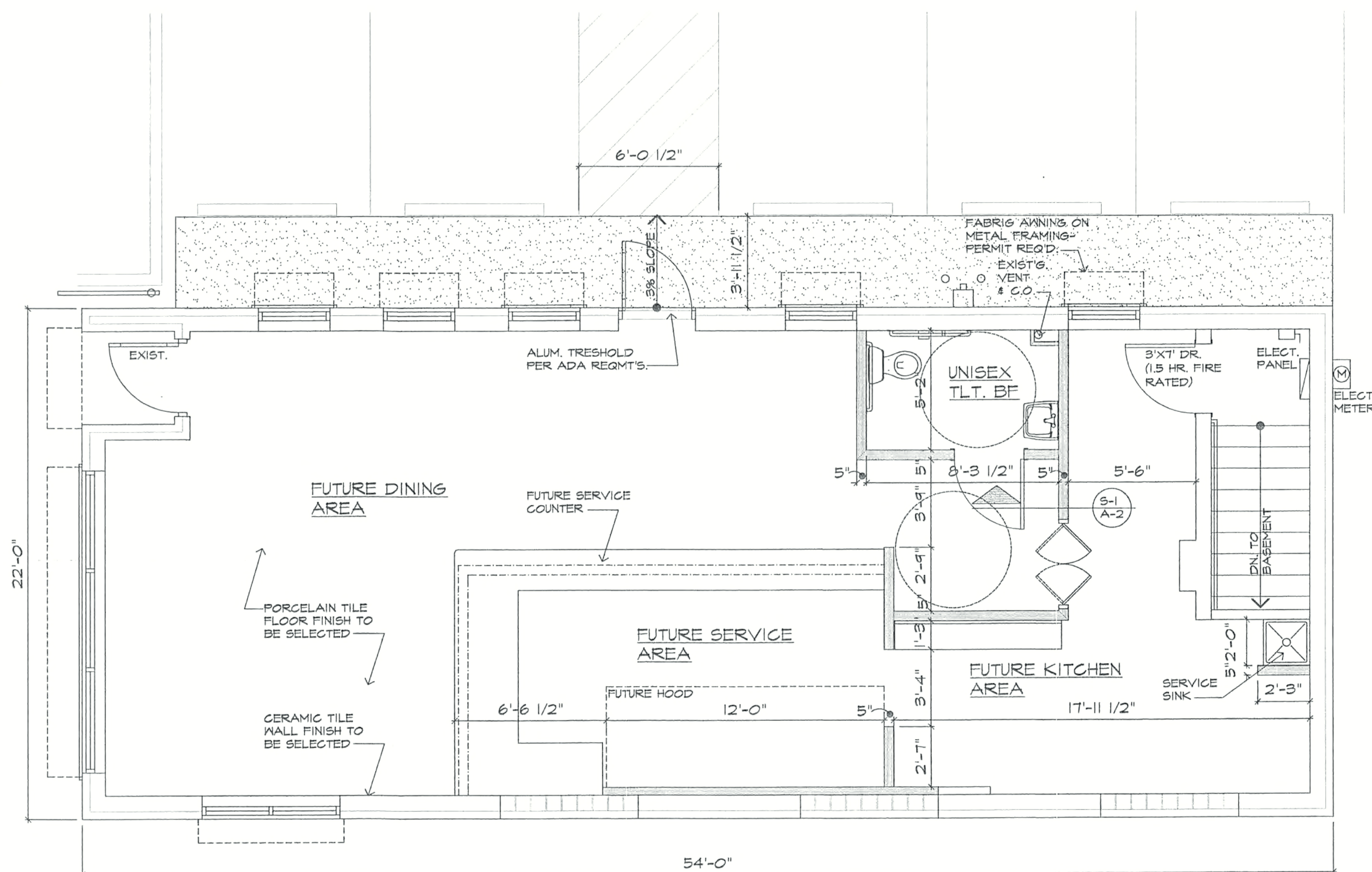
EXISTING PARTITION WALL: STANDARD CONSTRUCTION
4" MAS. BLOCK UNITS SEALED & PAINTED

EXISTING PARTITION WALL: STANDARD CONSTRUCTION TO
BE REMOVED

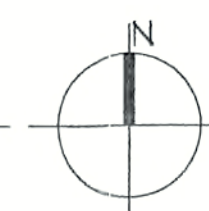
NEW PARTITION WALL, 5/8" GYPSUM BD. EACH SIDE OF
3/5" METAL STUDS @ 16" O.C.

NEW PARTITION WALL, 5/8" GYPSUM BOARD
EACH SIDE OF 3/5" METAL STUDS @ 16" O.C.-
5'-6" AFF.

NOTE: PROVIDE 3" BATT ATTE. INSULATION IN WALLS.



SCALE : 1/4" = 1'-0

[illegible]

GENERAL NOTES:

1. ALL WORK MUST COMPLY W/ MICHIGAN MECHANICAL CODE (MMC- 2012)
2. MECHANICAL CONTRACTOR TO PROVIDE AIR BALANCE REPORT AS REQUIRED AFTER SYSTEM INSTALLATION.

NOTES

1. ALL H.V.A.C. BRANCH LINES TO HAVE BALANCING DAMPERS
2. ALL AIR INTAKE TO BE 10'-0" MINIMUM FROM ANY FLUE OR EXHAUST FAN
3. ALL DUCT WORK SHALL BE EXTERNALLY INSULATED
4. ALL GAS LINES SHALL BE ROUTED ACROSS ROOF PER DETAIL ON THIS SHEET
5. CUTTING AND PATCHING OF ROOF DECK FOR ALL NEW OPENINGS SHALL BE PERFORMED BY THE PROJECT ROOFER

PROVIDE CLEAN OUT AT ANY HORIZONTAL RUN FOR EXHAUST DUCTS AS REQ'D BY CODE (SECTION 506.5.8) HOOD MANUFACTURING TO PROVIDE ARCHITECT WITH DUCTWORK SHOP DRAWINGS SHOWING CLEAN OUT'S LOCATIONS PRIOR TO FABRICATION AND INSTALLATION.

7. FRESH AIR INTAKES TO BE 10'-0" MINIMUM FROM ANY FLUE OR EXHAUST FAN, OR PLUMBING STACK.
8. PROVIDE AND INSTALL SMOKE DETECTORS AT RETURN AIR DUCTS AS REQUIRED BY CODE. DETECTORS TO BE INSTALLED IN COMPLIANCE WITH LOCAL FIRE DEPARTMENT AND BUILDING DEPARTMENT REGULATIONS.
9. PROVIDE AN APPROVED KITCHEN HOOD AND DUCT FIRE SUPPRESSION SYSTEM. PLANS SHALL BE SUBMITTED TO, AND APPROVED BY, THE FIRE MARSHALL PRIOR TO INSTALLATION. SYSTEM SHALL COMPLY WITH NFPA 46 SPECIFICATIONS AND SHALL MEET UL 300 STANDARDS.

10. ALL COOKING EQUIPMENT TO HAVE QUICK DISCONNECT CONNECTORS TO GAS HEADER BY DORMONT CO. THE GAS CONNECTORS MUST BE INSTALLED IN ACCORDANCE WITH THE NATIONAL FUEL GAS CODE (ANSI-222B.1) STATE AND LOCAL CODES.

11. PRIOR TO FINAL INSPECTION PROVIDE BALANCE REPORT OF VENTILATION OF ROOMS AND AREAS ON PLAN. REPORT MUST BE PROVIDED BY A CERTIFIED BALANCING CONTRACTOR.

12. SMOKE TEST FOR COMMERCIAL HOODS MUST BE PERFORMED PRIOR TO FINAL APPROVAL AND MUST BE WITNESSED BY THE MECH. INSPECTOR.

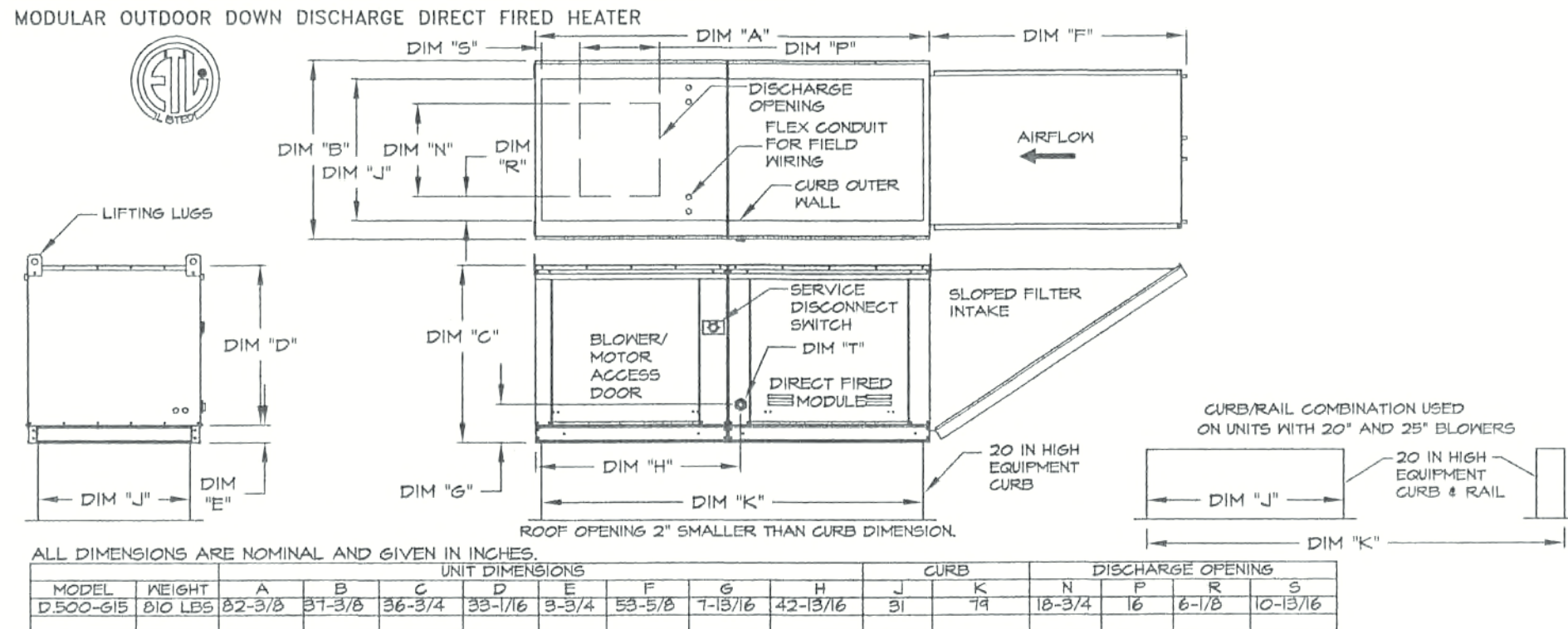
13. PRIOR TO THE INSTALLATION OF A FIRE ALARM SYSTEM, PLANS SHALL BE SUBMITTED AND REVIEWED BY THE FIRE MARSHALL. THE ALARM SYSTEM SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA 72 AND LOCAL ORDINANCES.

14. THE TENANT SHALL PROVIDE AND PROPERLY MOUNT PORTABLE FIRE EXTINGUISHERS AS DESIGNATED BY THE FIRE MARSHALL. (MIN. RATING OF 3A40BC).

EQUIPMENT SPECIFICATIONS:

- MAU-1 MAKE-UP AIR UNIT BY ECON-AIR MODEL# EA2-D500-615 CFM SUPPLY 1500-2500 HEATING SUGTION:250,000 BTU/HR, 100% OUTSIDE AIR, 120 240, 1 PH, 30 AMP INTERLOCKED W/ EF-1.
- FURN-1 GAS FURNACE LOCATED IN THE BASEMENT COMFORT MAKER MODEL NO. N1MSE1202420A, BTU INPUT 120,000,SUPPLY AIR 2065 AT 5 P.G. ELECT. CONNECTION 120/240/1 PH-FIELD VERIFY UNIT SUPPLIED W/ THERMOSTAT, AND ECONOMIZER. UNITS SHALL PROVIDE 25% OUTSIDE FRESH AIR AS REQ'D. BY CODE
- EF-1 EXHAUST FAN BY ECON-AIR MODEL NO.BDU18H, 1/2 HP, ROOF MOUNTED 2500 CFM @1.25 SP,120V/1 PH,4.0 AMP (SERVING HOOD #1)
- EF-2,3 EXHAUST FAN BY GREENHECK MODEL SP-8, CEILING MOUNTED, 75 CFM @ 0.25" SP, 120V/1.0 PH, 40 WATTS. OPERATED VIA LIGHT SWITCH. PROVIDE: BACKDRAFT DAMPER, ROOF CAP.
- S-1 SUPPLY AIR DIFFUSER BY TITUS MODEL TDG, 24x24, LAY-IN, WHITE COLOR.
- R-1 RETURN AIR GRILLE BY TITUS MODEL 50F, 24x24, LAY-IN, WHITE COLOR.

ROOF TOP MAKE UP AIR UNIT DETAILS

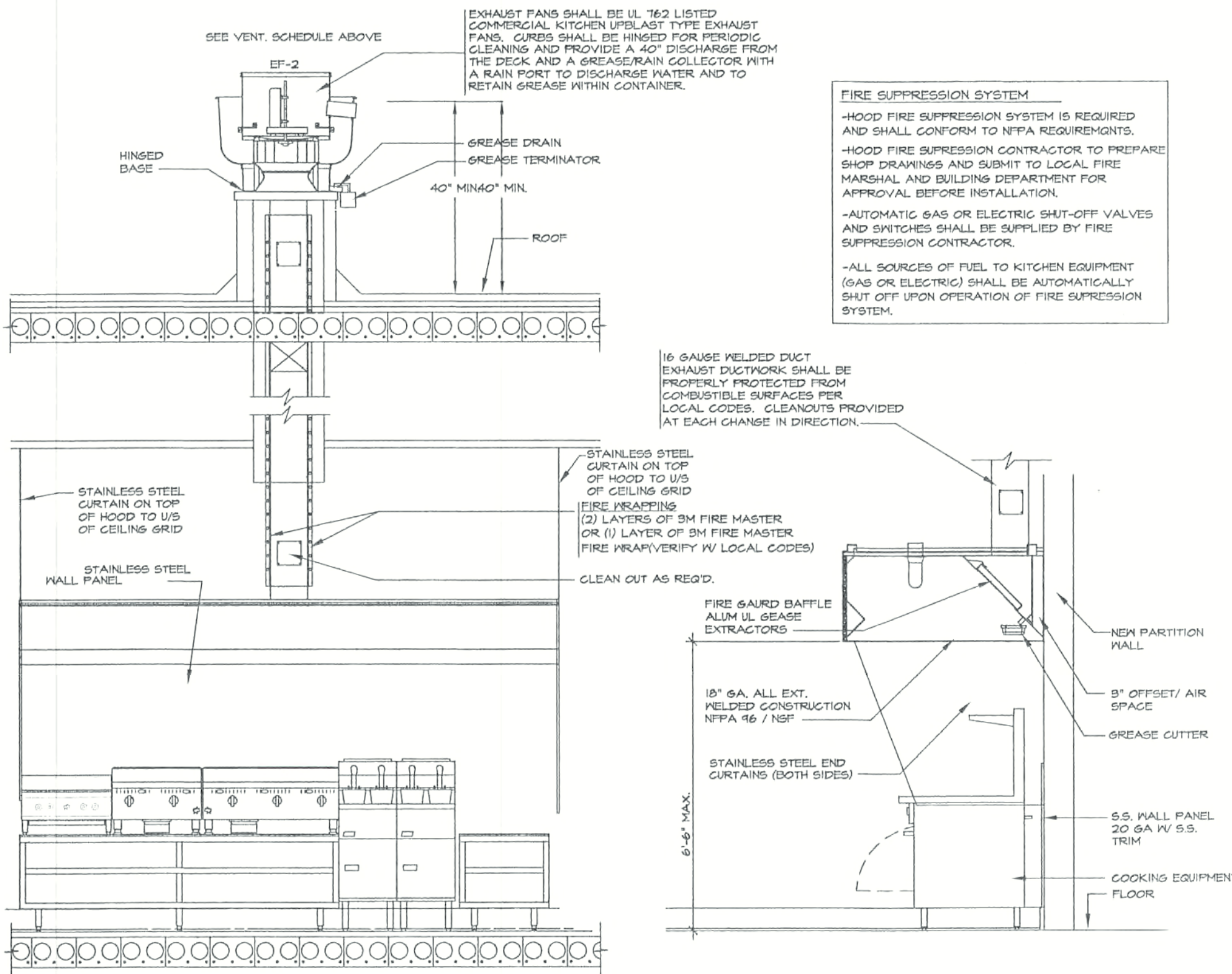
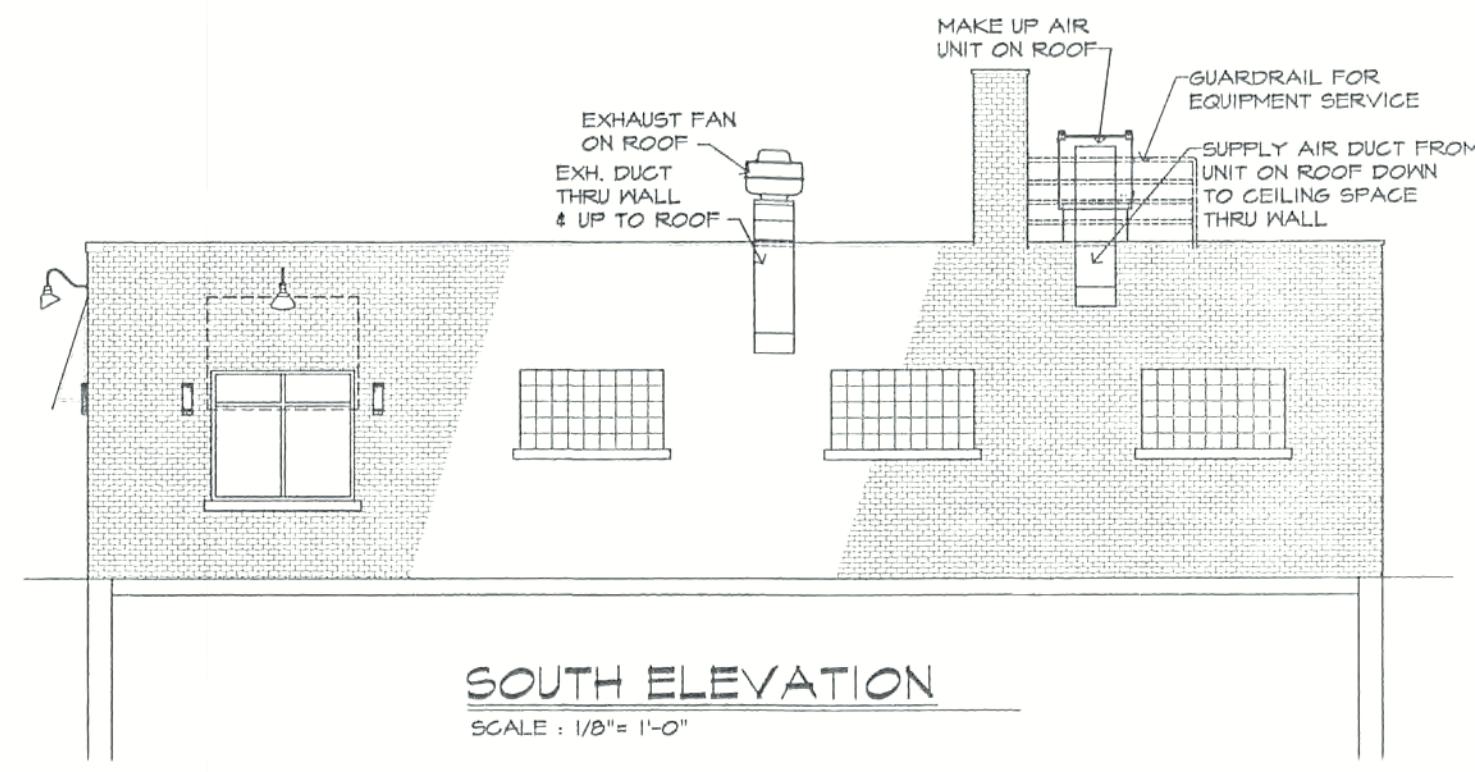
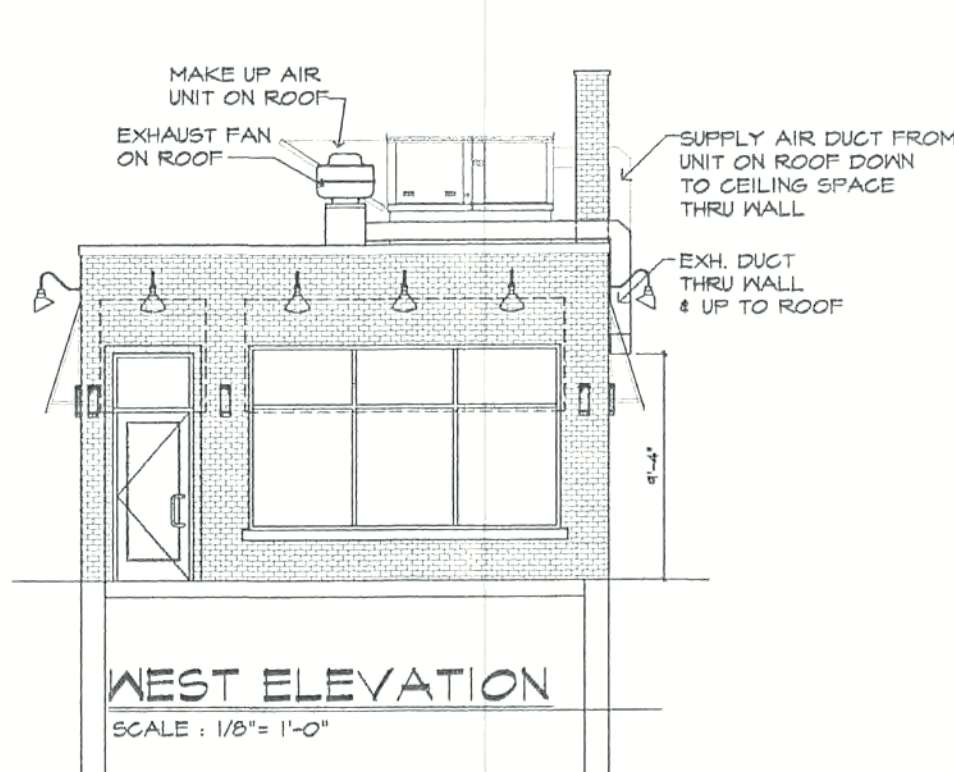
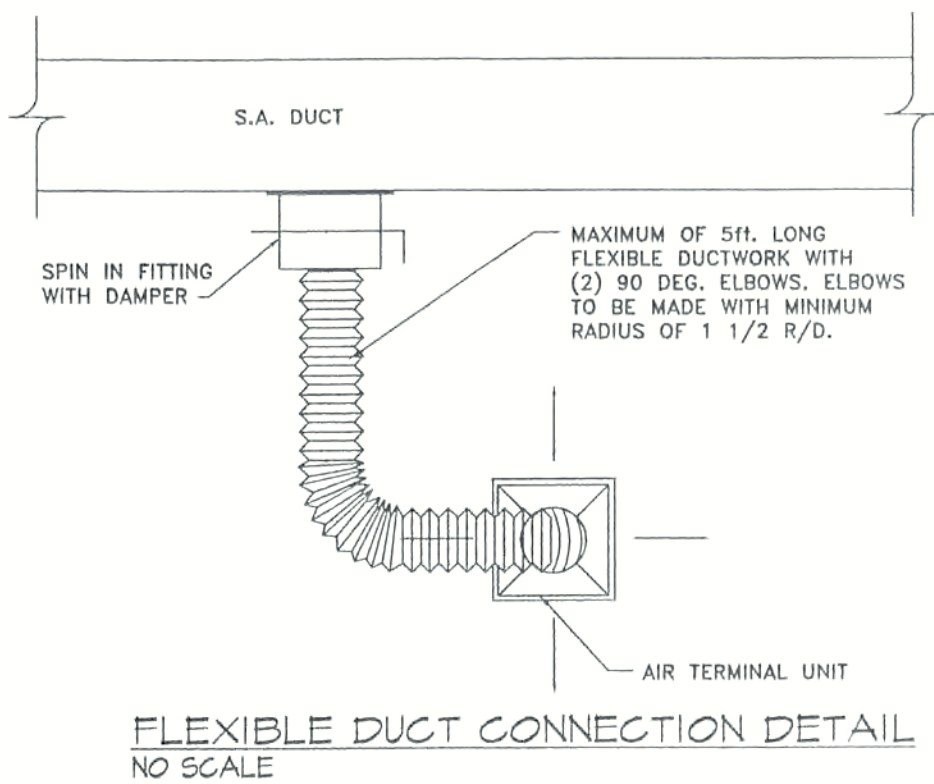


HVAC SYMBOL LIST	
	VOLUME DAMPER
	SPIN-IN FITTING W/VOLUME DAMPER
	FLEX DUCT
	THERMOSTAT
	RETURN AIR OR EXHAUST GRILLE
	SUPPLY AIR DIFFUSER
	VERTICAL FIRE DAMPER
	BTU
	CFH
	MBH
	EF
	OED
	CUH
	AF
	SA
	RA
	DL
	HORIZONTAL FIRE DAMPER
	REMOTE THERMOSTAT SENSOR WITH LOCKABLE COVER AND PRESETS

EXHAUST CFM CALCULATIONS:

HOOD NO. 1 ---WALL MOUNT CANOPY TYPE MEDIUM DUTY COOKING EQUIPMENT 12.0X200=2400 CFM
(1) EXH. DUCT 12"x16" THRU ROOF

-HOOD #1 BY ECON-AIR HOODS, BUILT IN COMPLIANCE W/ U.L.T10, NSF, & NFPA #46, B.O.C.A. #43-16, U.L. LISTED-710 NO-MH12106
-GREASE FILTERS, U.L., CLASSIFIED BATTLE-TYPE
-HOOD MANUFACTURERS TO PROVIDE GREASE FILTERS SIZE & SPECIFICATIONS AS REQ'D. BY CODE.



FIRE SUPPRESSION SYSTEM
-HOOD FIRE SUPPRESSION SYSTEM IS REQUIRED AND SHALL CONFORM TO NFPA REQUIREMENTS.
-HOOD FIRE SUPPRESSION CONTRACTOR TO PREPARE SHOP DRAWINGS AND SUBMIT TO LOCAL FIRE MARSHALL AND BUILDING DEPARTMENT FOR APPROVAL BEFORE INSTALLATION.
-AUTOMATIC GAS OR ELECTRIC SHUT-OFF VALVES AND SWITCHES SHALL BE SUPPLIED BY FIRE SUPPRESSION CONTRACTOR.
-ALL SOURCES OF FUEL TO KITCHEN EQUIPMENT (GAS OR ELECTRIC) SHALL BE AUTOMATICALLY SHUT OFF UPON OPERATION OF FIRE SUPPRESSION SYSTEM.

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DO NOT SCALE DRAWINGS. USE FIGURE DIMENSIONS ONLY

PROPOSED RESTAURANT :
SIZZLES BURGERS & SUBS

10 N ADAMS ST.
YPSILANTI, MI 48197

PROJECT
J.M.I. Associates
ARCHITECTURE
INTERIOR DESIGN
835 Mason St. Suite B290
Dearborn, MI. 48124
phone: (313) 581-0016
fax: (313) 582-0028
email: jmiarch@yahoo.com

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AUTHORIZATION SIGNATURE

CERTIFICATION/SEAL

J.M.I. DESIGNED BY
J.A. CHECKED BY
J.M.I. DRAWN BY

-HVAC PLAN

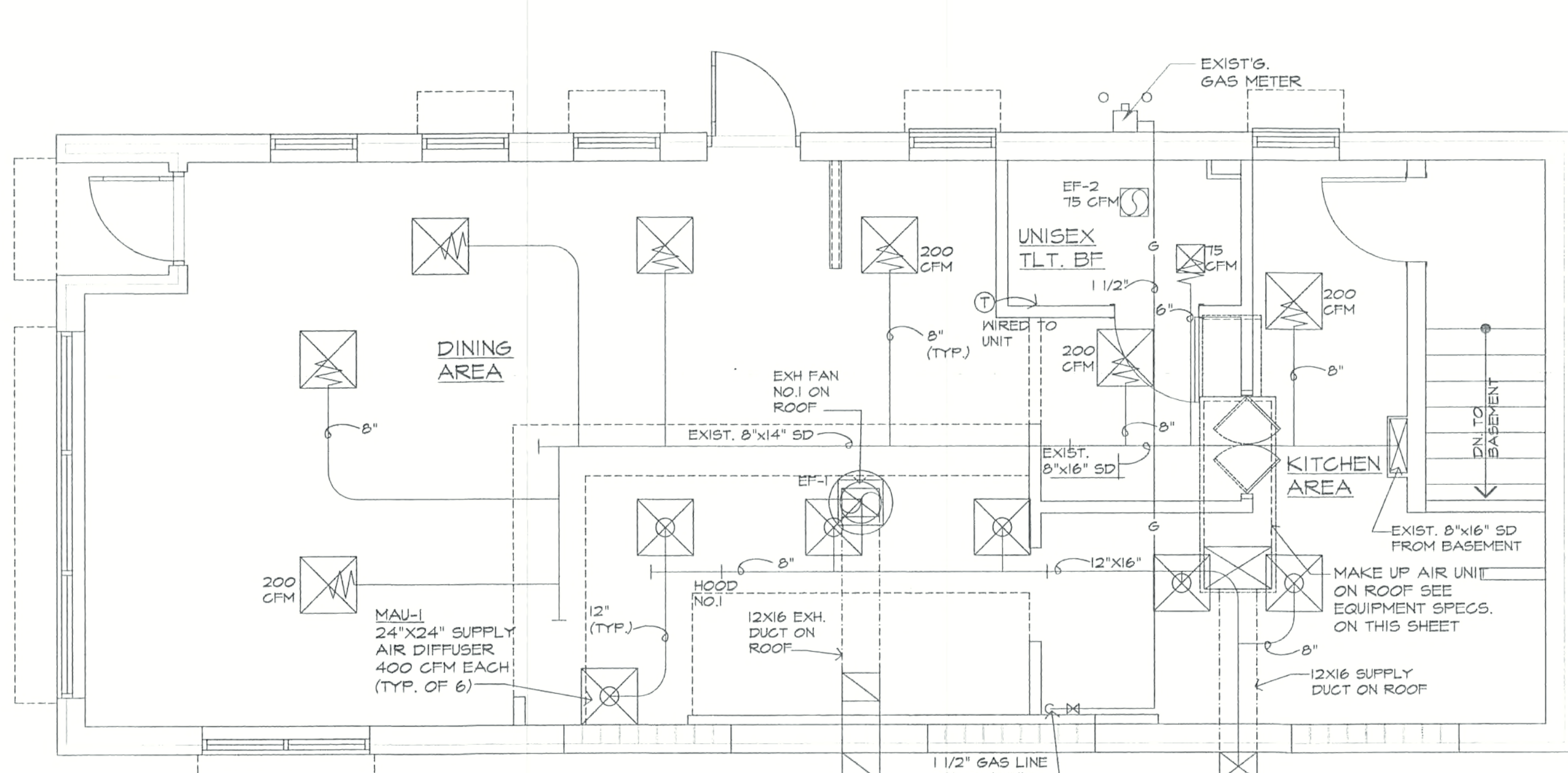
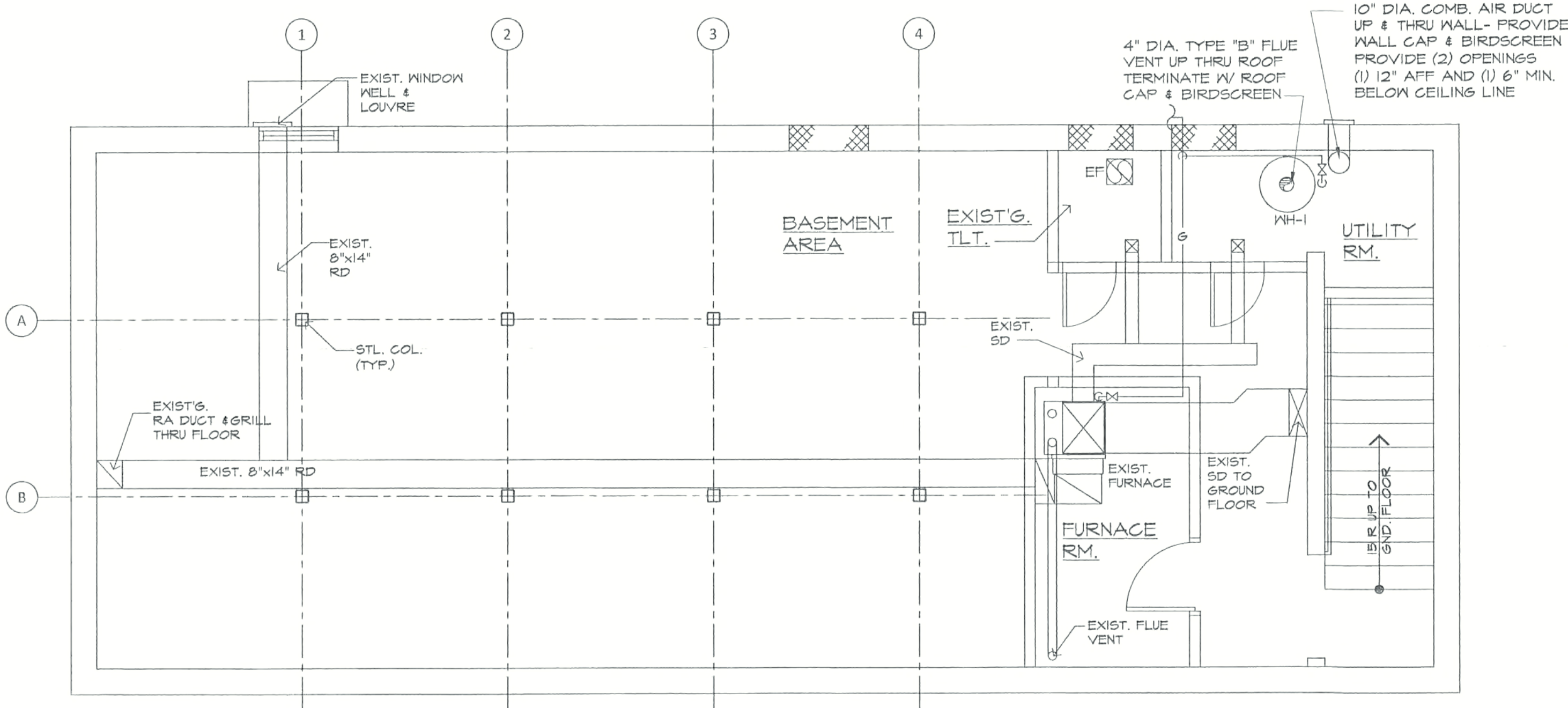
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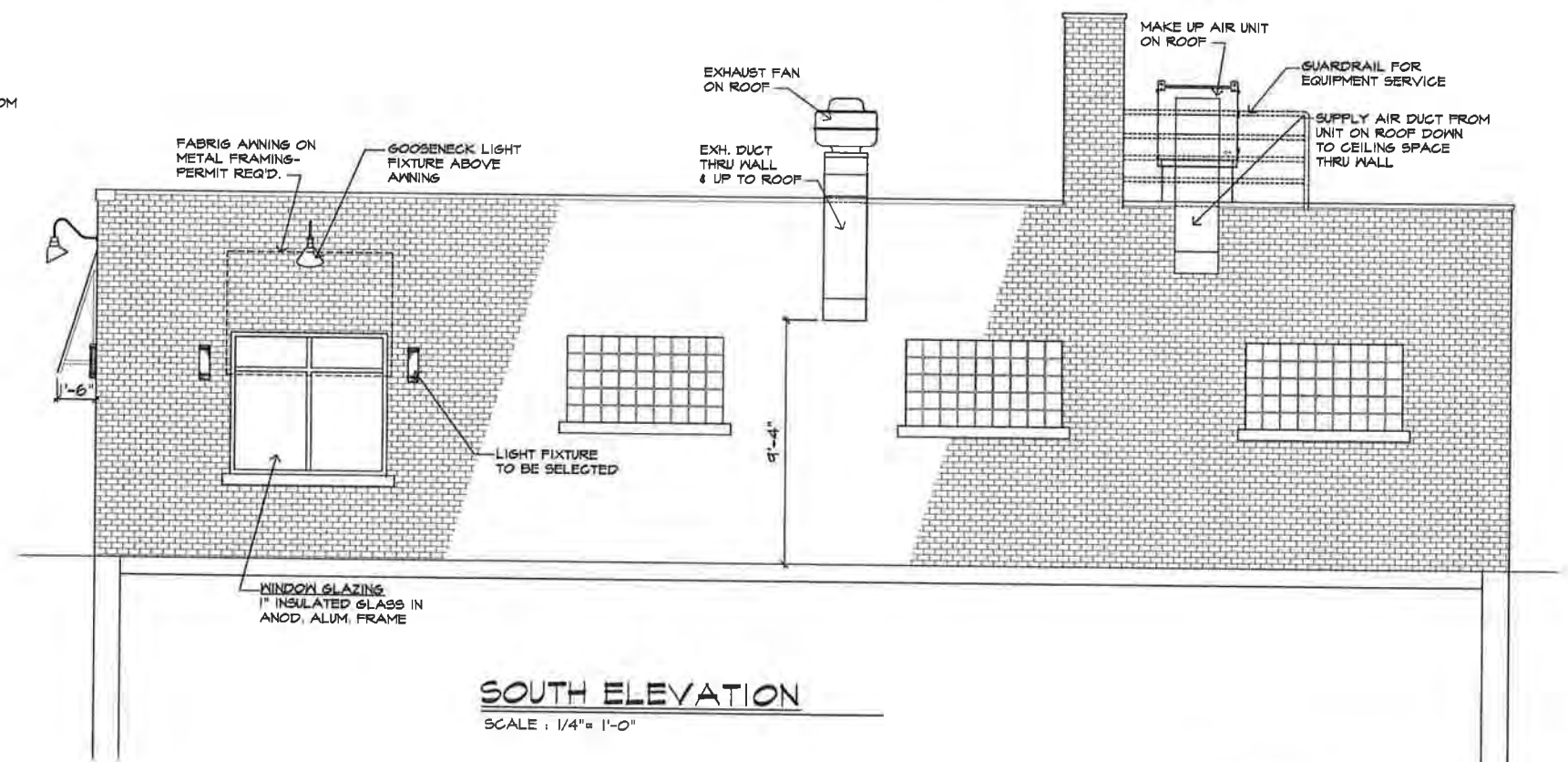
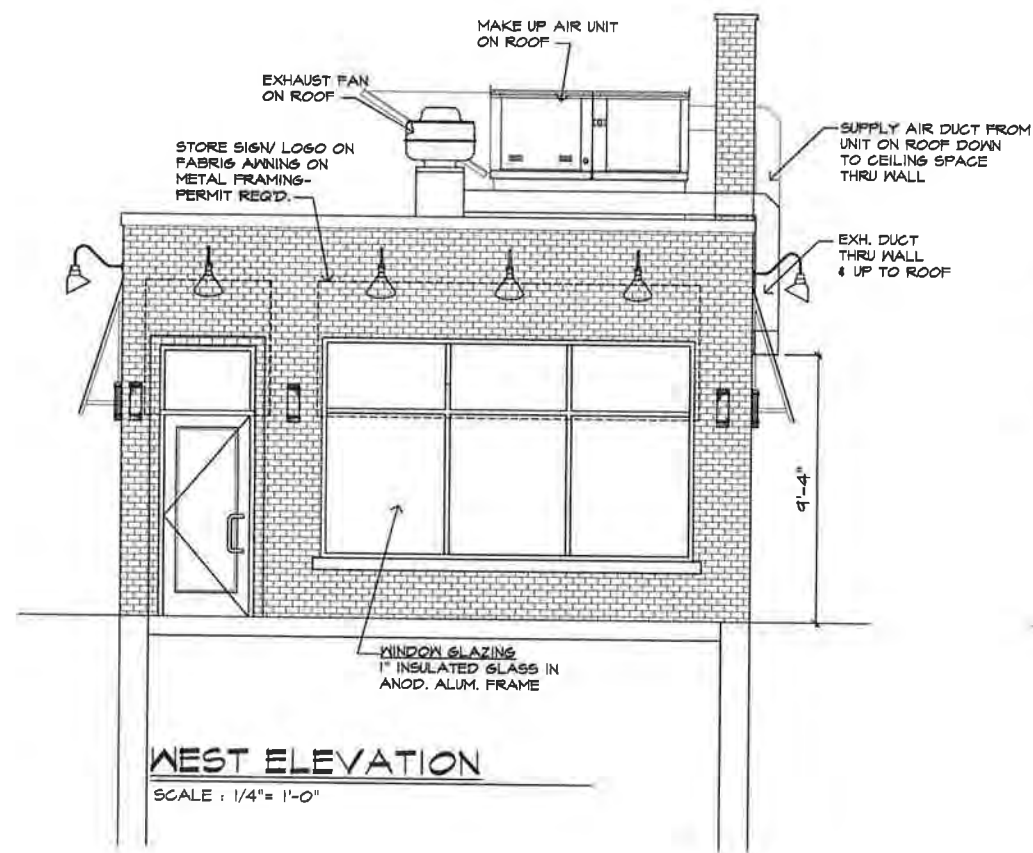
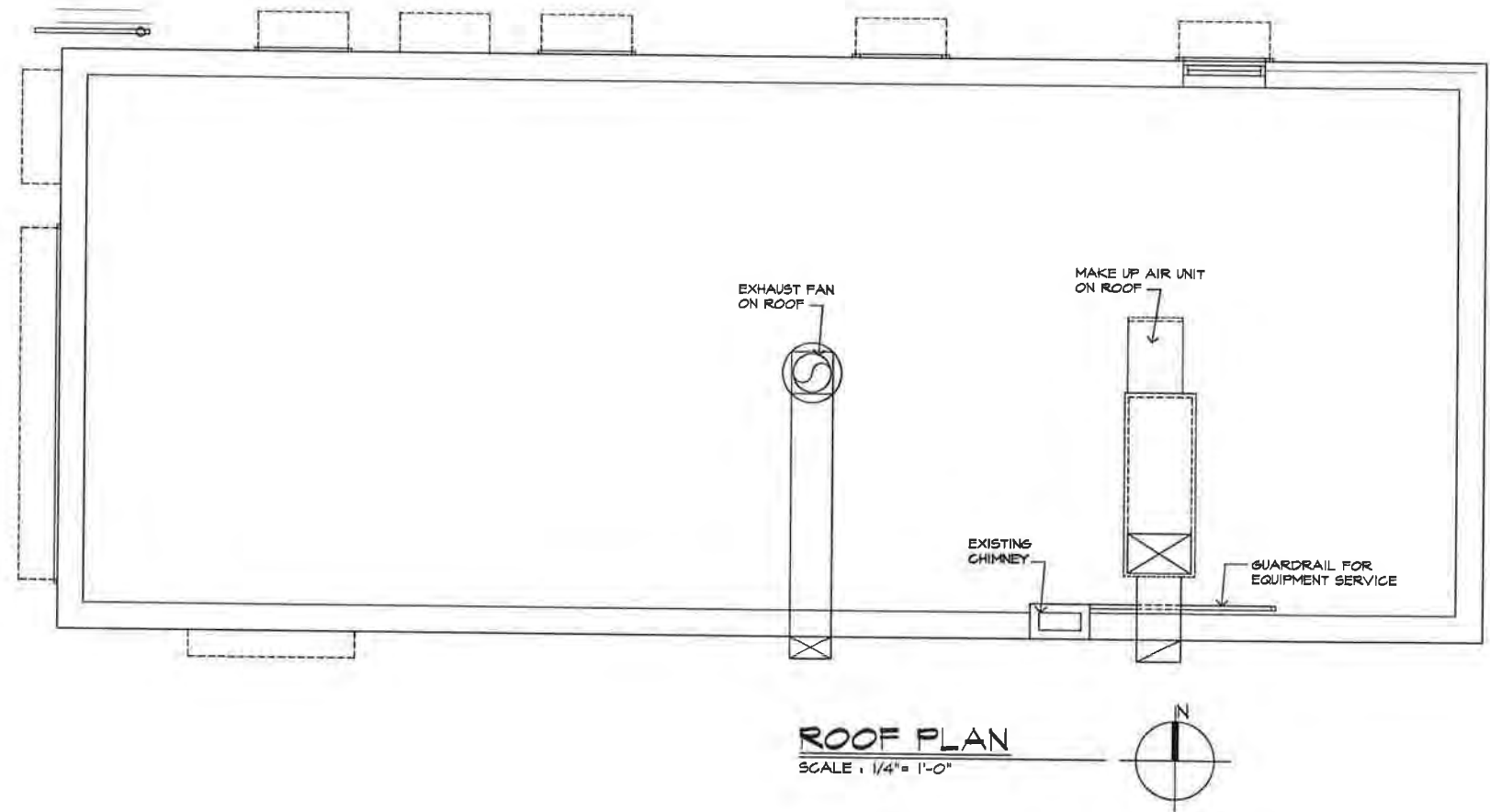
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M-2

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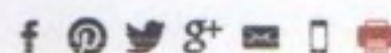
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Millennium Lighting Architectural Bronze R Series 1 Light Outdoor Wall Sconce with 10" Wide Angle Shade and 21.5" Gooseneck Stem

Item #: bcl2282006

View the entire [R Series Collection](#)**\$109.80**

Originally \$160.00, You Save 31%

[Be the first to review this product](#)

31

☐ CompareShipping: **Free Shipping!** [See Details](#)

Finish: Architectural Bronze - In Stock - \$109.80

[Tech Specs](#)**539 In Stock**

Leaves the Warehouse in 1 to 3 business days

1 Qty

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Product Details for the Millennium Lighting in Architectural Bronze

Features:

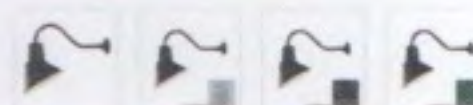
- Optional Wire Guard (RWG10) is also available

R Series Construction:

- Finishes: Architectural Bronze, Satin Black, Satin Green, Satin Red, Copper and White are electrostatically sprayed and oven baked with UV stabilized paint appropriate for indoor/outdoor use. All shades, excluding Copper and Galvanized, incorporate white liners for increased light reflectivity. Galvanized is zinc plated steel with a clear protective overcoat.
- UL: All R Series units excluding cord hung styles are UL listed for wet locations. Cord hung styles are UL listed for damp locations.
- Unique stem hung design does not require pipe sealant compound on fittings.
- 3/4" inner diameter rigid conduit or water pipe may be substituted for stems or goose necks.

Lamping Technology: Specifications:

- Number of Bulbs: 1
- Bulb Base: Medium (E26)

Millennium Lighting[Click to view larger image](#)

People Who Viewed Also Viewed

- Bulb Shape: A21
- Bulb Included: No
- Watts Per Bulb: 200
- Wattage: 200
- Height: 15"
- Shade Height: 9"
- Shade Width: 10"
- Backplate Diameter: 4.5"
- Wire Length: 100"
- Energy Star: No
- Swing Arm: No
- UL Listed: Yes
- UL Rating: Wet Location

Additional Millennium Lighting Links

- [View Manufacturer Warranty](#)
- [Shop All Millennium Lighting Products](#)
- [Shop All Millennium Lighting R Series Collection Products](#)

Our SKU: Millennium Lighting RAS10-RGN22

*Denotes a finish or option that has been discontinued

0 Questions from the Community

Millennium Lighting R...

Starting At \$99.80

★ ★ ★ ★ ★ 1

ANP Lighting A810-41...

Starting At \$196.20

☆ ☆ ☆ ☆ ☆ 0

Millennium Lighting R...

Starting At \$105.80

☆ ☆ ☆ ☆ ☆ 0

Millennium Lighting R...

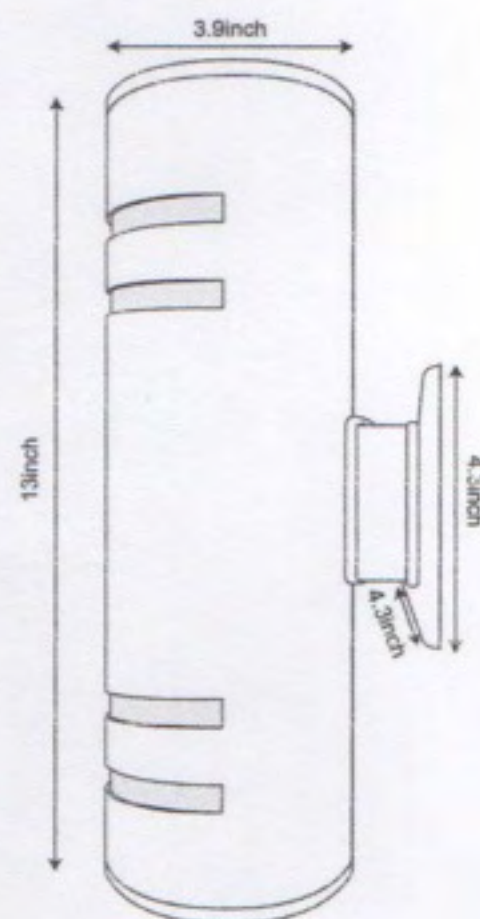
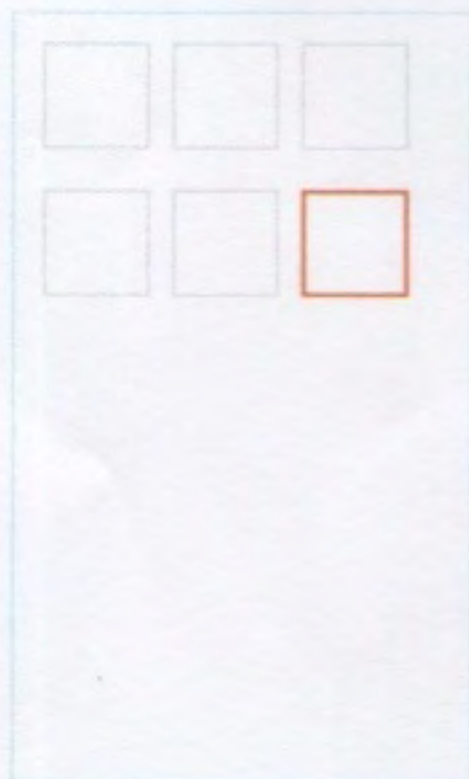
Starting At \$115.80

☆ ☆ ☆ ☆ ☆ 0

Millennium Lighting RAS10-RGN22 Technical Specs	
Backplate Diameter	4.5
Barn Light Type	Elongated Gooseneck, Angled Shade
Bulb Base	Medium (E26)
Bulb Included	No
Bulb Shape	A21
Collection	R Series
Dark Sky	No
Energy Star	No
Genre	Industrial, Farmhouse, Barn
Height	15
Light Direction	Down Lighting
Location Rating	Wet Location
Number of Bulbs	1
Sconce Type	Barn Light, Gooseneck
Shade	Yes
Shade Color	Black, Bronze, Green, Grey, Red, White
Shade Height	9
Shade Material	Metal
Shade Shape	Cone
Shade Width	10
Style	Industrial
Swing Arm	No
UL Listed	Yes
UL Rating	Wet Location

Waterproof Wall Light

Color: SS304

[See more](#)

Have one to sell?

[Sell on Amazon](#)

- Silicone adhesive, brushed nickel, made of stainless steel, glass and zin alloy cover.
- IP64: Weather resistant & rust resistant.
- Dimension: 4.4" x 5.2" x 13". Embedded wall lamp.
- 2 of E27 Bulb are not included. Suggest using Deking A80.6 watts led filament bulb.
- c-UL US listed. Both apply to American and Canada market. Keeps safe and lighting.

[See more product details](#)[Compare with similar items](#)

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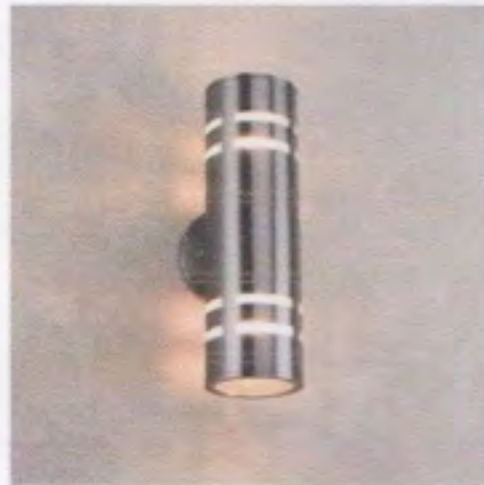


InnoGear
2017 New Arrival
- 30 LED Solar
Wall Lights

InnoGear Solar Lights 30 LED Wall
Light Outdoor Security Lighting High...

50

~~\$88.99~~ **\$27.99**[Add feedback](#)**Frequently Bought Together**Total price: **\$92.98**



Roll over image to zoom in

Deking PLT01 Waterproof Cylinder Porch Light IP64 Modern Outdoor Lighting C-UL US Listed Wall Sconce Brushed Nickel Suitable for Villa

by Naturous

7 customer reviews

Price: ~~\$136.21~~Sale: **\$78.99**You Save: **\$57.22 (42%)**

Your cost could be **\$73.99**: Qualified customers get \$5 in Gift Card funds on first \$100 reload of their Amazon Gift Card Balance. [Learn more](#)

In Stock.Sold by [Deking](#) and [Fulfilled by Amazon](#). Gift-wrap available.Color: **SS304****\$78.99****\$65.99**Service: [Get professional installation](#) [Details](#)**Item only**Include installation
+ \$120.95[See more](#)

- Silicone adhesive, brushed nickel, made of stainless steel, glass and zin alloy cover.
- IP64. Weather resistant & rust resistant.
- Dimension: 4.4" x 5.2" x 13". Embedded wall lamp.
- 2 of E27 Bulb are not included. Suggest using Deking A60 6 watts led filament bulb.
- c-UL US listed. Both apply to American and Canada market. Keeps safe and lighting.

[See more product details](#)[Compare with similar items](#)New (1) from **\$78.99**[Report incorrect product information.](#)

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2017 New Arrival
- 30 LED Solar
Wall Lights

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[Light Outdoor Security Lighting Nigh...](#)

50

~~\$88.99~~ **\$27.99**[Ad feedback](#)

Frequently Bought Together

Total price: **\$92.98**

Product Description

Color: **SS304**

Deking Lighting! Style, quality, and price are all on point!

Search "Deking PLW01 Porch Light" for the small size or "Deking Porch Light" for more type. Naturous waterproof wall lamp. Any missing parts or defective, welcome to contact us!

Product Information

Color: **SS304**

Technical Details

Brand	Naturous
Part Number	PLT01
Item Weight	8 ounces
Product Dimensions	4.4 x 13.1 x 5.2 inches
Area Lighting Classification	IP64
Assembled Height	5.2 inches



Deking PLT01 Waterproof Cylinder Porch Light IP64 Modern Outdoor Lighting C-UL US Listed Wall Sconce Brushe...

\$78.99

In Stock. Sold by [Deking](#) and [Fulfilled by Amazon](#). Gift-wrap available.

[See all buying options](#)

Assembled Width	13.1 inches
Style	Contemporary
Color	SS304
Material	Metal
Finish	Nickel
Number of Lights	2
Included Components	Light kit included
Voltage	110 volts
Shade Material	Glass
Light Direction	Up/Down Light
Power Source	corded-electric
Batteries Included?	No
Batteries Required?	No
Certification	UL Listed
Type of Bulb	LED
Base Type	E27
Wattage	6 watts
Color Temperature	2700 Kelvin
Color Rendering Index (CRI)	80.00

Additional Information

ASIN	B0110QUSRA
Customer Reviews	7 customer reviews 3.2 out of 5 stars
Best Sellers Rank	#64,168 in Home Improvements (See top 100) #272 in Home Improvement > Lamps & Light Fixtures > Outdoor

Shipping Weight	8 ounces (View shipping rates and policies)
Date First Available	July 6, 2016

Warranty & Support

Product Warranty: For warranty information about this product, please [click here](#)

Feedback

If you are a seller for this product, would you like to [suggest updates through seller support?](#)

Would you like to [tell us about a lower price?](#)

Related Video Shorts



10 N Adams



HDC Work Permit Staff Review

Property address: 117 E Cross

Date of Review: February 24, 2017

Date of Meeting: February 28, 2017

Proposed work: Painting and storm/screen window installation

Materials: Behr S440B, Behr M280B, Behr GR-W1 and Larson Low-E Aluminum storm windows

Staff review:

1. Applicant to paint the house. There is no indication as to what colors will be used for trim and the body of the house.
2. Applicant to installed storm windows on the house.
3. Before proceeding with work, the applicant must seek the appropriate building department permits.

Relevant Secretary of the Interior's Standards:
#9, #10

Recommended Motion:

Move to approve the work at 117 E Cross to include the painting of the house in Behr S440B, Behr M280B, Behr GR-W1 (*indicate color locations once verified*) and the installation of Larson Low-E Aluminum storm windows.

1. Use property for original purpose or provide compatible use with minimal alteration.

2. Do not destroy original character. Do not remove or alter historic material or features.

3. Do not imitate earlier styles.

4. Preserve significant changes acquired over time.

5. Preserve distinctive features.

6. Repair, don't replace. Replacements shall match original.

7. Clean building gently—no sandblasting.

8. Preserve archaeological resources.

9. Contemporary designs shall be compatible and shall not destroy significant original material.

10. New work shall be removable.



RECEIVED

FEB 14 2017

CITY OF YPSILANTI
BUILDING DEPARTMENT**City of Ypsilanti
Historic District Commission
Work Permit Application**One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646 • Fax: (734) 483-7260
www.cityofypsilanti.com**OFFICE USE ONLY**

Date Filed:

Meeting Date:

Action Item/Study Item

To complete this application:

1. Complete this form.
2. Attach the following documents:
 - a. Photo(s) showing all locations where work is proposed (can be emailed).
 - b. Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components—this includes information from catalogues, professional quotes, or websites (can be emailed).
 - c. Dimensioned drawings of any new construction or modifications to existing structures, including awnings and signs.
 - d. A sketch plan, if proposal is for work on the grounds and not just the main structure (e.g., installing a new driveway, fence, or shed). This can be drawn on a scaled copy of a mortgage survey.
3. Applications and materials must be received by the Building Department **no later** than 4pm on the Tuesday prior to the meeting.

INCOMPLETE APPLICATIONS WILL BE REJECTED**Property**

Address

117 E. Cross St. Ypsilanti MI 48198

Applicant

*If applicant is not owner of property, a written statement from the owner authorizing this application must be included.

Name

Gerald & Sarah Kreiner

Address

SAME ↑

City

State

Zip

Phone / Fax

734 652 4465

E-Mail

Sarah @ a2momentumfitness.com

Contractor

Contractor Name & Contact Info

Type of work☐ Roofing☒ Window/Door
Replacement☐ Porches☐ Sign☐ Fence (or other sitework)☒ Other☒ Painting

Complete Description of Proposed Work:

install Screen + storms on windows
paint exterior of house

Materials (for paint include color chips or samples with application):

please see attached pictures

Permit Application Fee (action items only)

The fee is \$35 for the first \$3,000 in construction cost plus \$5 for every additional \$3,000 of construction cost.
An additional fee of \$50 applies to HDC work started without the applicable permit.

Construction Cost:

about \$1500.00

Permit fee:

\$35 + _____ =

Signature

I hereby attest that the above information is accurate. I am authorized to and grant permission to the City of Ypsilanti staff to be on the subject property for the purposes of preparing staff reports and/or evaluating this application.

I further affirm that this property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.

Signature:

Sarah Kreiner

Date:

2/7/2017

Print Name:

Sarah Kreiner

If you have questions about what the HDC generally permits or does not permit, or what they need to see in an application to render a decision, please call the office at 734-483-9646, email us at hintern@cityofypsilanti.com, or view our factsheets at cityofypsilanti.com/hdc.

All other necessary Building Permits must be acquired before beginning work.

S440B



S440B

Tower Bridge S440-4th

Diamond Sea S440-5th

Tealish S440-6th

Thermal S440-7th

M280B



M280B

Royal Gold M280-4th

Inheritance M280-5th

Solid Gold M280-6th

GR Gold M280-7th

GR-W1



GR-W1



GR-W1^U
White Wool



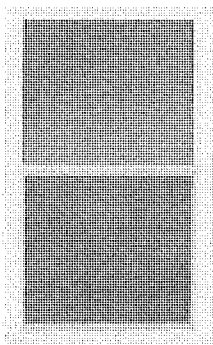
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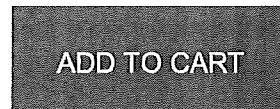
LARSON Low-E Aluminum Storm Window (Rough Opening: 36-in x 63-in; Actual: 35.875-in x 63-in)

Item # 224479 Model # L20133663E

★★★★☆ (1 Review)



\$108.74



**Ships to Store
FREE**

✓ Ready for pickup
on 02/20/2017 at
Ann Arbor Lowe's



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delivery on
02/20/2017 at
Ann Arbor Lowe's



Get 5% OFF* Every Day or 6 Months Special Financing**

\$299 Minimum purchase required. Subject to credit approval. Offers cannot be combined.

Get Details

Product Information



Description

- Energy Saver storm windows insulate, block drafts and reduce air infiltration for a more comfortable energy-efficient home
- Easily installs over existing windows for instant energy efficiency equal to or better than today's most advanced replacement windows at a fraction of the cost
- Low-E glass adds up to 60% greater energy efficiency year round by bouncing heat back to its source
- Added barrier reduces outside noise for a quieter home
- Wool pile weather stripping reduces air infiltration and adds additional thermal barrier
- Bottom expander adjusts for the tightest fit against your opening
- Installation is easy with only a few screws that are color matched to your window for a clean look
- Half screen included for easy ventilation
- Mounts either inside your window opening as blindstop or outside your window opening as overlap



Specifications

Window Type	Storm	Warranty	Limited lifetime
Window Style	2-track	Frame Material	Aluminum
Glass Insulation	Low-E	Works with Iris	✗
Color	White	Actual Height (Inches)	63
Screen	Included - fiberglass	Actual Width (Inches)	35.875
Screen Color	Charcoal	Rough Opening Width (Inches)	36
Weatherstripped Panels	✓	Rough Opening Height (Inches)	63
Latches	✓		





HDC Work Permit Staff Review

Property address: 232 N River

Date of Review: February 24, 2017

Date of Meeting: February 28, 2017

Proposed work: porch repair and painting

Materials: paint, 42" deep concrete footings, 2x8 treated lumber, 4x4 columns, 5/4 x 12" Windsor One Porch Rail Top, 2x10 Porch Rail and Joists covered by 6" Cedar Siding, 3" tongue and groove decking

Staff review:

1. Applicant to replace porch footings, install new columns, rebuild the porch and to add new porch skirting.
2. Applicant plans to paint the porch and awning in colors to match the existing colors on the house.
3. Before proceeding with work, the applicant must seek the appropriate building department permits.

Relevant Secretary of the Interior's Standards:
#6, #9, #10

Recommended Motion:

Move to approve the work at 232 N River to include porch repair as indicated in the submitted plans. The applicant is to paint to match the existing color scheme on the house.

1. Use property for original purpose or provide compatible use with minimal alteration.

2. Do not destroy original character. Do not remove or alter historic material or features.

3. Do not imitate earlier styles.

4. Preserve significant changes acquired over time.

5. Preserve distinctive features.

6. Repair, don't replace. Replacements shall match original.

7. Clean building gently—no sandblasting.

8. Preserve archaeological resources.

9. Contemporary designs shall be compatible and shall not destroy significant original material.

10. New work shall be removable.



RECEIVED

FEB 15 2017

CITY OF YPSILANTI
BUILDING DEPARTMENT

**City of Ypsilanti
Historic District Commission
Work Permit Application**

One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646 • Fax: (734) 483-7260
www.cityofypsilanti.com

Re 21756
PHDC 17-0013 6

OFFICE USE ONLY

Date Filed:

Meeting Date:

Action Item/Study Item

To complete this application:

1. Complete this form.
2. Attach the following documents:
 - a. Photo(s) showing all locations where work is proposed (can be emailed).
 - b. Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components—this includes information from catalogues, professional quotes, or websites (can be emailed).
 - c. Dimensioned drawings of any new construction or modifications to existing structures, including awnings and signs.
 - d. A sketch plan, if proposal is for work on the grounds and not just the main structure (e.g., installing a new driveway, fence, or shed). This can be drawn on a scaled copy of a mortgage survey.
3. Applications and materials must be received by the Building Department **no later** than 4pm on the Tuesday prior to the meeting.

INCOMPLETE APPLICATIONS WILL BE REJECTED

Property

Address

232 N. River St.

Applicant

*If applicant is not owner of property, a written statement from the owner authorizing this application must be included.

Name

Stefan Szumko

Address

232 N. River St., Apt. 1

City
Ypsilanti

State
MI

Zip
48198

Phone / Fax
734-649-5024

E-Mail
slugwhisperer@gmail.com

Contractor

Contractor Name & Contact Info

Stefan Szumko

Type of work

- ☐ Roofing
☐ Window/Door
Replacement

- ☒ Porches
☐ Sign
☐ Fence (or other sitework)

☒ Other

Complete Description of Proposed Work:

1. Repair Porch - North Side
 - a. Replace brick footings (unknown depth) with 42" deep concrete footings.
 - b. Install new continuous column from footing to ceiling. Wrap with existing column wrap.
 - c. Rebuild porch to closely match existing porch. Framing with 2x8 treated lumber. 5/4 x 12" Windsor One to replace top of porch rail. 6" wood siding (Paulownia). 3" tongue and groove flooring.
 - d. Replace existing step with 2 steps on 42" deep concrete footing.
 - e. NEW - hardware cloth and 1" wood lattice (painted black or dark gray) below porch to ground level.
 - f. Repaint to match existing HDC approved colors (blue siding, tan trim, grey deck/porch interior).
 - g. IF rafters are to be accessed, ceiling will be replaced with matching beaded tongue and groove material.
2. Paint Color Change Awning - East Side (rear of house)
 - a. Paint awning brick red/rust red to more closely match existing gable roof color.
 - b. Current color using house/trim paint.
 - c. Awning to be scrubbed with detergent and elbow grease as preparation for paint.

Materials (for paint include color chips or samples with application):**Permit Application Fee (action items only)**

The fee is \$35 for the first \$3,000 in construction cost plus \$5 for every additional \$3,000 of construction cost.
An additional fee of \$50 applies to HDC work started without the applicable permit.

Construction Cost: 3000	Permit fee: \$35 + _____ = \$35
----------------------------	------------------------------------

Signature

I hereby attest that the above information is accurate. I am authorized to and grant permission to the City of Ypsilanti staff to be on the subject property for the purposes of preparing staff reports and/or evaluating this application.

I further affirm that this property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.

Signature:



Date:

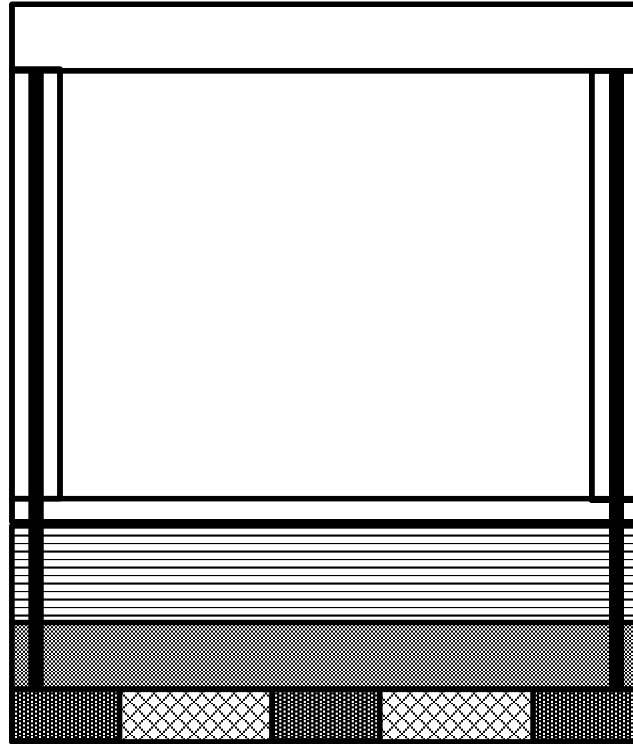
15 Feb 17

Print Name:

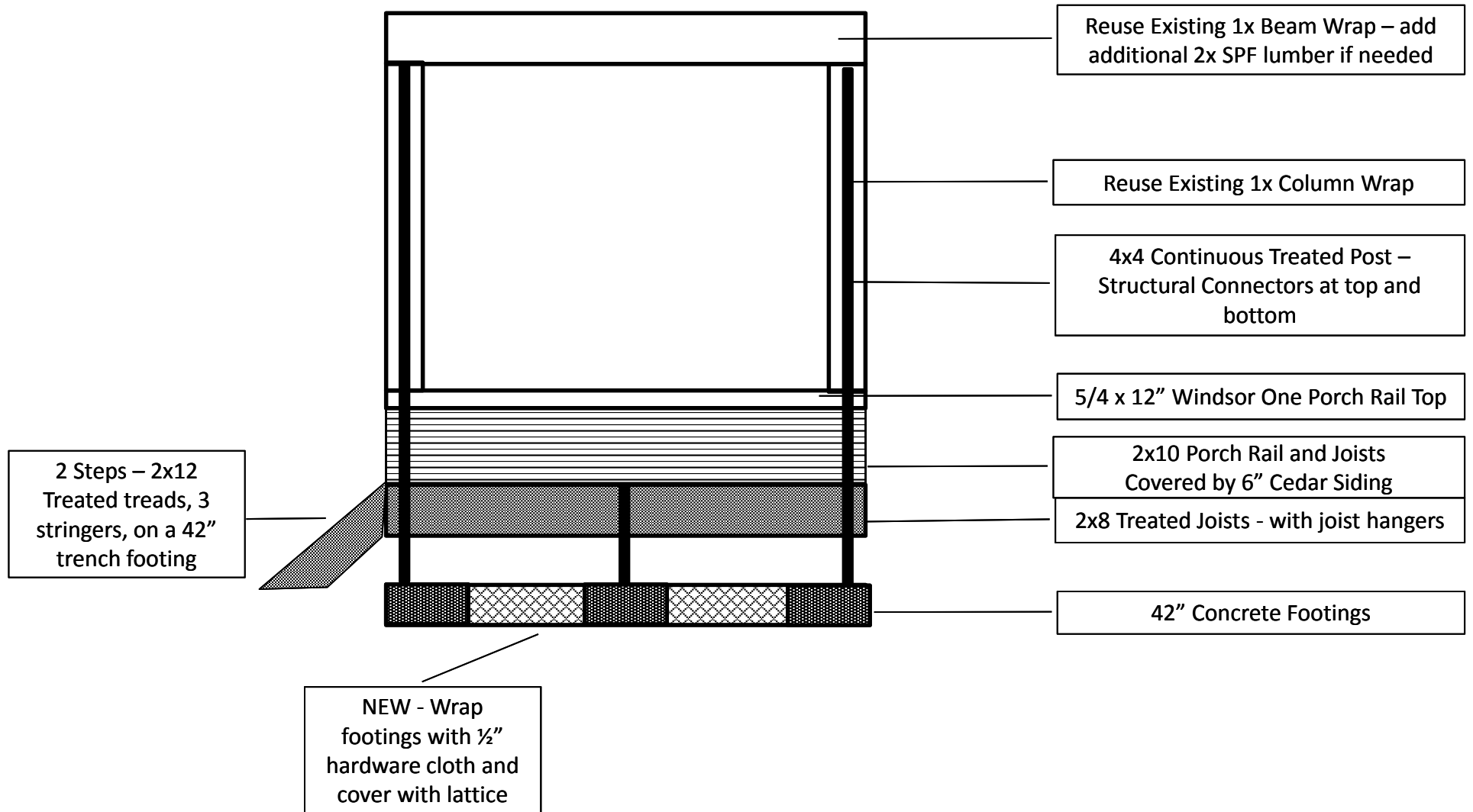
Stephen J. Stille

If you have questions about what the HDC generally permits or does not permit, or what they need to see in an application to render a decision, please call the office at 734-483-9646, email us at hintern@cityofypsilanti.com, or view our factsheets at cityofypsilanti.com/hdc.

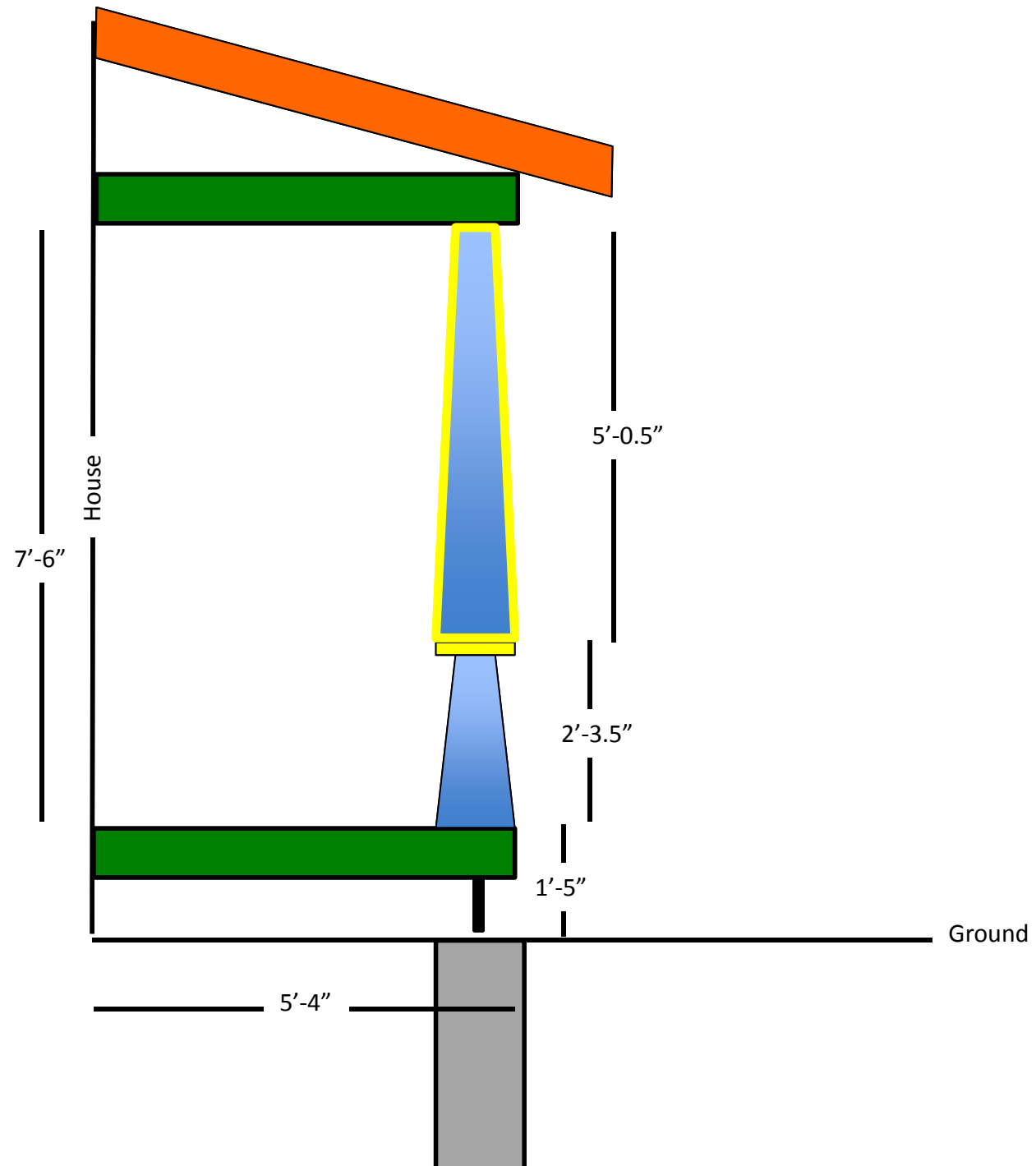
All other necessary Building Permits must be acquired before beginning work.

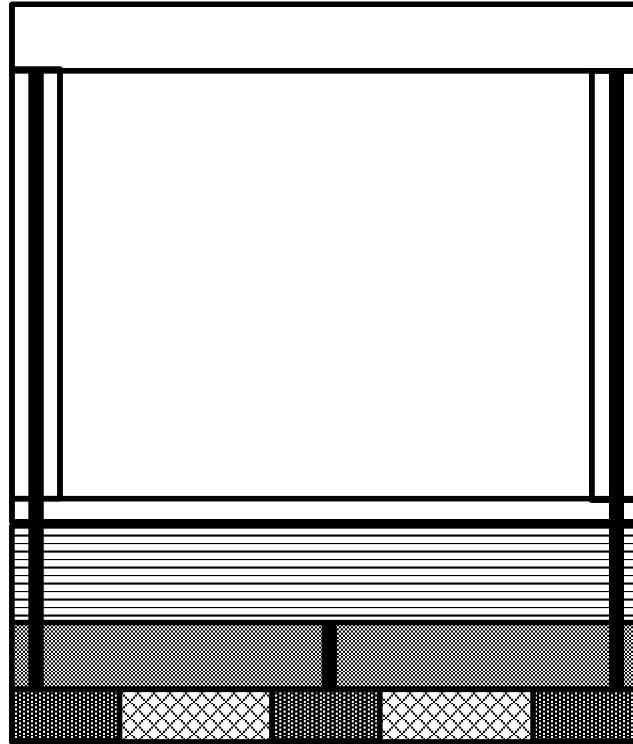


1. Inspect rafters and rafter ledger for damage.
 - a. Secure existing rafter ledger into house framing with 5" Ledgerlok fasteners.
 - b. Secure in place, existing rafters with structural connectors and fasteners.
2. Inspect ceiling beams for structural integrity.
 - a. Add additional framing inside of existing trim, if necessary.
3. Remove existing brick footings and replace with 42" deep concrete footings.
4. Install 4x4 columns inside of existing column wrap.
 - a. Fasten columns to footings with footing connectors, 1/2" lag screws @ 3" and washer.
 - b. Fasten columns to ceiling beam
5. Frame porch deck joists with treated 2x8s.
 - a. If possible, reuse existing ledger board, secured into house framing with 5" Ledgerlok fasteners.
6. Frame porch kneewall to match existing height.
 - a. Replace kneewall top board with 5/4 x 12 Windsor One.
 - b. Replace existing wood siding with cedar siding.
7. Install primed tongue and groove flooring to match existing floor.
8. Replace existing single step with 2 steps onto a new continuous 42" deep concrete footing.
9. Paint to match existing color.



Scale: $\frac{1}{2}" = 1'$





1. Inspect rafters and rafter ledger for damage.
 - a. Secure existing rafter ledger into house framing with 5" Ledgerlok fasteners.
 - b. Secure in place, existing rafters with structural connectors and fasteners.
2. Inspect ceiling beams for structural integrity.
 - a. Add additional framing inside of existing trim, if necessary.
3. Remove existing brick footings and replace with 42" deep concrete footings.
4. Install 4x4 columns inside of existing column wrap.
 - a. Fasten columns to footings with footing connectors, 1/2" lag screws @ 3" and washer.
 - b. Fasten columns to ceiling beam
5. Frame porch deck joists with treated 2x8s.
 - a. If possible, reuse existing ledger board, secured into house framing with 5" Ledgerlok fasteners.
6. Frame porch kneewall to match existing height.
 - a. Replace kneewall top board with 5/4 x 12 Windsor One.
 - b. Replace existing wood siding with cedar siding.
7. Install primed tongue and groove flooring to match existing floor.
8. Replace existing single step with 2 steps onto a new continuous 42" deep concrete footing.
9. Paint to match existing color.



232 N River



HDC Work Permit Staff Review

Property address: 15 E Cross

Date of Review: February 24, 2017

Date of Meeting: February 28, 2017

Proposed work: door installation and garage door restoration

Materials: pre-assembled glass entry door

Staff review:

1. Applicant to replace door on the east side that was damaged with a new glass entry door.
2. Applicant to re-install/restore the existing garage door on the south side (front) of the structure.
3. Trim, paint and siding to match existing.
4. Before proceeding with work, the applicant must seek the appropriate building department permits.

Relevant Secretary of the Interior's Standards:
#5, #9, #10

Recommended Motion:

Move to approve the work at 15 E Cross to include the installation of a pre-assembled glass entry door on the south side and the re-installation of the existing garage door on the south side of the structure. The trim, paint and siding to match existing.

1. Use property for original purpose or provide compatible use with minimal alteration.

2. Do not destroy original character. Do not remove or alter historic material or features.

3. Do not imitate earlier styles.

4. Preserve significant changes acquired over time.

5. Preserve distinctive features.

6. Repair, don't replace. Replacements shall match original.

7. Clean building gently—no sandblasting.

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10. New work shall be removable.



PHDC 17-0014

7

City of Ypsilanti
Historic District Commission
Work Permit Application

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Phone: (734) 483-9646 • Fax: (734) 483-7260
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Action Item/Study Item

To complete this application:

1. Complete this form.
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 - a. Photo(s) showing all locations where work is proposed (can be emailed).
 - b. Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components—this includes information from catalogues, professional quotes, or websites (can be emailed).
 - c. Dimensioned drawings of any new construction or modifications to existing structures, including awnings and signs.
 - d. A sketch plan, if proposal is for work on the grounds and not just the main structure (e.g., installing a new driveway, fence, or shed). This can be drawn on a scaled copy of a mortgage survey.
3. Applications and materials must be received by the Building Department **no later** than 4pm on the Tuesday prior to the meeting.

INCOMPLETE APPLICATIONS WILL BE REJECTED

Property

Address

15 E. Cross, Ypsilanti, MI 48198

Applicant

*If applicant is not owner of property, a written statement from the owner authorizing this application must be included.

Name

734 Brewing Company, Inc.

Address

15 E. Cross

City

Ypsilanti

State

MI

Zip

48198

Phone / Fax

(734) 649-6453

E-Mail

734brewing@gmail.com

Contractor

Contractor Name & Contact Info

Shaw Construction - Contact Ted Barker (734)425-6854

Type of work☐ Roofing☒ Window/Door
Replacement☐ Porches☐ Sign☐ Fence (or other sitework)☐ Other

Complete Description of Proposed Work:

Today's proposal has two parts:

1) Replace a damaged door with a new one

The east-facing door to our unit and its frame were damaged while moving equipment into the space. We would like to replace that door with a nicer one, since a door needs to be reinstalled anyway.

2) Remove a portion of the current wall in order to restore original garage-style door

Our building was built in the 1920s and began life as a service station with a series of garage doors. Later, when it was converted into a retail space, the garage doors were secured in the "open" position and their openings were filled in with stud walls and siding.

One of the garage doors remains basically intact, still on its original track. This door is on the northeast corner of the building's east wall. We wish to remove the installed wall, repair the door's track and some glass panels, and lower the door into its original position to allow for open-air access to our space when weather permits. The door will be painted to match the paint on the siding around it.

Materials (for paint include color chips or samples with application):

New pre-hung door, trim, paint, siding to match current siding

Permit Application Fee (action items only)

The fee is \$35 for the first \$3,000 in construction cost plus \$5 for every additional \$3,000 of construction cost.

An additional fee of \$50 applies to HDC work started without the applicable permit.

Construction Cost: \$5,600

Permit fee: \$5
\$35 + _____ = \$40

Signature

I hereby attest that the above information is accurate. I am authorized to and grant permission to the City of Ypsilanti staff to be on the subject property for the purposes of preparing staff reports and/or evaluating this application.

I further affirm that this property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.

Signature:



Date:

2/21/17

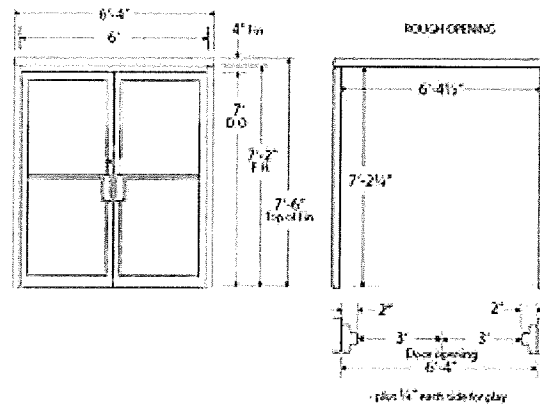
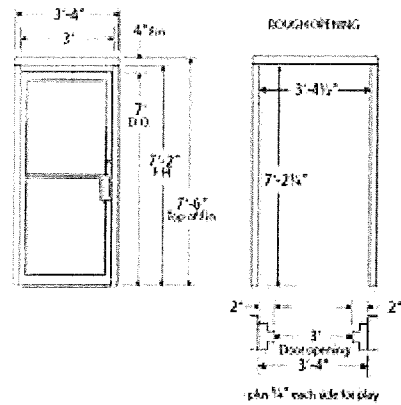
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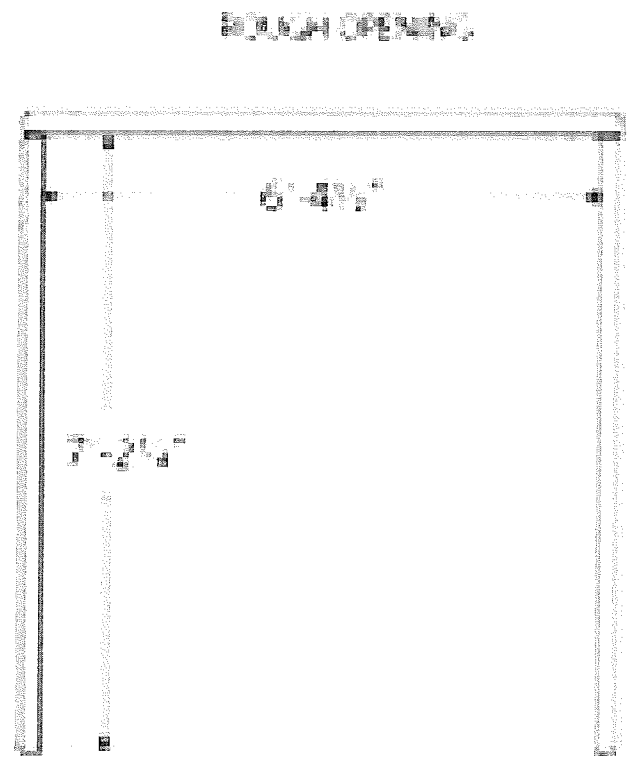
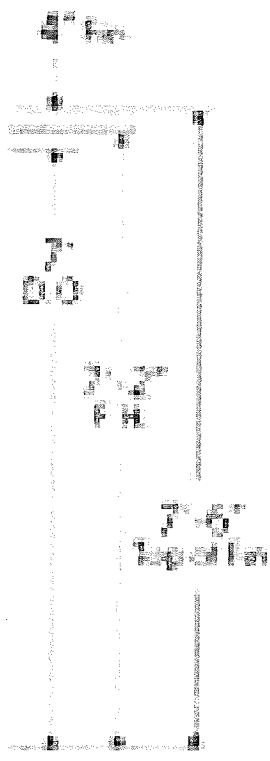
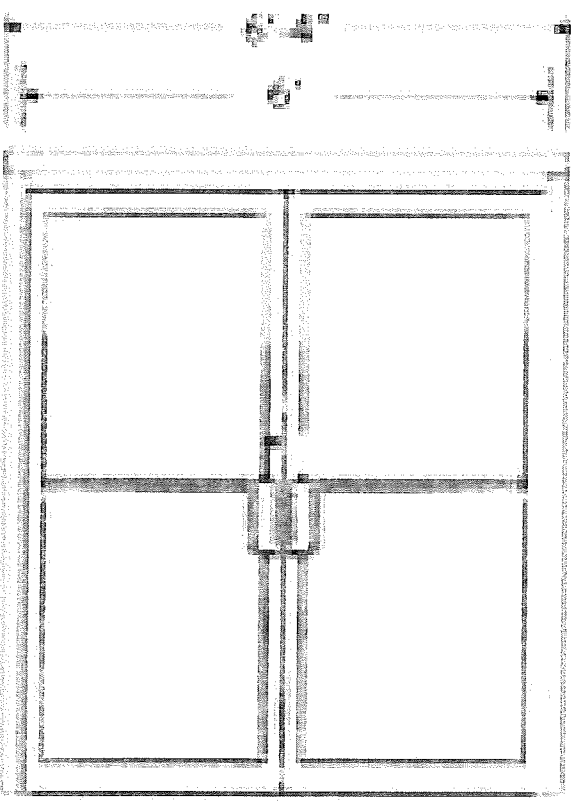
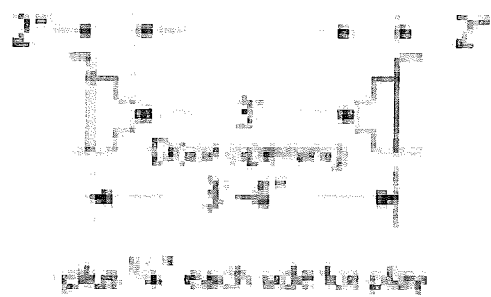
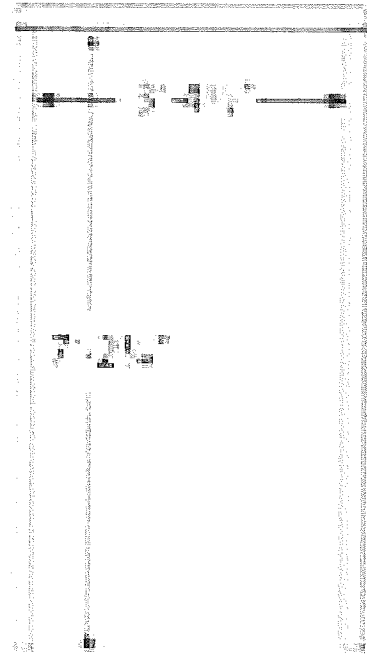
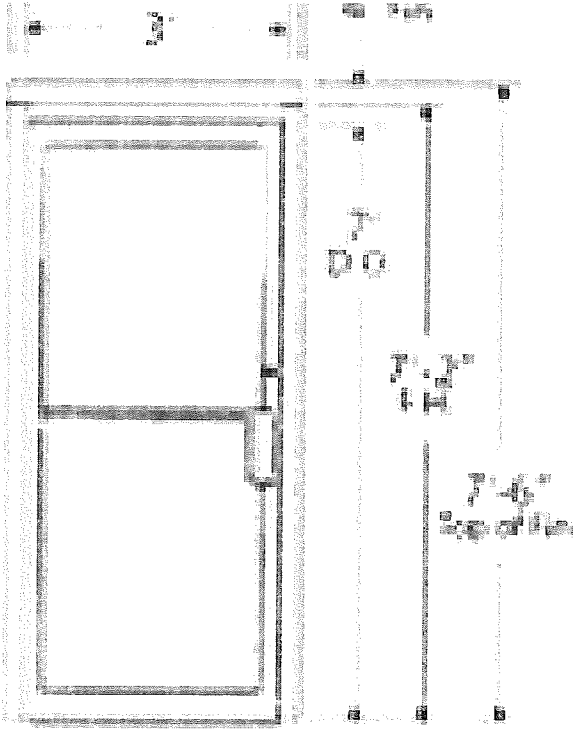
Patrick Echlin

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All other necessary Building Permits must be acquired before beginning work.

STANDARD STOREFRONT SYSTEMS





15 E.CROSS STREET (AT RICE STREET)

YPSILANTI, MICHIGAN

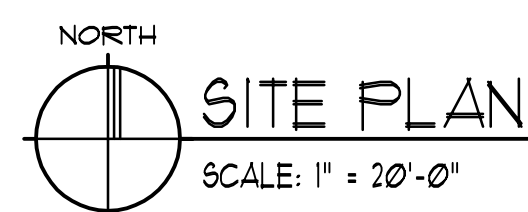
06/16/16 DRAWINGS ARE ISSUED THIS DATE TO SUBMIT TO THE CITY OF YPSILANTI FOR BUILDING PERMITS TO ALTER AN EXISTING TENANT SPACE WITHIN A MULTI-TENANT BUILDING. THE EXISTING TENANT SPACE IS CURRENTLY UNOCCUPIED AND WILL BE ALTERED AND OPENED AS A MICROBREWERY. MECHANICAL, ELECTRICAL, PLUMBING FIRE ALARM, ETC. SYSTEM WORK IS TO BE PERFORMED ON A DESIGN-BUILD BASIS. APPROVAL OF THE GOVERNING HEALTH AUTHORITY IS TO BE SOUGHT AND OBTAINED BY THE TENANT.

08/09/16 DRAWINGS ARE ISSUED THIS DATE TO INCORPORATE OWNER DESIRED
REVISIONS TO ACCOMMODATE INCLUSION OF FORMER TENANT SPACE
* 15A INTO PROJECT. COMBINED SPACE WILL BECOME KNOWN AS
TENANT SPACE 15.

A. REFERENCE CODES:	2012 MICHIGAN BUILDING CODE 2012 MICHIGAN PLUMBING CODE 2012 MICHIGAN MECHANICAL CODE 2014 MICHIGAN ELECTRICAL CODE BASED ON 2014 N.E.C. WITH PART 8 STATE AMENDMENTS
B. CONSTRUCTION TYPE:	CONSTRUCTION TYPE : V B
C. BUILDING USE GROUP(S):	A-2 ASSEMBLY
D. AUTOMATIC SPRINKLERS:	NONE

S#	SHEET TITLE	ISSUE
1	SITE PLAN / TITLE SHEET	08/09/16
2	FLOOR PLANS	08/09/16
3	GENERAL NOTES / SPECIFICATIONS	06/16/16
4	ACCESSIBILITY STANDARDS	06/16/16

SITE PLAN NOTE:
INFORMATION TO PREPARE THIS SITE PLAN OBTAINED FROM A SURVEY SUPPLIED BY THE LANDLORD. JOSEPH PHILLIPS-ARCHITECT, LLC, ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF SITE INFORMATION CONTAINED WITHIN. THE LOCATION OF ALL BUILDINGS, SITE UTILITIES AND AMENITIES ARE TO BE VERIFIED IN FIELD PRIOR TO THE START OF CONSTRUCTION.



[illegible]

- A. PROVIDE WOOD FRAMING, PANELS, TRIM, JAMBS, HEADER, CASINGS, ETC. AS REQUIRED TO PROVIDE FINISHED AND OPERABLE DOOR OPENING.
- B. REWORK EXISTING MASONRY / WOOD CLAD OPENING AS REQUIRED TO ACCEPT OVERHEAD DOOR.
- C. EXISTING DOOR IS TO BE SCREWED SHUT IN PLACE. PROVIDE FURRING AND WALL FINISH TO MATCH EXISTING.

SET H1 1 1/2 PAIR BUTT HINGES - LEVER HANDLE ENTRY LOCKSET - PANIC BAR - THRESHOLD - SET OF WEATHERSTRIPPING - WALL / DOOR STOP	SET H3 - SET STANDARD OVERHEAD DOOR HARDWARE - MANUAL OPERATION - LOCKSET - SET OF WEATHERSTRIPPING
SET H2 NOT USED	SET H4 1 1/2 PAIR BUTT HINGES - LEVER HANDLE PRIVACY LOCKSET - WALL / DOOR STOP - CLOSER
	SET H5 SET OF STANDARD DOUBLE SWING DOOR HARDWARE

1. ALL HARDWARE IS TO BE COMMERCIAL QUALITY
2. ALL LOCKSETS / LATCH SETS ARE TO HAVE LEVER HANDLES.
3. ALL EXTERIOR DOORS ARE TO HAVE INTERIOR PANIC HARDWARE.

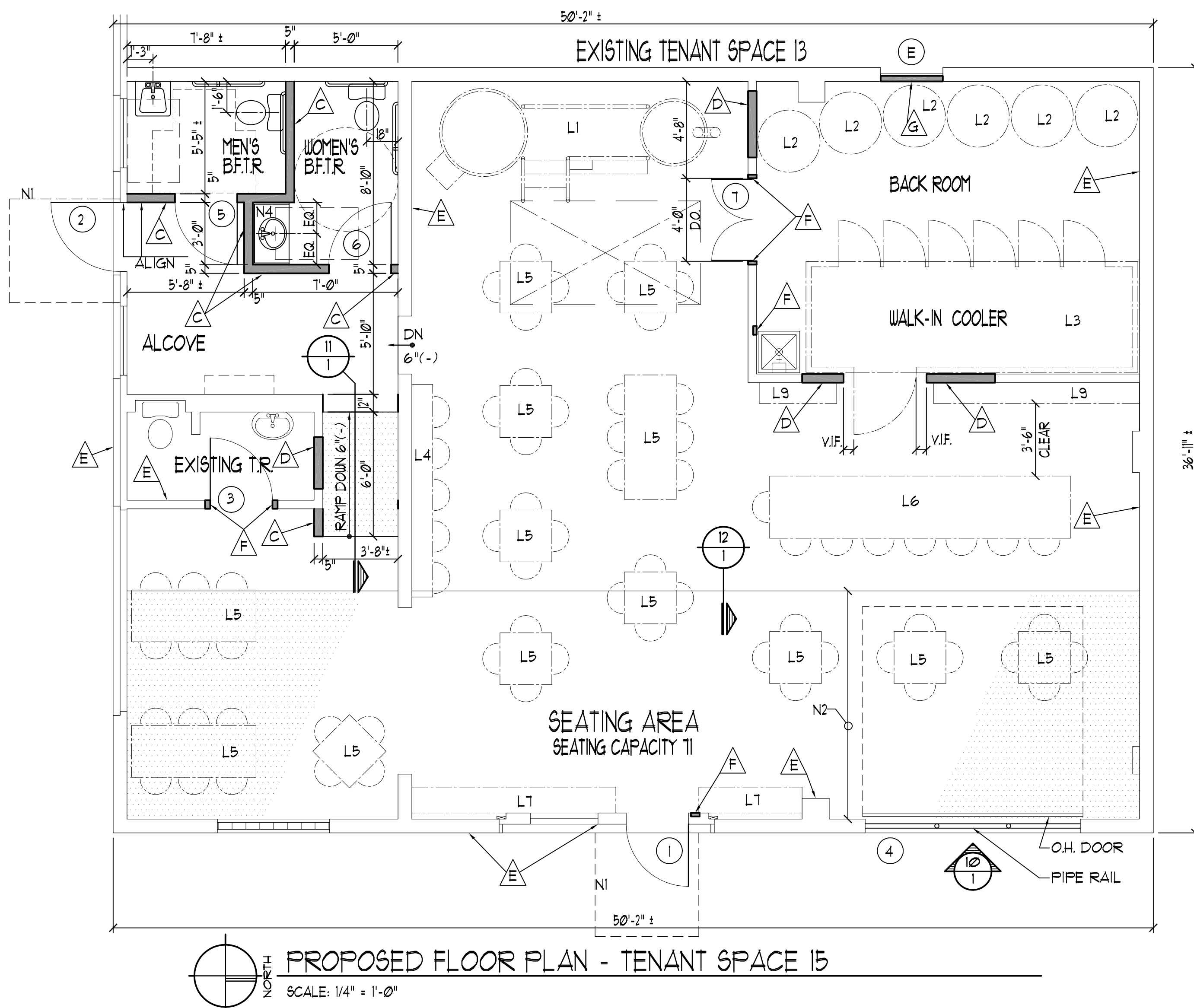
TYPE A

TYPE B

TYPE C

VISION PANEL

L.T. GA. ALUMINUM



NOTE 1 :
CONFIRM EXISTING WALL MATERIALS AND CONDITIONS ON SITE
PRIOR TO ORDERING MATERIALS AND PRIOR TO START OF
CONSTRUCTION.

NOTE 2 :
CONFIRM EXISTING GYPSUM BOARD THICKNESS IN FIELD AND
INSTALL NEW TO MATCH EXISTING.

A "NOT USED"

B "NOT USED"

C 1/2" GYPSUM BOARD EACH SIDE OF 2 X 4 WOOD STUDS
AT 16" O.C. EXTEND FROM TOP OF SLAB TO UNDERSIDE
OF EXISTING ROOF DECK APPROXIMATELY 12" - 1" AFF.

D WOOD STUDS AND GYPSUM BOARD INFILL CONSTRUCTION
TO MATCH EXISTING

E EXISTING WALL CONSTRUCTION.

F PATCH EXISTING WALL CONSTRUCTION

G INFILL WALL CONSTRUCTION SEE DOOR SCHEDULE.

NOTE : ALL EXISTING FLOOR FINISHES, BASE FINISHES, LAY-IN CEILING\$ AND DROPS ABOVE COUNTERS ARE TO BE REMOVED, UNLESS NOTED OTHERWISE. EXISTING CONCRETE BLOCK AND GYPSUM BOARD FINISHES ARE TO REMAIN, UNLESS NOTED OTHERWISE.			
NOTE : CONFIRM EXTENT OF SELECTIVE DEMOLITION TO BE COMPLETED BY THE TENANT PRIOR TO FORWARDING BID TO COMPLETE SELECTIVE DEMOLITION.			
SD1	NOT USED	SD1	REMOVE EXISTING WALL CONSTRUCTION AS REQUIRED TO PROVIDE WALL CONFIGURATIONS INDICATED ON THE PROPOSED FLOOR PLAN.
SD2	REMOVE EXISTING DOOR AND/OR FRAME AS REQUIRED TO INSTALL CODE COMPLIANT DOOR SWINGING AS SHOWN ON THE PROPOSED FLOOR PLAN.	SD8	EXISTING LAY-IN ACUSTIC TILE CEILING AND SUSPENSION SYSTEM ABOVE TO BE REMOVED.
SD3	REMOVE EXISTING WALL AND WINDOW CONSTRUCTION (AND OVERHEAD DOOR CONSTRUCTION ABOVE) IN FORMER OVERHEAD DOOR LOCATION AS REQUIRED TO INSTALL OVERHEAD DOOR	SD9	EXISTING CEILING DROP OVER COUNTER AREA TO BE REMOVED.
SD4	NOT USED	SD10	EXISTING DECORATIVE WALL FINISH AND FURRING TO BE REMOVED.
SD5	REMOVE EXISTING VESTIBULE CONSTRUCTION COMPLETELY.	SD11	EXISTING FLOOR SLAB TO BE REMOVED IN AREAS WHERE SLAB HAS RAISED UP. IT APPEARS THAT A 11'-0" X 48'-8" AREA NEEDS TO BE REMOVED. CONTRACTOR IS TO CONFIRM THE EXACT AMOUNT OF CONCRETE REMOVAL AND REPLACEMENT REQUIRED AND INCLUDE THIS NUMBER WITHIN THE BID.
SD6	REMOVE EXISTING STORE FIXTURES, BENCHES, COUNTERS, STAGE, TABLES, ETC.		

EGA	EXTERIOR WALL CONSTRUCTION TO REMAIN.	EGE	LIGHT FIXTURE ABOVE TO BE REMOVED AND RELOCATED
ECB	WINDOW / DOOR TO REMAIN.	ECF	PLYWOOD CLOUD, LIGHT FIXTURES AND HYAC UNIT
ECC	INTERIOR WALL CONSTRUCTION TO REMAIN.		ABOVE TO REMAIN.
ECD	LIGHT FIXTURE ABOVE TO REMAIN.	ECG	SKYLIGHT ABOVE TO REMAIN.

- L1 BREWHOUSE PROVIDED AND INSTALLED BY TENANT. UTILITIES AND UTILITY CONNECTIONS BY GENERAL CONTRACTOR.
- L2 FERMENTATION TANKS PROVIDED AND INSTALLED BY TENANT. UTILITIES AND UTILITY CONNECTION BY GENERAL CONTRACTOR.
- L3 WALK-IN-COOLER PROVIDED AND INSTALLED BY TENANT. UTILITIES AND UTILITY CONNECTION BY GENERAL CONTRACTOR.
- L4 DRINK LEDGE AND STOOLS PROVIDED AND INSTALLED BY TENANT.
- L5 TABLE AND CHAIRS PROVIDED AND INSTALLED BY TENANT.
- L6 BAR AND STOOLS PROVIDED AND INSTALLED BY TENANT.
- L7 BENCH SEATING PROVIDED AND INSTALLED BY TENANT.
- L8 NOT USED
- L9 BACK BAR PROVIDED AND INSTALLED BY TENANT.

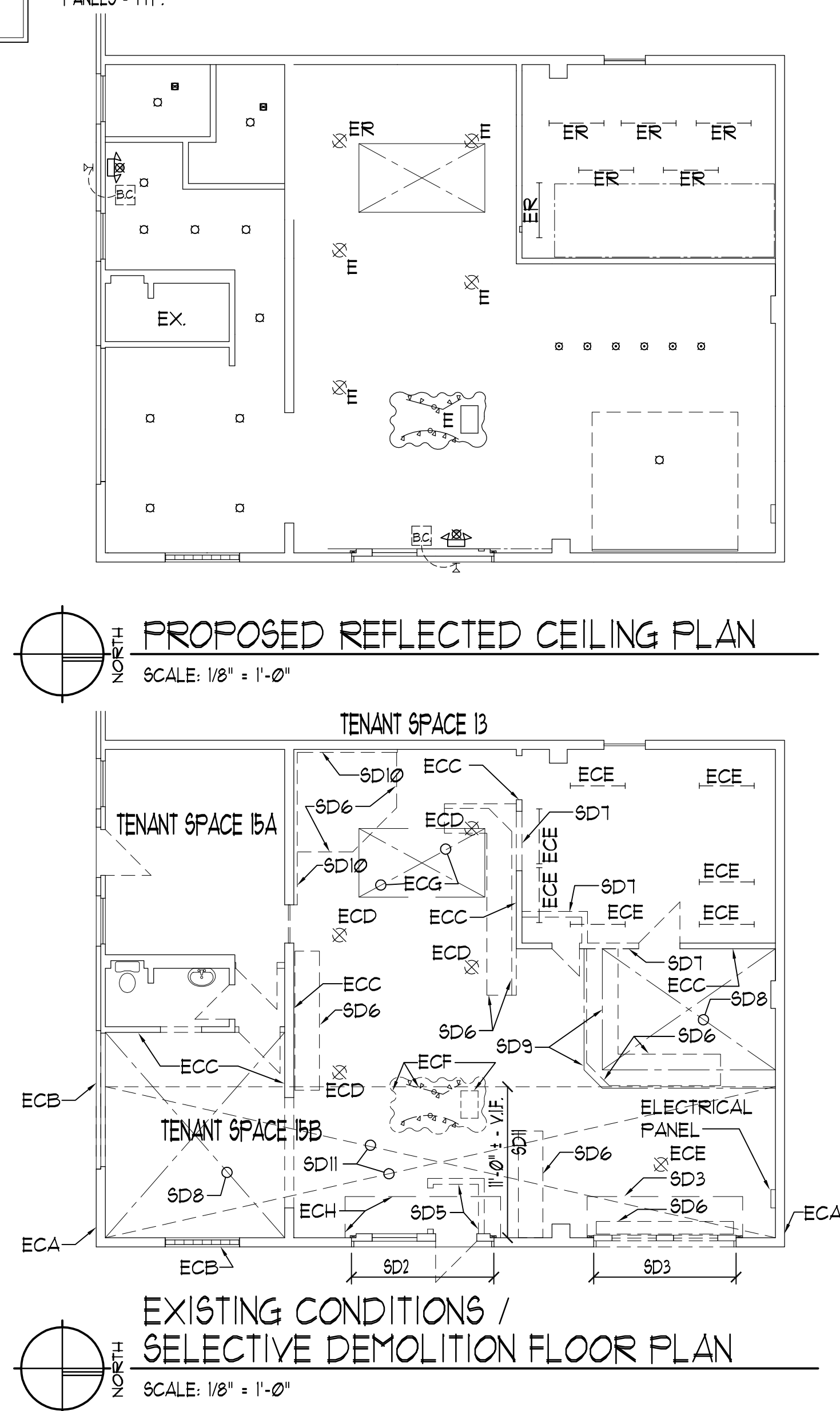
N1 CONFIRM GRADE ELEVATION AT PROPOSED OUTSWINGING DOOR. IF CONDITIONS WARRANT PROVIDE 5' X 5' CONCRETE WALK WITH FOUNDATION EXTENDING TO 42" BELOW ADJACENT GRADE.

N2 4" REINFORCED CONCRETE SLAB (SEE GENERAL NOTES & SPECIFICATIONS). AT PERIMETER OF SLAB CONNECT PROPOSED SLAB TO EXISTING WITH 12" LONG NO. 5 BARS AT 24" O.C. TO SECURE BARS IN PLACE, PRIOR TO POURING CONCRETE. DRILL ADJACENT SURFACE 6" DEEP AND EPOXY BARS IN PLACE, THEN POUR IN WITH PROPOSED SLAB.

N3 SAW CUT EXISTING SLAB. REMOVE SLAB, GRADE AND UNDER PIN EXISTING SLAB AS REQUIRED TO CONSTRUCT MIN. 4" THICK CONCRETE RAMP. INSTALL 8'-0" LONG HANDRAIL AS SHOWN AT TOP AND BOTTOM OF RAMP. SEE DETAIL II ON SHT. NO. I

N4 COUNTER TOP AT 34" AFF. PROVIDE ACCESSIBLE CLEARANCES BELOW.

- STRIP FLUORESCENT LIGHT
- ☒ LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE - SELECTED BY OWNER
- ⊙ HANGING PENDANT FIXTURE
- ⊙ WALL MOUNTED LIGHT (SCONCE)
- ☒ EXIT / EMERGENCY FIXTURE, BATTERY BACK-UP
RED LETTER & TWO (2) EMERGENCY HEADS
- ⌈ SINGLE HEAD EXIT DISCHARGE LIGHT, SURFACE
MOUNTED
- ☒ BATTERY & CHARGING UNIT FOR EXIT DISCHARGE
ILLUMINATION
- EXHAUST FAN
- E EXISTING
- R RELOCATED



I. GENERAL REQUIREMENTS 03/04/13

II. EXTENT OF WORK 08/04/06

- A. THIS PROJECT INVOLVES ALL LABOR, MATERIALS, EQUIPMENT AND SYSTEMS INSTALLATION AS REQUIRED TO COMPLETE CONSTRUCTION OF THE PROJECT INDICATED OR IMPLIED ON THESE CONSTRUCTION DOCUMENTS. NOTATION MADE ON THESE CONSTRUCTION DRAWINGS REGARDING CONSTRUCTION, CONSTRUCTION SYSTEMS OR METHODS ARE INTENDED TO DESCRIBE ANTICIPATED WORK. THE GENERAL CONTRACTOR IS TO EXAMINE THE CONSTRUCTION DOCUMENTS AND THE SITE, SPEAK WITH THE OWNER(S) AS NECESSARY AND VERIFY THE TOTAL AMOUNT OF WORK REQUIRED TO COMPLETE CONSTRUCTION.
- B. IT IS THE OWNER'S INTENTION THAT THE GENERAL CONTRACTOR'S RESPONSIBILITIES SHALL INCLUDE: ALL BUILDING AND SITE CONSTRUCTION NECESSARY TO COMPLETE THE WORK SHOWN AND OBTAIN A FINAL CERTIFICATE OF OCCUPANCY. IT IS THE OWNER'S INTENTION THAT THE GENERAL CONTRACTOR PROVIDE A COMPLETELY FINISHED SITE AND A STRUCTURE IN REGARDS TO ALL ASPECTS OF CONSTRUCTION, INCLUDING, BUT NOT NECESSARILY LIMITED TO: SITE UTILITIES, SITE GRADING AND DRAINAGE, SITE WALKS AND PAVING, SITE AMENITIES, GENERAL CONSTRUCTION, MECHANICAL SYSTEMS, ELECTRICAL SYSTEMS AND PLUMBING SYSTEMS UNLESS SPECIFICALLY EXCLUDED IN THE WRITTEN CONTRACT.

12. THOROUGHNESS OF GENERAL NOTES / SPECIFICATIONS 08/04/06

- A. THE PURPOSE OF THESE GENERAL NOTES/ SPECIFICATIONS IS TO PROVIDE MINIMUM STANDARDS FOR THE PROJECT. THE INCLUSION OF ITEMS WITHIN IS TO PROVIDE INFORMATION ON SPECIFIC ITEMS. THE ABSENCE OF INFORMATION ON SPECIFIC ITEMS IS NOT TO BE INTERPRETED AS THE ABSENCE OF AN ITEM, JUST THAT THERE ARE NO SPECIFIC REQUIREMENTS FOR UN-NOTED ITEMS. ADDITIONALLY, GENERAL NOTES/ SPECIFICATIONS CONTAINED WITHIN, MAY NOT HAVE BEEN PREPARED SPECIFICALLY FOR THIS PROJECT. IT IS POSSIBLE THAT ITEMS CONTAINED WITHIN THESE GENERAL NOTES/ SPECIFICATIONS MAY NOT PERTAIN TO THIS SPECIFIC PROJECT. IF IN DOUBT, PLEASE CONTACT THE ARCHITECT FOR CLARIFICATION. IN ALL CASES, MATERIALS, PROCEDURES AND CONSTRUCTION ARE TO BE PROVIDED AND PERFORMED IN A PROFESSIONAL MANNER COMPLYING WITH RECOGNIZED, ACCEPTED MINIMUM STANDARDS.

13. DRAWING DIMENSIONS 08/04/06

- A. DO NOT SCALE CONSTRUCTION DRAWINGS. USE FIGURED DIMENSIONS ONLY. IF DIMENSIONS ARE MISSING OR IN QUESTION, NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

14. DRAWING ABBREVIATIONS 08/04/06

- A. ABBREVIATIONS USED WITHIN THE CONSTRUCTION DOCUMENTS ARE IN THE OPINION OF THE ARCHITECT GENERALLY ACCEPTED AND RECOGNIZABLE BY THE CONSTRUCTION TRADES. NOTIFY THE ARCHITECT FOR IDENTIFICATION OF ANY ABBREVIATION NOT RECOGNIZED.

15. PRIORITY INFORMATION 08/04/06

- A. IF ANY GENERAL NOTES/ SPECIFICATIONS CONFLICT WITH ANY DETAILS OR NOTES ON THE DRAWINGS THE STRICTEST PROVISION SHALL GOVERN.

16. CODE COMPLIANCE 08/02/11

- A. CONSTRUCTION DOCUMENTS HAVE, TO THE BEST KNOWLEDGE OF THE FIRM, BEEN PREPARED TO COMPLY WITH REQUIREMENTS OF THE MICHIGAN RESIDENTIAL CODE 2009 AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, CODES AND ORDINANCES. ALL WORK IS TO BE DONE IN STRICT ACCORDANCE WITH SAME.

17. GENERAL CONTRACTOR'S CONSTRUCTION REQUIREMENTS AND PROCEDURES 03/04/13

- A. UTILITIES
1. CONTACT MISS DIG PRIOR TO THE START OF CONSTRUCTION / EXCAVATION. REMOVE, REWORK AND / OR RELOCATE ANY EXISTING UTILITY REQUIRED TO COMPLETE WORK INCLUDING, BUT NOT LIMITED TO: SEPTIC, SEWER, WATER, CABLE, SECURITY, ELECTRIC, IRRIGATION, AND GAS.
- B. EXISTING FOOTING CONFIRMATION
1. UPON AWARD OF THE CONTRACT FOR CONSTRUCTION THE GENERAL CONTRACTOR IS TO CONFIRM EXISTING FOOTING DEPTH IN ADDITIONS BEING CONSTRUCTED OVER CRAWL SPACES OR SLABS ON GRADE. IT IS ANTICIPATED THAT THE EXISTING FOOTINGS WERE BUILT TO CURRENT CODE REQUIREMENTS AND THE BOTTOM OF THE FOOTINGS EXTEND A MINIMUM OF 3'-6" BELOW GRADE. IF LESS THEN 3'-6" IS ENCOUNTERED THE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY. BEFORE THE ORDERING OF MATERIALS AND PRIOR TO THE START OF CONSTRUCTION.
- C. TEMPORARY STRUCTURAL SUPPORT
1. PROVIDE TEMPORARY BRACING AND/OR SHORING AS REQUIRED TO INSURE THE STABILITY OF THE STRUCTURE UNDER CONSTRUCTION UNTIL THE PERMANENT FRAMING IS INSTALLED AND SECURE IN PLACE.
- D. REPAIR DAMAGED CONSTRUCTION
1. PATCH, REPAIR AND/OR REPLACE ALL CONSTRUCTION AND SITEWORK DAMAGED OR REMOVED DURING DEMOLITION (OR CONSTRUCTION OF NEW WORK) AS REQUIRED TO RETURN COMPLETED STRUCTURE AND SITE TO FINISHED APPEARANCE.

2. SITEWORK / EARTHWORK 02/14/11

21. EXCAVATION 08/04/06

- A. THE GENERAL CONTRACTOR IS TO EXCAVATE TO REQUIRED DEPTHS. SUBGRADE SHOULD BE PROOF-ROLLED WITH A HEAVY-WEIGHT ROLLER DURING PROOF-ROLLING ANY AREAS THAT EXHIBIT PUMPING AND YIELDING SHOULD BE STABILIZED BY DISKING, AERATION AND COMPACTION OF THE YIELDING SOILS OR THE REMOVAL OF SUCH SOILS AND THEIR DISPLACEMENT WITH COMPACTED ENGINEERED BACKFILL. THESE PHASES SHALL BE INSPECTED BY A QUALIFIED SOILS ENGINEER AND THE CONTRACTOR WILL SUBMIT EVIDENCE OF COMPLIANCE AND COMPACTION TO THE ARCHITECT.

22. BACKFILLING 08/04/06

- A. MATERIALS FOR COMPACTED BACKFILL OR FILL REQUIRED TO ACHIEVE DESIGN GRADES MAY CONSIST OF ANY SOIL THAT COMPLIES WITH THE SPECIFICATIONS AND IS FREE OF ORGANIC MATTER AND TOP SOIL. THE FILL SHOULD BE PLACED IN UNIFORM LAYERS OF NOT MORE THAN 8" IN LOOSE THICKNESS. THE FILL SHALL BE COMPACTED TO ACHIEVE A MINIMUM 3000 PSF BEARING CAPACITY AND A DENSITY OF NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR COMPACTION TEST (ASTM D-1557). ALL FILL MATERIAL SHOULD BE PLACED AND COMPACTED AT APPROXIMATELY THE OPTIMUM MOISTURE CONTENT. ALSO, FROZEN MATERIALS SHOULD NOT BE USED AS FILL AND NO FILL SHOULD BE PLACED ON A FROZEN BASE.

3. CONCRETE 03/04/13

31. CONCRETE 08/04/06

- A. ALL CONCRETE SHALL BE A MINIMUM FC = 3,000 P.S.I. STONE AGGREGATE. PROVIDE CONCRETE COMPRESSION STRENGTHS AS LISTED BELOW @ 28 DAYS, W/ 6% +/- 1% ENTRAINED AIR WHERE EXPOSED TO THE WEATHER, UNLESS NOTED OTHERWISE. CONCRETE WORK AND PLACEMENT SHALL CONFORM TO THE LATEST SPECIFICATION OF CRS.I. AND A.C.I.
1. 3000 P.S.I. AT FOOTINGS / FOUNDATIONS
 2. 4000 P.S.I. AT INTERIOR FLOOR / GARAGE SLABS
 3. 3500 P.S.I. AT EXTERIOR WALKS & SLABS

32. FOOTING NOTES 03/04/13

- A. COMPLY FULLY WITH THE REQUIREMENTS OF O.S.H.A. AND OTHER REGULATORY AGENCIES FOR SAFETY PROVISIONS.
- B. TOP / BOTTOM OF FOOTING ELEVATIONS ARE MINIMUM ELEVATIONS. IN ALL CASES FOOTINGS ARE TO BEAR ON UNDISTURBED NATURAL SOILS HAVING A MINIMUM NET ALLOWABLE BEARING CAPACITY OF 2500 P.S.F. UNLESS SPECIFIED OTHERWISE. NOTIFY THE ARCHITECT IF SOILS WITH LESS CAPACITY ARE ENCOUNTERED.
- C. ALL FOOTING BEARING SOILS SHALL BE INSPECTED BY A QUALIFIED SOILS ENGINEER. THE TESTING SHALL INCLUDE, BUT NOT BE LIMITED TO, THE IDENTIFICATION OF SOILS AT THE FOOTING LEVEL AND BELOW, AS WELL AS THE STRENGTH OF THESE SOILS.
- D. ALL EXTERIOR WALL FOOTINGS SHALL EXTEND TO A DEPTH OF A MINIMUM 3'-6" BELOW ADJACENT GRADE.

33. CONCRETE NOTES 03/04/13

- A. CONCRETE WORK AND PLACEMENT SHALL CONFORM TO THE LATEST SPECIFICATIONS OF CRS.I. AND A.C.I.
- B. ALL FORMWORK SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE "FORMWORK FOR CONCRETE", SPECIAL PUBLICATION #4 AND A.C.I.'S STANDARD PRACTICE FOR CONCRETE FORMWORK (A.C.I.-347-LATEST EDITION).
- C. ALL FILL UNDER SLABS ON GRADE SHALL BE 4" COURSE GRANULAR MATERIAL COMPACTED TO 90% OF MAXIMUM DENSITY OF MAXIMUM WATER CONTENT.
- D. INTERIOR SLABS ON GRADE SHALL BE A MINIMUM OF 4" THICK CONCRETE AND BE REINFORCED. ALL SLABS SHALL BE PLACED OVER 6 MIL. VISQUEEN VAPOR BARRIER.
- E. THICKENED SLABS SHALL BE 4" THICKER THAN SLAB FOR A WIDTH OF 12" AND BE REINFORCED WITH TWO (2) #5 BARS RUNNING CONTINUOUS, UNLESS NOTED OTHERWISE.

34. CONCRETE REINFORCING 03/04/13

- A. ALL REINFORCING SHALL BE HIGH STRENGTH BILLET STEEL CONFORMING TO ASTM 615-68 (FY = 60,000 P.S.I.). ALL TIES SHALL BE NEW INTERMEDIATE GRADE STEEL CONFORMING TO ASTM 615-68 (FY = 40,000 P.S.I.). ALL REINFORCING STEEL SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH ACI'S "MANUAL OF STANDARD PRACTICE FOR DETAILING CONCRETE STRUCTURES" (ACI 318).
- B. REINFORCING STEEL SHALL BE CONTINUOUS AND SHALL PROVIDE CORNER DOUELS OF THE SAME SIZE AND AT THE SAME SPACING AS HORIZONTAL REINFORCING. LAP ALL CONTINUOUS BARS 40 DIAMETERS.
- C. WELDED WIRE MESH SHALL BE COLD DRAWN STEEL WIRE MESH CONFORMING TO ASTM SPEC. A-185.
- D. TRENCH FOOTING SHALL BE REINFORCED WITH TWO (2) #5 BARS RUNNING CONTINUOUS TOP AND BOTTOM, UNO.
- E. SPREAD FOOTING SHALL BE REINFORCED WITH TWO (2) #5 BARS RUNNING CONTINUOUS, UNO.
- F. PAD FOOTING SHALL BE REINFORCED WITH #5 BARS AT 12" O.C. EACH WAY, UNO.
- G. 4" CONCRETE SLAB REINFORCEMENT SHALL BE 6 x 6 - W/ 14 x W/ 14 WUM. WELDED WIRE MESH SHALL HAVE ENDS LAPPED ONE FULL MESH. ASTM A-185. TIE AT 3'-0" O.C., UNO.
1. PROVIDE FIBER MESH REINFORCING IN LIEU OF WIRE MESH WHERE NOTED AND/OR APPROVED IN ADVANCE BY THE ARCHITECT.
- H. THICKENED SLABS SHALL BE 4" THICKER THAN SLAB FOR A WIDTH OF 12" AND BE REINFORCED WITH TWO (2) #5 BARS RUNNING CONTINUOUS, UNO.
- I. MINIMUM CONCRETE COVER OF RE-STEEL SHALL BE AS FOLLOWS:
- | | |
|----------------|--------------|
| 1. FOOTINGS | 3 INCHES |
| 2. WALLS | 1 1/2 INCHES |
| 3. GRADE BEAMS | 2 INCHES |
| 4. PIERS | 2 INCHES |

35. CONCRETE JOINTING 08/04/06

- A. PROVIDE AND INSTALL INTERIOR AND EXTERIOR CONTROL AND EXPANSION JOINTS AS INDICATED ON DRAWINGS OR NOTED BELOW.
1. PROVIDE KEYED CONSTRUCTION JOINTS OR SAUED CONTROL JOINTS IN CONCRETE FLOORS SO THAT THE MAXIMUM PANEL SIZE IS 225 SF.
 2. PROVIDE EXPANSION JOINTS IN CONCRETE WALKS AND SLABS AT A MINIMUM SPACING OF 25'-0" O.C.

36. ANCHOR BOLTS 08/04/06

- A. CAST ANCHOR BOLTS INTO POURED CONCRETE AS INDICATED AND / OR AS REQUIRED. SEE "DIVISION 5 - METALS" FOR ADDITIONAL REQUIREMENTS.

4. MASONRY 03/04/13

41. CONCRETE BLOCKS 08/04/06

BLOCKS TO BE LIGHTWEIGHT LOAD BEARING, STANDARD GRAY, SMOOTH TEXTURE, CONCRETE BLOCKS COMPLYING WITH ASTM C90, GRADE N, TYPE I, AND IN THE DIMENSIONS SHOWN ON THE DRAWINGS OR OTHERWISE REQUIRED FOR PROPER COMPLETION OF WORK.

42. CONCRETE BLOCK INSTALLATION 03/23/10

- A. LAY UP CONCRETE MASONRY IN RUNNING BOND, TOOLING ALL JOINTS IN CONCAVE SHAPE.
- B. PROVIDE CONTROL JOINTS IN MASONRY WALLS AT MAXIMUM 24'-0" O.C. OR AS INDICATED ON THE DRAWINGS.
- C. BLOCKS SHALL BEAR ON CONCRETE FOUNDATIONS, STEEL LINTELS OR STEEL PLATES.
- D. PROVIDE HORIZONTAL TRUSS TYPE REINFORCEMENT EVERY 2ND COURSE. (LADDER TYPE REINFORCEMENT WHERE VERTICAL REINFORCEMENT RODS ALSO EXIST.) AT BRICK VENEERED WALLS PROVIDE HORIZONTAL REINFORCEMENT WITH ADJUSTABLE WALL ANCHORS AT 16" O.C.
- E. PROVIDE ADJUSTABLE, SCREENED VENTING AS INDICATED ON THE CONSTRUCTION DRAWINGS AND AS SPECIFIED ELSEWHERE HEREIN. CRAWL SPACE VENTS MAY BE OMITTED IN CRAWL SPACE IF IT IS USED AS AN UNDER FLOOR PLENUM AND VENTILATED BY AN APPROVED MECHANICAL MEANS.
- F. GROUTING
1. PROVIDE MORTAR TYPE "N", COMPLYING WITH ASTM C270, NATURAL GRAY IN COLOR JOINTS SHALL BE TOOLED CONCAVE SHAPE.
 2. GROUT ALL BLOCKS BELOW GRADE OR WITH VERTICAL STEEL REINFORCING SOLID. GROUT TO BE IN ACCORDANCE WITH ASTM C476.
 3. GROUT BLOCK CORES SOLID, WHERE BEARING PLATES AND ANCHOR BOLTS NEED TO BE SECURED.
 4. GROUT BLOCK CORES SOLID MINIMUM 24" DEEP BELOW BEAM / JOIST BEARING.
 5. GROUT ALL BLOCK CORES ON RESIDENTIAL PROJECTS SOLID.
- G. EXPOSED CONCRETE UNIT MASONRY IS TO BE CLEANED WITH MANUFACTURER'S PREFERRED SOLUTION AND BRUSHED CLEAN.

6. WOOD AND PLASTIC 06/16/16

61. WOOD CONSTRUCTION 03/04/13

- A. CONSTRUCTION STANDARDS
1. WOOD CONSTRUCTION SHALL BE PER AMERICAN INSTITUTE OF TIMBER CONSTRUCTION (AITC) AND NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA) STANDARDS AND SPECIFICATIONS.
- B. WALLS
1. PROVIDE 2X4 STUD WALL FRAMING WITH STUDS AT 16" O.C., UNLESS NOTED OTHERWISE.
 2. EXTERIOR WALLS ARE TO BE UNDERDRAPED PER BUILDING CODE. EXTERIOR PLYWOOD OR ENGINEERED WOOD SHEATHING WILL ACCOMPLISH BRACING REQUIREMENTS. IF "CELOTEX" INSULATED OR SIMILAR SHEATHING IS UTILIZED, PROVIDE PRE-MANUFACTURED DIAGONAL METAL UNDERBRACING INSTALLED AT EACH WALL ABUTTING A CORNER.
 3. WALLS ARE TYPICALLY CONSTRUCTED WITH SINGLE 2X SOLE PLATE AND DOUBLE 2X TOP PLATE. WHERE THE HEIGHT OF A HEADER INTERFERES WITH THE TOP PLATE, ONE OR BOTH OF THE 2X'S MAY BE OMITTED IN THE AREA OF THE HEADER. WHEN BOTH PLATES ARE OMITTED, PROVIDE U-BRACKET SPLICED AT EACH END OF HEADER U-BRACKET TO BE "SIMPSON STRONG TIE" - "ECCO" OR EQUAL 1" HIGH x 8-1/2" LONG x STUD DEPTH WIDE, 1 GAUGE SHEET METAL CONNECTOR. INSTALL (4) FOUR "SDS" SCREWS AT EACH SIDE AND AT EACH END OF BRACKET.
 4. AT HEADER, CONDITIONS REQUIRING A (2) 2X POST, ONE STUD IS TO BE A KING STUD AND THE OTHER IS TO BE A JACK STUD. WHERE A (3) 2X OR LARGER POST IS REQUIRED, ONE STUD IS TO BE A KING STUD AND THE OTHERS, JACK STUDS.
- C. MINIMUM HEADER AND POST SIZES
- PROVIDE ADEQUATE HEADERS AT ALL DOOR AND WINDOW OPENINGS. PROVIDE MINIMUM (2) 2X10 HEADER UNLESS NOTED OTHERWISE. PROVIDE TRIPLE STUD AT EACH END OF WOOD HEADERS, TYPICAL, UNLESS NOTED OTHERWISE. PROVIDE SOLID WOOD BLOCKING BELOW ALL POSTS AS REQUIRED TO TRANSFER LOAD FROM ALL BEARING POINTS DOWN THROUGH CONSTRUCTION TO BEAR DIRECTLY ON TOP OF BLOCK / FOOTING / FOUNDATION / STRUCTURAL MEMBER AS APPLICABLE.
- D. FRAMING CONNECTORS
1. PROVIDE ALL FASTENERS, BRACING, CONNECTORS, ETC. AS INDICATED ON THE DRAWINGS ISSUED WITH THESE GENERAL NOTES / SPECIFICATIONS AND ADDITIONALLY AS REQUIRED TO CONFORM TO APPLICABLE CODE REQUIREMENTS.
 2. FASTENERS, BRACING, CONNECTORS, ETC., INSTALLED ARE TO RESULT IN A "SYSTEM" THAT PROVIDES A COMPLETE, CONTINUOUS, LOAD PATH CAPABLE OF TRANSFERRING LOADS CREATED BY UPLIFT, RACKING, SLIDING, OVERTURNING AND LATERAL MOVEMENT FROM THEIR POINT OF ORIGIN WITHIN THE BUILDING FRAME, THROUGH THE LOAD RESISTING ELEMENTS, TO THE FOUNDATION.

62. WOOD PRODUCTS 06/16/16

- A. LUMBER
- ALL FRAMING LUMBER SHALL PROVIDE MINIMUM PROPERTIES AS FOLLOWS:
- FB = 875 PSI, E = 1,300,000, SPRUCE / PINE / FIR NO. 2 OR BETTER.
- B. PRESSURE TREATED WOOD
1. ALL WOOD SOLE PLATES, BLOCKING, STUDS, FURRING, ETC. IN CONTACT WITH CONCRETE BLOCK, CONCRETE OR SOIL ARE TO BE PRESSURE TREATED. ALL FASTENERS, ANCHORS AND CONNECTORS IN CONTACT WITH TREATED WOOD ARE TO BE STAINLESS STEEL. IN LIEU OF STAINLESS STEEL, G185 HOT-DIPPED GALVANIZED (MANUFACTURER RECOMMENDED FOR SUCH APPLICATION 185 OZ. / SQ. FT.) FASTENERS, ANCHORS AND CONNECTORS ARE ACCEPTABLE. NOTE: CONNECTORS AND FASTENERS ARE TO BE MADE OF THE SAME MATERIAL.
 2. WOOD POSTS, JOISTS, RAFTERS, DECKING, RAILS, SPINDLES, STRINGERS, TREADS, RISERS, ETC. USED ON THE EXTERIOR OF THE BUILDING ARE TO BE CONSTRUCTED TOTALLY OF PRESSURE TREATED WOOD.

63. FIREBLOCKING 08/04/06

- A. FIREBLOCKING SHALL BE INSTALLED IN ALL AREAS INDICATED AND AS REQUIRED BY CODE. MINIMALLY INSTALL AT ALL INTERCONNECTIONS BETWEEN VERTICAL AND HORIZONTAL SURFACES SUCH AS OCCUR AT DOUBLE WALLS, SOFFITS OVER CABINETS, DROP CEILINGS AND SIMILAR LOCATIONS.

64. DRAFTSTOPPING 08/04/06

- A. DRAFTSTOPPING SHALL BE INSTALLED IN ALL AREAS INDICATED AND AS REQUIRED BY CODE. MINIMALLY INSTALL DRAFTSTOPPING IN ATTICS AND CONCEALED SPACES OF UN-SPRINKLERED BUILDINGS SUCH THAT ANY HORIZONTAL AREA DOES NOT EXCEED 3,000 SQUARE FEET. IN A LIKE MANNER, INSTALL DRAFTSTOPPING IN HORIZONTAL FLOOR AREAS OF UN-SPRINKLERED BUILDINGS SUCH THAT ANY HORIZONTAL AREA DOES NOT EXCEED 10,000 SQUARE FEET.

8. DOORS AND WINDOWS 03/04/13

81. DOORS 03/04/13

- A. DOOR TYPE, OPTIONS AND ACCESSORIES ARE TO BE ACCEPTED BY OWNER.
- B. DOORS AND ALL COMPONENTS ARE TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.

9. FINISHES 03/04/13

91. GYPSUM BOARD 03/04/13

- A. PROVIDE 1/2" GYPSUM BOARD ON ALL INTERIOR WALL AND CEILING SURFACES, UNLESS NOTE OTHERWISE. ALL SURFACES ARE TO BE TAPED, SPACKLED AND SANDED PROPERLY PREPARED TO RECEIVE PAINT.
- B. PROVIDE FIRECODE GYPSUM BOARD AS REQUIRED AT FIRE RATED ASSEMBLIES AND ADDITIONALLY AS NOTED AND/OR REQUIRED.
- C. PROVIDE MOISTURE RESISTANT TYPE GYPSUM BOARD TO A HEIGHT OF 8'-0" AFF. AND EXTENDING A MINIMUM OF 48" HORIZONTALLY TO EITHER SIDE OF ALL PLUMBING FIXTURES. SHOWER ENCLOSURE WALLS AND WALLS EXTENDING A MINIMUM OF 4'-8" HORIZONTAL FROM ENCLOSURE SHALL ALSO RECEIVE MOISTURE RESISTANT GYPSUM BOARD.
- D. PROVIDE THERMAL BARRIER TO COVER ALL EXPOSED SURFACES OF FOAM INSULATION IN BASEMENT OR CRAWL SPACES. THERMAL BARRIER TO BE ONE LAYER OF 3/8" GYPSUM BOARD, UNLESS OTHERWISE NOTED. ALTERNATE ACCEPTABLE THERMAL BARRIERS AND 1/4" THICK PLYWOOD, PARTICLE BOARD OR HARDBOARD.
- E. PROVIDE NOT LESS THAN 1/2" GYPSUM BOARD DRAFTSTOPPING IN ATTIC AND CONCEALED ROOF SPACES, SUCH THAT THE HORIZONTAL AREA DOES NOT EXCEED 3,000 SQUARE FEET. ADDITIONALLY PROVIDE DRAFTSTOPPING AS/IF REQUIRED TO SEGREGATE ROOF VENTING AREAS.

92. INTERIOR FINISHES 06/16/16

- A. INTERIOR FINISHES
1. FINISH FLOORING TRADES ARE TO PROVIDE ADDITIONAL MATERIALS AND LABOR AS REQUIRED TO PROPERLY PREPARE SUBSTRATE TO ACCEPT FINISH MATERIALS PER MANUFACTURES RECOMMENDATIONS. MATERIALS INCLUDE BUT ARE NOT LIMITED TO FLOOR LEVELING, ADDITIONAL SHEATHING, ETC. ALL FLOORS ARE TO RECEIVE EPOXY FINISH W/ GRIT APPROPRIATE TO BEVERAGE DISTRIBUTION USE. PROVIDE 4" RESILIENT COVE BASE IN ALL AREAS. ALL EXISTING AND PROPOSED WALLS, CEILING, GYP. BOARD, WOOD, UNFINISHED SURFACES ARE TO BE PAINTED / REPAINTED UNLESS NOTED OR INSTRUCTED BY THE TENANT.
 2. ALL PAINTED SURFACES ARE TO BE PROPERLY PREPARED TO RECEIVE PAINT. ALL PAINT IS TO BE OF TYPE SPECIFICALLY FORMULATED FOR THE SURFACE TO WHICH IT IS TO BE APPLIED. PAINT IS TO BE LATEX ENAMEL, UNLESS NOTED OTHERWISE, FINISH AS SELECTED BY TENANT. ALL PAINTED SURFACES ARE TO RECEIVE A MINIMUM OF ONE (1) PRIME COAT AND TWO (2) FINISH COATS. SPACKLER IS TO RETURN FOR TOUCH-UP ONCE PRIMER IS APPLIED.
- B. INTERIOR FLOOR FINISHES AND FLOOR COVERINGS
1. INTERIOR FLOOR FINISH AND FLOOR COVERING MATERIALS IN EXIT ENCLOSURES, EXIT PASSAGEWAYS AND CORRIDORS SHALL NOT BE LESS THAN CLASS II IN GROUPS A, B, E, M AND 5. IN ALL AREAS, FLOOR COVERING MATERIALS SHALL COMPLY WITH THE DOC FF-1 "PILL TEST" (CPSC 16 CFR PART 1630) CLASS II MATERIALS ARE REQUIRED.
- C. INTERIOR WALL AND CEILING FINISHES
1. INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E 84 OR UL 123. SUCH INTERIOR FINISH MATERIALS SHALL BE GROUPED IN THE FOLLOWING CLASSES IN ACCORDANCE WITH THEIR FLAME SPREAD AND SMOKE DEVELOPED INDEXES.
- CLASS A :
FLAME SPREAD INDEX 0 - 25 : SMOKE DEVELOPED INDEX 0 - 450.
- CLASS B :
FLAME SPREAD INDEX 26 - 75 : SMOKE DEVELOPED INDEX 0 - 450.
- CLASS C :
FLAME SPREAD INDEX 76 - 200 : SMOKE DEVELOPED INDEX 0 - 450.
2. USE GROUP A-2 - ASSEMBLY UN-SPRINKLERED BUILDINGS :
EXIT ENCLOSURE AND EXIT PASSAGEWAYS : CLASS A
CORRIDORS : CLASS A
ROOMS AND ENCLOSED SPACES : CLASS B

15. MECHANICAL 06/16/16

151. DESIGN-BUILD 03/04/13

- A. ALL MECHANICAL WORK (PLUMBING, HEATING, VENTILATING AND AIR CONDITIONING) AS REQUIRED IS TO BE PERFORMED ON A DESIGN-BUILD BASIS. WORK IS TO BE PERFORMED TO CODE AND BE INSPECTED BY THE GOVERNING AUTHORITY.

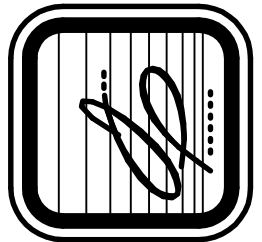
152. MICROBREMUIRY EQUIPMENT 06/16/16

- A. THE TENANT IS TO SCHEDULE A MEETING WITH THE GENERAL CONTRACTOR AND PLUMBING CONTRACTOR TO DISCUSS THE BREWING PROCESS, PRIOR TO SUBMITTING BIDS. ALL EQUIPMENT REQUIRED IS TO BE LISTED BY THE TENANT AND SPECIFICATION SHEETS OF ALL EQUIPMENT IS TO BE FORWARDED TO THE GENERAL CONTRACTOR. IN ADDITION TO BREWING EQUIPMENT ALL MISCELLANEOUS EQUIPMENT / DEVICES / FEATURES SUCH AS FLOOR DRAINS, TRAPS, VENTILATION, ETC. IS TO BE DISCUSSED AND THE NEED FOR DETERMINED, AGREED TO AND PROVIDED FOR IN THE BID.

16. ELECTRICAL WORK 03/04/13

161. DESIGN-BUILD 03/14/06

- A. ALL ELECTRICAL WORK AS REQUIRED IS TO BE PERFORMED ON A DESIGN-BUILD BASIS. WORK IS TO BE PERFORMED TO CODE AND BE INSPECTED BY THE GOVERNING AUTHORITY.

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30 YEARS	
THIS DOCUMENT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM THE FIRM. ALL TRADES INVOLVED WITH CONSTRUCTION ARE TO COMPLY WITH THE LATEST CODES AND ORDINANCES OF DOCUMENTS WITH GENERAL CONTRACTOR PRIOR TO BEGINNING WORK.	
PROJECT:	734 BREWING COMPANY 15B E. CROSS STREET YPSILANTI, MICHIGAN
STATUS:	PRELIM. ☐ REVIEW ☐ PERMIT ☒ REVISED ☐
DATE:	06/16/16
JOB NO:	16226
SHEET NO:	3
	226 GN.01

GOVERNED BY THE CURRENT YEAR IN EFFECT OF "AMERICANS WITH DISABILITIES ACT", "MICHIGAN BUILDING CODE" AND "ICC/ANSI A117.1"

11. TOILET ROOM ACCESSORIES:
 PROVIDE ALL TOILET ROOM ACCESSORIES
 AS REQUIRED TO COMPLY WITH CODE.
 ACCESSORIES INCLUDE, BUT ARE NOT LIMITED TO:
 GRAB BARS, TOILET TISSUE DISPENSERS,
 WALL MIRRORS, SOAP AND PAPER TOWEL
 DISPENSERS. CONFIRM SPECIFIC PAPER
 TOWEL AND SOAP TYPES AND DISPENSERS
 WITH OWNER / TENANT.
12. TOILET ROOM SIGNAGE:
 PROVIDE ALL ACCESSIBLE TOILET ROOM
 SIGNAGE AS REQUIRED TO COMPLY WITH
 CODE.
- ADA. "AMERICANS WITH DISABILITIES ACT"
- B.F. BARRIER FREE ACCESSIBLE
- B.F.T.R. BARRIER FREE TOILET ROOM
- D.F. DRINKING FOUNTAIN
- EHD. ELECTRIC HAND DRYER
- EWC. ELECTRIC WATER COOLER
- GBR. GRAB BAR REAR
- GBS. GRAB BAR SIDE
- GBV. GRAB BAR VERTICAL
- LAV. LAVATORY
- LSD. LIQUID SOAP DISPENSER
- MBC. "MICHIGAN BUILDING CODE"
- MIR. MIRROR
- PTD. PAPER TOWEL DISPENSER
- PTN. TOILET PARTITION
- SCN. URINAL SCREEN
- S.D. SOAP DISPENSER
- SNR. SANITARY NAPKIN RECEPTACLE
- S.S. SERVICE SINK
- STD. STANDARD
- TTD. TOILET TISSUE DISPENSER
- UNO. UNLESS NOTED OTHERWISE
- UR. URINAL
- VAN. VANITY
- WC. WATER CLOSET
- WR. WASTE RECEPTACLE

DIRECTION OF TRAVEL

CIRCULAR

T-SHAPED

(A) FRONT APPROACH, FULL SIDE

(B) FRONT APPROACH, PUSH SIDE

(C) HINGE APPROACH, FULL SIDE

(D) HINGE APPROACH, FULL SIDE

(E) HINGE APPROACH, PUSH SIDE

(F) LATCH APPROACH, FULL SIDE

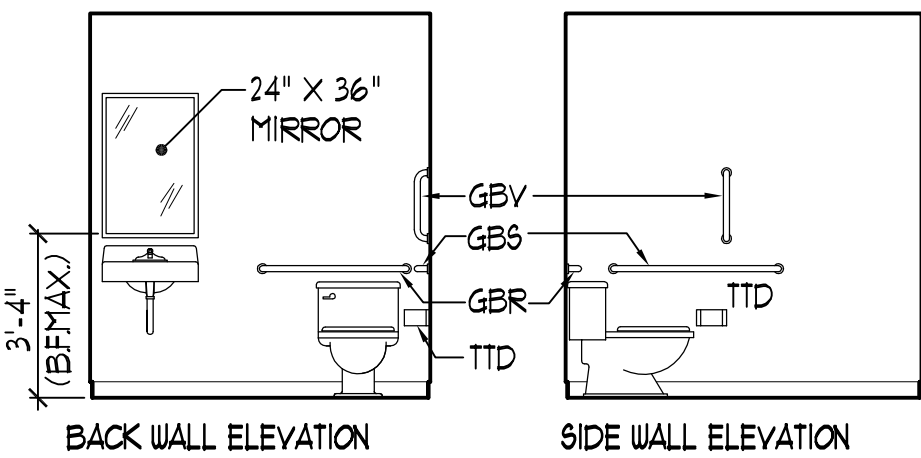
(G) LATCH APPROACH, PUSH SIDE

- (1) ADD 6 INCHES IF CLOSER AND LATCH PROVIDED
- (2) ADD 6 INCHES IF CLOSER PROVIDED
- (3) ADD 12 INCHES BEYOND LATCH IF CLOSER AND LATCH PROVIDED
- (4) BEYOND HINGE SIDE

TWO DOORS IN SERIES



THIS TOILET ROOM LAYOUT COMPLIES WITH THE MICHIGAN BUILDING CODE (MBC) 2012 AND THE AMERICANS WITH DISABILITIES ACT 2010. PER MBC 2012, BUILDINGS & FACILITIES SHALL BE DESIGNED IN ACCORDANCE WITH 1966 PA 1, MCCL21351 TO 1251356, THIS CODE AND ICC/ANSI A 117.1 - 2009, EXCEPT SECTIONS 611 & 101 (MBC 2012) PG283. ARC OF DOOR SWING MAY CROSS CLEAR FLOOR SPACE OR CLEARANCES AT FIXTURES IF A CLEAR FLOOR SPACE OF 30" X 48" IS PROVIDED BEYOND THE ARC OF THE DOOR SWING. ADA HOWEVER DOES NOT ALLOW THIS EXCEPTION AND THE LAYOUT INDICATED BELOW ILLUSTRATES THE ARC OR DOOR NOT CROSSING OVER THE CLEAR FLOOR SPACE CLEARANCES AT FIXTURES TO COMPLY WITH ADA.



5'-0" MAX.
4'-0" MIN.

2'-10" MIN.
4'-0" MAX.

3'-0" (STD.)
1'-6" 2'-0" (STD.)
30" (MIN.)
2'-0" (BF. MAX.)
3'-10" MAX. TO SHELF AND CABINET HANDLE

1'-2" SHELF
3'-0" X 3'-0" SLIDING GLASS WINDOW
2'-10" (BF. MAX.)
9" MAX.

3'-4" R
3'-4"
3'-8"
3'-4"
5'-4 1/4"
3'-8" (TYP. HEIGHT)

1'-3" MIN.
4'-0" MAX.

4'-0"

4'-0"
20" MIN.
34" MAX.
LINE OF WORK SURFACE

5'-4"
4'-0"
4'-0" BF. HANDLE HEIGHT

4'-6" (BF. MAX.)
WALL LINE WHERE INDICATED
4'-0" (BF. MAX.)
2'-10"
1'-0" TYPICAL HANDRAIL EXTENSION
LINE OF TOP RISER OR TOP & BOTTOM OF RAMP

ONE TREAD DEPTH BEYOND AT BOTTOM OF STAIRS ONLY

X = TREAD DEPTH

SIGNAGE / PLAQUE

DOOR HARDWARE

WALL AND BASE CABINETS

WORK SPACE

SLIDING WINDOW

SOAP DISPENSER

SANITARY NAPKIN RECEPTACLE

SANITARY NAPKIN DISPENSER

SEAT COVER DISPENSER

TOWEL DISPENSER OR MULTIPURPOSE UNIT

TOWEL DISPENSER AND WASTE RECEPTACLE

TOILET PAPER DISPENSER

TOILET TISSUE DISPENSER

HAND DRYER

BABY CHANGING STATION

FIRE EXTINGUISHER CABINET

COAT ROD AND HAT SHELF

STAIR OR RAMP HANDRAIL

JOB NO: 16226	DATE: 06/16/16	STATUS: ☐ PRELIM. ☐ REVIEW ☒ PERMIT ☐ REVISED	PROJECT: 734 BREWING COMPANY 158 E. CROSS STREET ACCESSIBILITY STANDARDS	YPSILANTI, MICHIGAN	THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION UNTIL PERMITS ARE ISSUED BY THE GOVERNING AUTHORITIES. ANY CHANGES MUST BE CONSTRUCTED ARE TO CONFIRM CURRENT ISSUE DATES OF DOCUMENTS WITH GENERAL CONTRACTOR AND TO BEGINNING WORK.
SHEET NO: 4		JOSEPH PHILIPS - ARCHITECT, LLC © COPYRIGHT 2016			
226 of 01		JOSEPH PHILIPS-ARCHITECT, LLC RESIDENTIAL COMMERCIAL SPECIALTY MEMBER AMERICAN INSTITUTE OF ARCHITECTS 921 WING STREET PLYMOUTH, MICHIGAN PHONE: (734) 455 - 8354 FAX: (734) 455 - 8350 EMAIL: josephphilipsarchitect@gmail.com WEBSITE: josephphilipsarchitect.com			

Glass

STORE FRONT DOORS

1-800-486-8415
www.glassstorefrontdoors.com

PRE-ASSEMBLED GLASS ENTRY DOORS

Commercial Glass Store Front Doors
Pre-Assembled and Ready for Quick Install



IN STOCK MODELS AVAILABLE!

Store Front Door

STANDARD & UPGRADE OPTIONS AVAILABLE



Store Front Door

STANDARD & UPGRADE OPTIONS AVAILABLE



Door Size Options

Single Door 3070 or Double Doors 6070
Custom Sizes Available Upon Request

Frame Options

Clear Anodized or Bronze Anodized
Prepped for Wood, Masonry, or Steel Frame Wall Conditions

Glass Options

1/4" Tempered or 1" Tempered Insulated
Standard Clear, Upgraded Tinted, or Low E Coated Glass

Hardware Options

Standard Push / Pull Bar or Upgraded Panic Exit Device
Standard 4" or Upgraded 10" Bottom Rail
Standard Grade 1 or Upgraded Heavy Duty Closer



Other Options

Sidelites
Transoms

Door Inclusions

Standard Grade 1 Closer
Door Sweep
Drip Cap
Offset Pivot Assembly
Narrow Stile Frame
Threshold
4" Bottom Rail
Deadbolt with Inside Thumb Turn
Butt Hinges
Push / Pull Bar
Heavy Duty Wood Crate for Shipment



Door System Options / Upgrades

12", 18", or 24" Sidelites
12", 18", 24", or 36" Transom
Heavy Duty Closer
10" Bottom Rail
Several Tint Options
Low E Coating
Double Key Cylinder

SINGLE DOOR PRICING

Standard Silver

Clear Anodized Frame, 1/4" Clear Tempered Glass,
Push / Pull Bar, Grade 1 Closer, 4" Bottom Rail

\$1,003.60

Standard Bronze

Bronze Anodized Frame, 1/4" Clear Tempered Glass,
Push / Pull Bar, Grade 1 Closer, 4" Bottom Rail

\$1,077.70

Insulated Silver

Clear Anodized Frame, 1" Clear Insulated Glass,
Push / Pull Bar, Grade 1 Closer, 4" Bottom Rail

\$1,203.80

Insulated Bronze

Bronze Anodized Frame, 1" Clear Insulated Glass,
Push / Pull Bar, Grade 1 Closer, 4" Bottom Rail

\$1,279.20

Upgrades / Options

10" Bottom Rail for ADA Requirements.....	\$128.25
Panic Exit Device.....	\$461.70
Panic Exit w/ Electric Strike Prep.....	\$867.95
Tinted Glass (Gray or Bronze).....	\$ 58.05
Dark Tinted Glass (Gray or Bronze).....	\$116.10
Low E Coating.....	\$111.25
Heavy Duty Closer.....	\$406.25
Double Key Cylinder.....	\$ 43.20
Tinted Sidelite/Transom.....	\$ 74.00 ^{ea} Low E..... \$85.00

Sidelites

12" Sidelite.....	\$695.00	18" Sidelite.....	\$725.00	24" Sidelite.....	\$745.00
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Transoms NO SIDELITES

12" Transom	18" Transom	24" Transom	36" Transom
\$381.25	\$443.75	\$468.75	\$518.75

Transoms ONE SIDELITE

12" Transom	18" Transom	24" Transom	36" Transom
\$493.75	\$543.75	\$606.25	\$643.75

Transoms TWO SIDELITES

12" Transom	18" Transom	24" Transom	36" Transom
\$556.25	\$618.75	\$656.25	\$706.25



DOUBLE DOOR PRICING

Standard Silver

Clear Anodized Frame, 1/4" Clear Tempered Glass,
Push / Pull Bar, Grade 1 Closer, 4" Bottom Rail

\$1,713.75

Standard Bronze

Bronze Anodized Frame, 1/4" Clear Tempered Glass,
Push / Pull Bar, Grade 1 Closer, 4" Bottom Rail

\$1,820.00

Insulated Silver

Clear Anodized Frame, 1" Clear Insulated Glass,
Push / Pull Bar, Grade 1 Closer, 4" Bottom Rail

\$2,073.75

Insulated Bronze

Bronze Anodized Frame, 1" Clear Insulated Glass,
Push / Pull Bar, Grade 1 Closer, 4" Bottom Rail

\$2,145.00

Upgrades / Options

10" Bottom Rail for ADA Requirements.....	\$235.03
Panic Exit Device.....	\$735.41
Tinted Glass (Gray or Bronze).....	\$ 75.60
Dark Tinted Glass (Gray or Bronze).....	\$151.20
Low E Coating.....	\$222.50
Heavy Duty Closer.....	\$812.50
Double Key Cylinder.....	\$ 43.20
Tinted Sidelite/Transom.....	\$ 74.00 ^{ea} Low E..... \$85.00

Sidelites

12" Sidelite.....	\$695.00	18" Sidelite.....	\$725.00	24" Sidelite.....	\$745.00
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Transoms NO SIDELITES

12" Transom	18" Transom	24" Transom	36" Transom
\$556.25	\$606.25	\$631.25	\$718.75

Transoms ONE SIDELITE

12" Transom	18" Transom	24" Transom	36" Transom
\$618.75	\$656.25	\$706.25	\$737.50

Transoms TWO SIDELITES

12" Transom	18" Transom	24" Transom	36" Transom
\$656.25	\$706.25	\$743.75	\$781.25



In Stock
MODELS AVAILABLE

READY TO CRATE & SHIP

In Stock Silver Single Door

Clear Anodized Frame, 1" Clear Insulated Glass,
Push / Pull Bar, Grade 1 Closer, 10" Bottom Rail

\$1,332.05

In Stock Bronze Single Door

Bronze Anodized Frame, 1" Clear Insulated Glass,
Push / Pull Bar, Grade 1 Closer, 10" Bottom Rail

\$1,407.45

In Stock Silver Double Door

Clear Anodized Frame, 1" Clear Insulated Glass,
Push / Pull Bar, Grade 1 Closer, 10" Bottom Rail

\$2,308.78

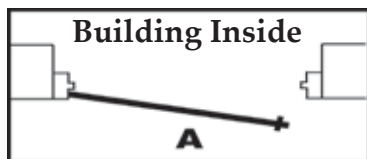
In Stock Bronze Double Door

Bronze Anodized Frame, 1" Clear Insulated Glass,
Push / Pull Bar, Grade 1 Closer, 10" Bottom Rail

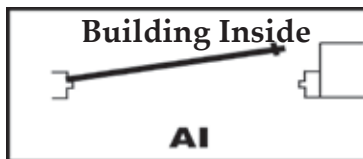
\$2,380.03



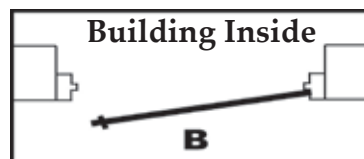
Single Door Swing OPTIONS AVAILABLE



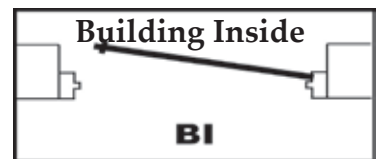
Building Outside



Building Outside

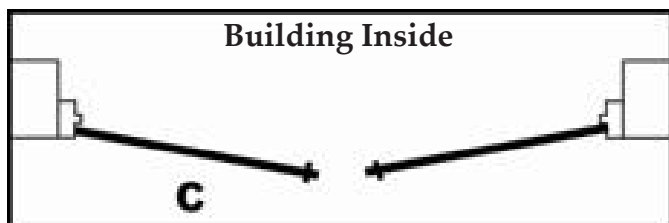


Building Outside

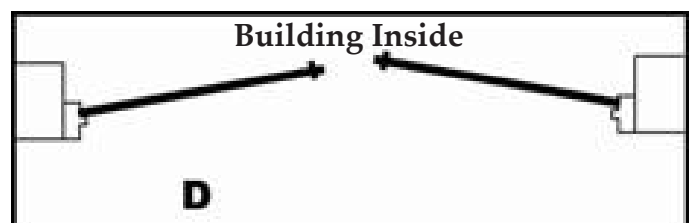


Building Outside

Double Door Swing OPTIONS AVAILABLE



Building Outside



Building Outside













15 E Cross



HDC Work Permit Staff Review

Property address: 313 E Cross

Date of Review: February 24, 2017

Date of Meeting: February 28, 2017

Proposed work: re-roof and gutter replacement

Materials: Atlas Pinnacle Lifetime shingles in desert color, seamless 5" gutters and downspouts with hidden brackets/screws, Lomanco 750s roof vents in brown, flat roof replacement

Staff review:

1. Staff advised no torch to be used for the flat roof install.
2. Staff verified that the gutter straps, if any, will go below the roof shingles.
3. Staff advised that if any new roof vents are needed that the roof vents need to be installed at the rear of the property and cannot be seen from the sidewalk.
4. Brown drip edge will be used.
5. Before proceeding with work, the applicant must seek the appropriate building department permits.

Relevant Secretary of the Interior's Standards:
#8, #10

Staff administratively approved the application on 2/23/17.

1. Use property for original purpose or provide compatible use with minimal alteration.

2. Do not destroy original character. Do not remove or alter historic material or features.

3. Do not imitate earlier styles.

4. Preserve significant changes acquired over time.

5. Preserve distinctive features.

6. Repair, don't replace. Replacements shall match original.

7. Clean building gently—no sandblasting.

8. Preserve archaeological resources.

9. Contemporary designs shall be compatible and shall not destroy significant original material.

10. New work shall be removable.



City of Ypsilanti
Historic District Commission
Work Permit Application

One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646 • Fax: (734) 483-7260
www.cityofypsilanti.com

Rec 21753 5
PADC-17-0012

OFFICE USE ONLY
Date Filed:

Meeting Date:
2/28
Action Item/Study Item

To complete this application:

1. Complete this form.
2. Attach the following documents:
 - a. Photo(s) showing all locations where work is proposed (can be emailed).
 - b. Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components—this includes information from catalogues, professional quotes, or websites (can be emailed).
 - c. Dimensioned drawings of any new construction or modifications to existing structures, including awnings and signs.
 - d. A sketch plan, if proposal is for work on the grounds and not just the main structure (e.g., installing a new driveway, fence, or shed). This can be drawn on a scaled copy of a mortgage survey.
3. Applications and materials must be received by the Building Department **no later** than 4pm on the Tuesday prior to the meeting.

INCOMPLETE APPLICATIONS WILL BE REJECTED

Property

Address

313 E. CROSS STREET YPSILANTI, MI 48190

Applicant

*If applicant is not owner of property, a written statement from the owner authorizing this application must be included.

Name

AMY MARZULLA & CHRIS FOLTS

Address

313 E. CROSS STREET

City

YPSILANTI

State

MI

Zip

48198

Phone / Fax

719-448-3334 (home) 919-818-7963 (Chris)

E-Mail

Chris@chrisfolts.com
a.marzulla@gmail.com

Contractor

Contractor Name & Contact Info

VICTORS ROOFING

734-397-4611 victor@victorsroofing.com

Type of work

- ☒ Roofing
☐ Window/Door Replacement

- ☐ Porches
☐ Sign
☐ Fence (or other sitework)

☒ Other

Complete Description of Proposed Work:

New roof and decking on entire house. Same color/style shingles to be used.

Replacing all gutters, same color, seamless.

Materials (for paint include color chips or samples with application):

Fiberglass Scotchgard system with Atlas Pinnacle Lifetime Shingles. Shingle color, flashing color, drip edge, roof vents all the same color and style.

Permit Application Fee (action items only)

The fee is \$35 for the first \$3,000 in construction cost plus \$5 for every additional \$3,000 of construction cost. An additional fee of \$50 applies to HDC work started without the applicable permit.

Construction Cost:

17,532

Permit fee:

\$35 + 25 = \$60

Signature

I hereby attest that the above information is accurate. I am authorized to and grant permission to the City of Ypsilanti staff to be on the subject property for the purposes of preparing staff reports and/or evaluating this application.

I further affirm that this property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.

Signature:

Amy Marzella Chris Folts

Date:

2/14/17

Print Name:

Amy Marzella Chris Folts

If you have questions about what the HDC generally permits or does not permit, or what they need to see in an application to render a decision, please call the office at 734-483-9646, email us at hintern@cityofypsilanti.com, or view our factsheets at cityofypsilanti.com/hdc.

All other necessary Building Permits must be acquired before beginning work.

VICTORS ROOFING

Built on Integrity



4952 DeWitt Road Suite 101
Canton, MI 48188
734.397.4611
VictorsRoofing.com

Owners Name Chris Folts

Date 1.10.16

Address 313 East Cross Stree

Cell Phone 919.818.7963

City Ypsilanti, MI 48198

Email chris@chrisfolts.com

-Choose a Roofing System listed below-

☐ Fiberglass System CertainTeed Landmark Lifetime	☒ Fiberglass SCOTCHGARD System Atlas Pinnacle Lifetime	☐ Rubber SCOTCHGARD System Atlas StormMaster Shake Lifetime
CertainTeed Landmark Shingles 50-Year Material Coverage 235 lbs. per square <i>20-25+ yrs</i> or _____ Ice and Water Shield Synthetic Roofing Underlayment Venting as Specified Back Page 12-Year NO-LEAK Guarantee	Atlas Pinnacle Lifetime Shingles HP Technology 1 ¼ Sweet Spot 50-Year Material Coverage SCOTCHGARD Protector 235 lbs. per square  VentedEdge for Intake Ventilation add \$ _____ Gold Standard Ice and Water Shield Integrity Synthetic Roofing Underlayment Self Sealing Starter Shingles Atlas SBS Hip and Ridge for Caps Venting as Specified on Back Page 12-Year NO-LEAK Guarantee <i>Cuppa</i>	StormMaster SBS Lifetime Shingles SBS Rubber – Class 4 Impact Resistance HP Technology 1 ¼ Sweet Spot 50-Year Material Coverage SCOTCHGARD Protector 250 lbs. per square  <i>30 yrs</i> VentedEdge for Intake Ventilation add \$ _____ Gold Standard Ice and Water Shield Integrity Synthetic Roofing Underlayment Self Sealing Starter Shingles Atlas SBS Hip and Ridge for Caps Venting as Specified on Back Page W-Style Open Metal Valleys add \$ _____ 12-Year NO-LEAK Guarantee
Cost: \$14,409 Flat roof included	Cost: \$15,122 Flat roof included	Cost: \$16,225 Flat roof included

☐ Premium Gutter Guards	☐ Seamless Gutter System	☐ Attic Insulation
Install Rigged Mechanically Fastened Clean Sweep. Self-Sealing Back Flange Invisible from the Ground. Low-Maintenance Product Increased amount of icicles is possible with Clean Sweep. This is normal operation.	Install 5" Seamless Gutters with Hidden one-piece bracket/screws Install 2x3 Downspouts Color to be <u>SLATE</u> 18-Month Workmanship Warranty 30-Year Materials Warranty	Install Blown-In Premium Fiberglass Insulation 4.5" R-13 _____ 10.5" R-30 _____ 17" R-49 _____ 20" R-60 _____
Add. Cost: \$ _____	Add. Cost: \$ <u>2,400</u>	Add. Cost: \$ _____

Roof Install Set Up

Obtain necessary building permits. Permit cost to be reflected on the final invoice. The job is located in the City of Ypsilanti
Provide Victors Roofing dump trucks for debris management.
Provide Victors Roofing tool trucks for installation equipment.
Prepare house to have roof removed by using tarps and boards to prevent damage. SPECIAL ATTENTION REQUIRED

Roof Surface Preparation

Strip away all old layers of roofing and haul away debris via Victors Roofing dump trucks.
Install all new decking on top of the old ship lap boards. New decking to be 7/16 SOB. Included in cost.
Replace all rotten or damaged 1x6 roof boards (not fascia). 30 ft. are free of charge. \$3/ft. after the first 30ft. _____ initials
Re-nail any loose roof boards to make deck flat and secure for shingles.
Install 1.5" BROWN - BLACK - WHITE aluminum drip edge on perimeter of house which protects fascia and directs water.

Waterproofing Underlayment

Install Ice and Water Shield 6 ft. up eaves to prevent snow and water infiltration.
Install Ice and Water Shield around chimneys, skylights, valleys, and walls.
Cover entire remaining roof decking with shingle underlayment.
Install 90-pound rolled roofing in all valleys to make a weak point stronger.

Shingle and Flashing Installation

Install starter shingle on all eaves and rakes.
Install shingles (as specified on front page) in DESERT color on the entire roof surface with 1.25" nails.
Install new (BROWN) - BLACK - GREY chimney flashing/counterflashing. Flashing to be saw cut into masonry.
Install new aluminum vent stack flashing which keeps water from entering at plumbing vent pipes.

Ventilation, Insulation, and Seamless Gutters

Install 14 Lomanco 750s roof vents in BROWN - BLACK - GREY
Install _____ Air Vent Shingle Vent II RidgeVent system for an additional cost of \$_____
Install _____ bathroom damper vents.

Caps and Clean-Up

Install hip and ridge cap shingles (as listed on front page) to finish hips and ridges, putting the final touch on the roof finish.
Thoroughly clean up entire job site. Use a blower to clean out any fine debris to clean out the gutters, downspouts, and driveways.
Run magnet roller system around house and driveway to pick up loose nails.

Notes and Additional Specs.

Any unforeseen/additional work will be discussed at the time of install and billed accordingly.

Flat roof replacement is included in the cost of the project.

Payment is due upon completion. Payment will be in the form of CHECK - CREDIT CARD - FINANCING

The FINE Print

Victors Roofing will remount dish antennas if needed, but the TV provider might need to realign for signal. Please remove any valuable/fragile items from walls or ceiling, Victors Roofing is not liable for these items. Victors Roofing is not liable for any drywall nail pops that might occur during a roof install. If replacement of joists or beams is necessary, there will be an additional charge for labor and materials. Victors Roofing shall not be liable for any damage to driveways.

Our Warranty

Your new roof is guaranteed by Victors Roofing to be Leak Free for a period of 12 years from the date of installation as outlined in our Limited Workmanship Warranty. This warranty provides at no cost to the homeowner, a roof inspection upon request.
The 12-Year NO-LEAK Guarantee is fully transferable at any time within the 12 year duration.

We propose to furnish material and labor - according to the above specifications for the sum of: \$17,532-
Above price reflects all promotions and coupons.

Victors Roofing Agent X [Signature] Homeowner X [Signature] Date of Acceptance: 2-7-2017

**Ypsilanti
Historic District Commission
Annual Election of Officers**

**2017
BALLOT**

(Check one choice for Chair and one choice for Vice Chair)

CHAIR

Alex Pettit []

Anne Stevenson []

**VICE
CHAIR**

Alex Pettit []

Hank Prebys []

Please submit ballot to staff by the end of the February 28 meeting.