

1. Historic District Commission Regular Meeting

Documents:

[00-HDC AUGUST 13, 2019 AGENDA.PDF](#)
[HDC AUGUST 13, 2019 FULL PACKET.PDF](#)

CITY OF YPSILANTI
Agenda
Historic District Commission
Tuesday, August 13, 2019 - 7:00 p.m.
Ypsilanti City Hall, 1 S Huron St.
Ypsilanti, MI 48197

The Ypsilanti Historic District Commission works to safeguard Ypsilanti's built heritage by guiding development and renovation within the Historic District. Enabled by federal, state, and local legislation, the HDC seeks to stabilize and improve property values, to promote preservation education, and to develop the Ypsilanti Historic District as a vital living area.

An audio recording of the meeting will be made for the purpose of assisting in the preparation of official minutes only. Once the official minutes are approved the audio recording will be destroyed.

I. CALL TO ORDER AND ROLL CALL

Mike Davis, Jr., Chair	P	A
Alex Pettit, Vice-Chair	P	A
Erika Lindsay	P	A
Hank Prebys	P	A
Ron Rupert	P	A
Jane Schmiedeke	P	A
Anne Stevenson	P	A

II. APPROVAL OF AGENDA

III. PUBLIC COMMENTS ON AGENDA ITEMS

IV. PUBLIC HEARING—none

V. BUSINESS SESSION

A. OLD BUSINESS- none

B. NEW BUSINESS

1. **Highland Cemetery nomination to the National Register of Historic Places. Presentation by Bob Christensen.**
2. **213 Pearl Exterior cladding, windows, and door**
3. **216 S Washington Window replacement**
4. **217 N River Addition and reroof**

C. STUDY ITEMS

1. **116-118 W Michigan Storefront**

D. ADMINISTRATIVE APPROVALS

1. **8 N River Roof**
2. **208 Olive Roof**

E. OTHER BUSINESS

1. **Property monitoring**
2. **Commissioner Comments**

VI. AUDIENCE PARTICIPATION ON NON-AGENDA ITEMS

VII. HOUSEKEEPING BUSINESS

8. **Approval of the minutes of July 23, 2019**

VIII. ADJOURNMENT

Secretary of the Interior's Standards for the Rehabilitation of Historic Structures

Developed by the U.S. Department of the Interior, the Standards provide a framework that guides protective decisions regarding historic structures. The Historic District Commission is required to cite applicable Standards with each formal decision it renders. It may also cite HDC Fact Sheets as part of its decision-making process.

1. Use property for original purpose or provide compatible use with minimal alteration.

A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

2. Do not destroy original character. Do not remove or alter historic material or features.

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

3. Do not imitate earlier styles.

Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

4. Preserve significant changes acquired over time.

Changes to a property that have acquired historic significance in their own right will be retained and preserved.

5. Preserve distinctive features.

Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

6. Repair, don't replace. Replacements shall match original.

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

7. Clean building gently—no sandblasting.

Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

8. Preserve archaeological resources.

Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

9. Contemporary designs shall be compatible and shall not destroy significant original material.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

10. New work shall be removable.

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

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July 23, 2019

RESOLVED BY THE HISTORIC DISTRICT COMMISSION OF THE CITY OF YPSILANTI:

WHEREAS, the City of Ypsilanti is a Certified Local Government (CLG), and is responsible for supporting the National Register of Historic Places (National Register) nomination process; and

WHEREAS, each commissioner has read the draft National Register nomination for Highland Cemetery, and visited the site;

NOW THEREFORE BE IT RESOLVED THAT, the Ypsilanti Historic District Commission finds that Highland Cemetery is significant under National Register Criteria A and C, and meets the National Register standards of integrity, as defined in National Register Bulletin 15.

BE IT FURTHER RESOLVED THAT, the Ypsilanti Historic District Commission supports listing Highland Cemetery in the National Register of Historic Places.

OFFERED BY: _____

SUPPORTED BY: _____

YES: NO: ABSENT: VOTE:



HDC Work Permit Staff Review

Property address: 213 Pearl

Property History: The property includes a commercial building that, based on City records, appears to have been erected in 1945 and substantially remodeled in 1963. The building is considered non-contributing to the National Register district.

Date of Application: May 1, 2019

Date of Review: August 6, 2019

Date of Meeting: August 13, 2019

Proposed work: Cleaning of doors, removal of T1-11 siding and patching concrete masonry below; replacement of door on west elevation; replace wood trim along parapet, replace five windows in the building, and repaint the exterior.

Materials: Concrete grout, metal doors, wood, and Valspar paint.

Staff review:

1. The applicant presented various proposals to rehabilitate the building as a study item on April 23, 2019.
2. The building includes three metal exterior doors with metal framing; each located on the façade, west elevation, and south elevation.
 - a. The west door will be replaced by a steel push-bar emergency exit door.
 - b. The façade door will be replaced at a later application.
3. The T1-11 siding of the building has been largely removed and the applicant proposes to fill the gaps in the concrete masonry where necessary.
4. The wood trim on the building's parapet will be replaced to match the existing material: 1x4x8 and 1x12x8 boards.
5. Wood trim surrounding doors and windows will be repaired/replaced in-kind as well.
6. Five windows are proposed to be replaced.

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- a. Extant windows are single-light wood-framed sashes. The façade window has been boarded over.
 - b. The new windows will be single-light fixed sashes with masonry (metal) frames.
7. The exterior will be painted in Valspar paint, with a base of "Soulful Gray" and trim in "Cosmic Blue. "

Recommended Motions:

Move to approve issue a certificate of appropriateness for the work at 213 Pearl for the work as specified in the application, dated May 1, 2019, including replacement of the door on the west elevation, five single-light windows, repair and replacement of trim, and painting in "Soulful Gray" and "Cosmic Blue."

Relevant Secretary of the Interior's Standards:

#9, #10

Prepared by:

Scott E. Slagor, Preservation Planner



RECEIVED
MAY 01 2019
CITY OF YPSILANTI
BUILDING DEPARTMENT

City of Ypsilanti
Historic District Commission
Work Permit Application

One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646 • Fax: (734) 483-7260
www.cityofypsilanti.com

R.25353
PHDC-19-0033

OFFICE USE ONLY

Date Filed:

Meeting Date:

Action Item/Study Item

To complete this application:

1. Complete this form.
2. Attach the following documents:
 - a. Photo(s) showing all locations where work is proposed (can be emailed).
 - b. Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components—this includes information from catalogues, professional quotes, or websites (can be emailed).
 - c. Dimensioned drawings of any new construction or modifications to existing structures, including awnings and signs.
 - d. A sketch plan, if proposal is for work on the grounds and not just the main structure (e.g., installing a new driveway, fence, or shed). This can be drawn on a scaled copy of a mortgage survey.
3. Applications and materials must be received by the Building Department **no later** than 4pm on the Tuesday one week prior to the meeting.

INCOMPLETE APPLICATIONS WILL NOT BE PLACED ON THE AGENDA

Property

Address

213 PEARL ST. Ypsilanti, MI 48197.

Applicant

**If applicant is not owner of property, a written statement from the owner authorizing this application must be included.*

Name

Berard T. Evans INC / The Bus stop Market

Address

213 Pearl Street

City

Ypsilanti

State

MI

Zip

48197

Phone / Fax

(734) 485-9530 / 485-9531

E-Mail

GERALDTEVANS2@gmail.com

Contractor

Contractor Name & Contact Info

Crawford Door (734) 483-4563 Brett Redwood

Type of work

- ☒ Roofing
☒ Window/Door Replacement

- ☐ Porches
☒ Sign
☐ Fence (or other sitework)

- ☒ Painting
☒ Other
☐ Application Amendment

Complete Description of Proposed Work:

All DOORS and frames will be chemically cleaned, phosphatized, jamb and floor anchors, and frame elevations installation of all glass and builders hardware. All frames and walls, masonry walls can be filled with grout where practical. SIDE DOOR REPLACEMENT IS A REINFORCED STEEL PUSH BAR EMERGENCY EXIT DOOR!! WOOD REPLACEMENT AT TOP of Building, same material that was taken 1x4x8 and 1x12x8... SAME with front of Building and BACK ENTRANCE AS WELL. Windows will be replaced 5 WINDOWS.

Materials (for paint include color chips or samples with application):

Permit Application Fee (action items only)

The fee is \$35 for the first \$3,000 in construction cost plus \$5 for every additional \$3,000 of construction cost. There is a flat fee of \$35 for painting only. *An additional fee of \$50 applies to HDC work started without the applicable permit.*

Construction Cost:

\$ 3,000.

Permit fee:

\$35 + = 35

Signature

I hereby attest that the above information is accurate. I am authorized to and grant permission to the City of Ypsilanti staff to be on the subject property for the purposes of preparing staff reports and/or evaluating this application.

I further affirm that this property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.

Signature:

Ferald T. Evans

Date:

5/1/2014

Print Name:

Ferald T. Evans

If you have questions about what the HDC generally permits or does not permit, or what they need to see in an application to render a decision, please call the office at 734-483-9646 or view our factsheets online at cityofypsilanti.com/hd.

All other necessary approvals and permits must be acquired before beginning work.

PHDC-19-0033

BRETT REDWOOD

ORD DOOR SALES
PSILANTI, INC.

• COMMERCE • MONROE

3-4563 • FAX: 734-483-7916
AN AVE. • YPSILANTI, MI 48198
t@crawforddoorpsi.com

6004-1C
Ashen Grey

6004-1B
Soulful Grey

6004-1A
Snowed In

Crawford Door Sales

www.crawforddoorpsi.com

334 E. Michigan Ave.

Ypsilanti, MI 48198

734-483-4563 Fax 734-483-7916

Date

4/10/19.

al Curtis.

Address

734-858-9943

MDSE. SOLD		MDSE. RET'D		RECD. ON ACCT. - NOTE	MISC'L	PAID OUT
CASH	CHARGE	CASH	CREDIT			
QUAN.	NUMBER	ARTICLES		PRICE	AMOUNT	
1	3070	Door slab.			285.00	
1	40x86"	Welded frame.			160.00	
6		Masonry Anchors.			15.00	
1	Set	NRP Hinges.			23.00	
1		H.D. closer			145.00	
1		H.D. Panic Bar			145.00	
1		Thumb lever				
1		Cylinder.				
	1275.00	Labor approx \$		500.00		
		Thank You		TOTAL		

All claims and returned goods MUST be accompanied by this bill.

1040

6004-1

4008-10

**FORD DOOR SALES
PSILANTI, INC.**

83-4563 • FAX: 734-483-7916
 AN AVE. • YPSILANTI, MI 48198
 ett@crawforddoorspsi.com

734-483-4563 Fax 734-483-7916

4/10/19.

Sal Curtis.

Address

734-858-9943

MDSE. SOLD				MDSE. RET'D				RECD. ON ACCT. - NOTE		MISC'L		PAID OUT	
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1048 Salesman

Received By



BRETT REDWOOD

**CRAWFORD DOOR SALES
OF YPSILANTI, INC.**

YPSILANTI • COMMERCE • MONROE

OFFICE: 734-483-4563 • FAX: 734-483-7916
334 EAST MICHIGAN AVE. • YPSILANTI, MI 48198
EMAIL: brett@crawforddoorpsi.com



Crawford Door Sales

www.crawforddoorspsi.com

334 E. Michigan Ave.

Ypsilanti, MI 48198

734-483-4563 Fax 734-483-7916

[illegible]





Repair
Door
Wood



Fill in
cracks
point





ATTACHMENT

City of Ypsilanti
Historic Commission
Work Permit Application

5/19/19

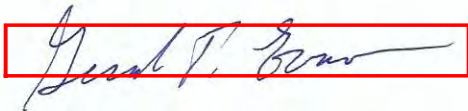
Application dated May 1, 2019, Property Address 213 Pearl Street, Ypsilanti, MI, 48199

DESCRIPTION OF WORK:

The scope of the current work will be limited to the side and rear as requested by the city code enforcement.

The front will be addressed at a future time as repairs are made to interior.

- 1) All T-111 to be stripped on these two sides
- 2) All rotten wood trim to be removed and replaced. This includes but not limited to windows, soffit, doors. The same materials as removed to be used for replacement, ie. 1x4, 1x8, 1x12 solid pine.
- 3) The side door will be replaced by Crawford Door (photo enclosed of proposed steel door)
- 4) The cement block is to be repaired and filled as needed
- 5) The back and side will be painted in the submitted colors. The wood trim_____. The blocks_____.

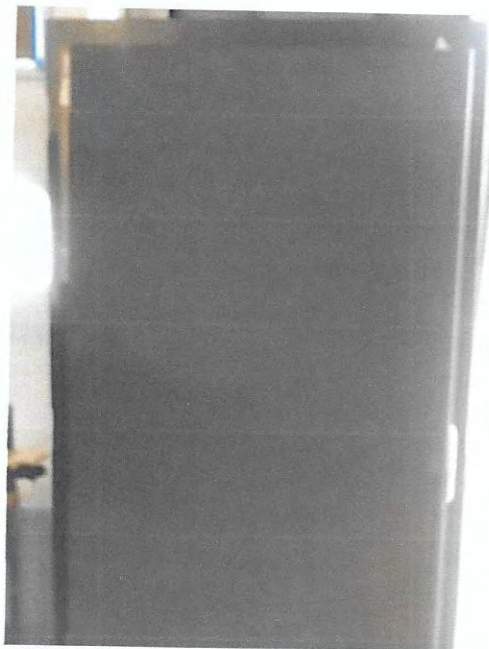


Gerald T. Evans

Ps. The same colors will be carried to front when that application is made

Top (Frame)







C&C Doors and Frames

*Crawford Door
Windows*

4653 Leston St. #703
Dallas, TX. 75247
www.ccddoorsandframes.com
Tel: 214-774-9715
Fax: 214-774-9664

5/7

GENERAL INFORMATION

- 1.) Material will be fabricated in accordance with these drawings only after receipt of architect approval and approved hardware schedule with all necessary hardware templates.
- 2.) Doors and frames will be reinforced for surface mounted hardware. Gauges of reinforcements will meet or exceed the gauges as recommended by The Steel Door Institute. Drilling and tapping for surface applied hardware will be done by others. Doors and frames will be reinforced and prepared for mortise hardware with holes drilled and tapped at factory except trim mounting holes. All anchor hinges, concealed holders, closers and floor type pivots will be mortised and reinforced for. However, drilling, tapping and notching of face of door to establish handing must be done in the field.
- 3.) All doors and frames will be chemically cleaned, phosphatized and given one coat of baked on shop primer.
- 4.) Refer to detail sheets for jamb and floor anchors, jamb profiles and frame elevations.
- 5.) Furnishing and installation of all glass and builders hardware to be by others unless otherwise specified.
- 6.) Strike jambs prepared for and furnished with three rubber silencers for field installation. Double headers are prepared for two rubber silencers.
- 7.) All frames in masonry walls can be filled with grout where practical. Note: It is recommended that frames be backcoated in the field by general contractor with bituminous water resistant paint when saline materials or additives are used in the mortar to accelerate the setting of the mortar.
- 8.) Columns on schedule sheets referring to hardware are for distributor future use only and may be determined after receipt of approved hardware schedule.
- 9.) Hardware locations detailed on these drawings are to this manufacturer's standard locations and are for the standard type of hardware. Prior approval and acceptance for preparation of non standard hardware and at non-standard locations must be secured from this manufacturer before fabrication is started.
- 10.) It shall be the responsibility of the installer to verify that the marked item (door and/or frame components) is accurate and correct for the opening in which it is intended as specified on the architectural drawings and/or information provided to C&C Doors and Frames at the time of manufacture. **INSTALLATION CONSTITUTES ACCEPTANCE.** C&C Doors and Frames shall not be held liable for a frame and/or door that have been improperly installed.

GENERAL SYMBOLS AND ABBREVIATIONS NOT SHOWN ELSEWHERE

ABO = Aluminum By Others
BJ = Blank Jamb
BL = Borrow Lite
CL = Closer Reinforcement
DA = Double Acting

DL = Dead Lock
UNIT = Unit Lock
FB = ANSI Flush Bolt
SL = Side Lite
TL = Transom Lite

DISCLAIMER: ALL DETAILS AND INFORMATION CONTAINED IN THESE SHOP DRAWINGS ARE ACCURATE AT THE TIME OF PRINTING. HOWEVER, C&C DOORS AND FRAMES RESERVES THE RIGHT TO MAKE CHANGES TO ALL ITS PRODUCTS AND MANUFACTURING PROCEDURES.



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FRAMES SPECIFICATION

FRAMES

Shall be fabricated from 16ga hot dipped galvanized steel for 1-3/4" doors and borrow lites. Frames shall be designed with integral stop and trim.

MASONRY FRAMES

Shall be equipped with one welded in floor anchor in each jamb. Three steel lock in or welded in anchor shall also be provided for each jamb. Anchors shall be of the proper type for the particular construction involved (ie. wood stud, masonry, concrete, or steel stud). Knocked down frames shall have self-aligning tabs and slots for locked corners and shall be reinforced with 18ga reinforcements.

OPTION: Frame corners shall be mitered and arc welded and ground smooth on frame faces.

DRYWALL FRAMES

Shall be designed for installation after the wall is erected. Hinge and strike jamb shall be supplied with steel anchors which are to be screw-adjusted after the frame is installed and shall be equipped with welded-in sill anchors.

HARDWARE PREPARATION

Frame shall be mortised, reinforced, drilled and tapped to receive specified mortise hardware and reinforced only for specified surface hardware. Drilling and tapping for surface hardware shall be done in the field. Plaster guards shall be installed on all applicable hardware cutouts in the frames. Strike jambs shall be prepared for three rubber silencers. Hardware reinforcing shall comply with ANSI 250.8 (SDI100) and ANSI 250.6.

HARDWARE LOCATION

Unless otherwise specified, the location of strikes, hinges, closer reinforcements, and roller latches shall conform to the recommendations of the Door and Hardware Institute and ANSI 250.8 (SDI-100).

LABELED FRAMES

When noted or required, provide frames with Warnock Hershey, Inc. (VHI) labels for the class of opening indicated. Construction details and hardware application requirements of the certifying authority shall take precedence over project details or specifications.

PRIME PAINTED FRAMES

All exposed surfaces shall be cleaned, treated with and given one baked-on shop coat of gray rust inhibitive primer.

STORAGE

Frames shall be stored in an upright position under cover on the building site on wood sills or floors in a manner that will prevent rust and damage. Avoid creating a humidity chamber by using a plastic or canvas shelter and not venting the area covered.

INSTALLATIONS OF FRAMES

Steel frames shall be installed by the General Contractor. Installation shall be plumb, straight and true; rigidly secured in place and properly braced. The frame installer shall be responsible for the squareness of the frame in place. Spreaders on welded frames to be removed prior to installation. Installation shall comply with ANSI 250.11 / SDI 122 / HMMA 840. Installation of units constitutes acceptance of said opening by installer/contractor.

Contractor shall furnish and install steel doors / frames as manufactured by C&C Doors and Frames in all openings except as otherwise provided in specifications.

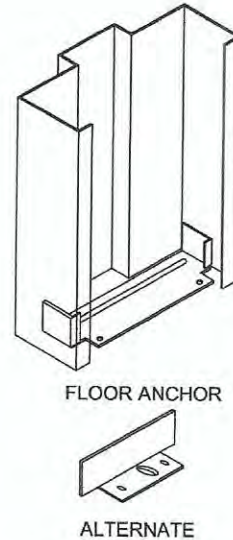
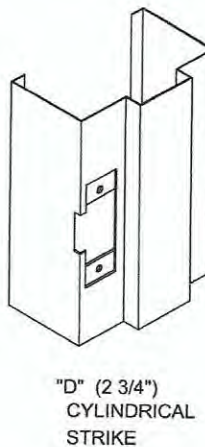
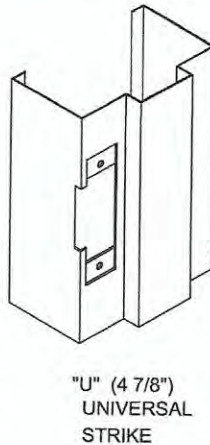
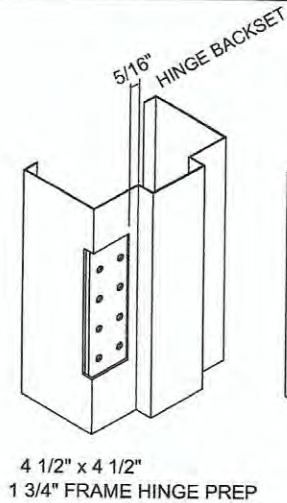
C&C Doors and Frames reserves the right to make changes in either price, designs, or specifications and to make improvements to its products without prior notice and without incurring any obligation to incorporate such changes in products previously manufactured.



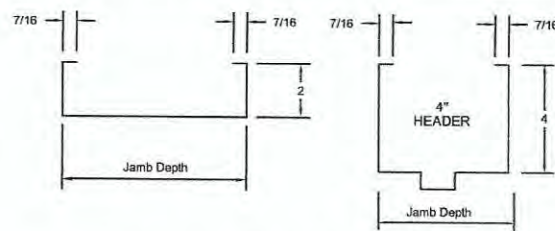
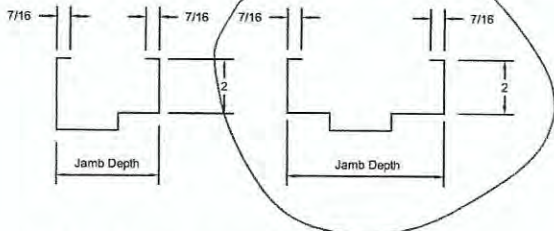
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MASONRY 1-3/4" FRAMES

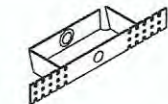


FRAME PREPARATIONS

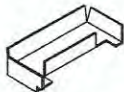


FRAME PROFILES

For Jamb Depths See Schedule



WOOD STUD ANCHOR
4 3/4", 5 3/4", 6 1/4", 6 3/4"
7 1/8", 7 1/4", 7 3/4", 8 1/4"
8 3/4", 9 1/4", 10 1/4"



CHANNEL STEEL STUD ANCHOR
3 3/4", 4 3/4", 5 3/4"



STRAP ANCHOR
18 GA. MAT'L
WELD IN, ANY PROFILE

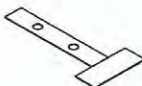


P&D 3/8" BOLT
(OPTIONAL)
SPECIFY "PDW"

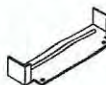
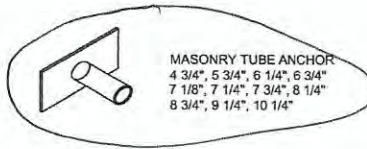
ANCHORS



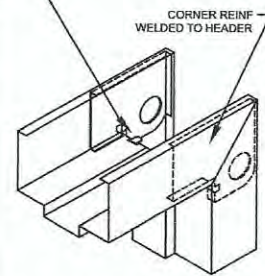
WIRE MASONRY ANCHOR
4 3/4", 5 3/4", 6 1/4", 6 3/4"
7 1/8", 7 1/4", 7 3/4", 8 1/4"
8 3/4", 9 1/4", 10 1/4"



MASONRY STRAP ANCHOR
4 3/4", 5 3/4", 6 1/4", 6 3/4"
7 1/8", 7 1/4", 7 3/4", 8 1/4"
8 3/4", 9 1/4", 10 1/4"



BENT TAB
NOTE: TABS MUST BE BENT OUTWARD



TYPICAL MITERED CORNER

WELDED MITER CORNERS OPTIONAL



C&C Doors and Frames

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www.ccdorsandframes.com
Tel: 214-774-9715
Fax: 214-774-9664

ANCHORS/WALL CONDITIONS

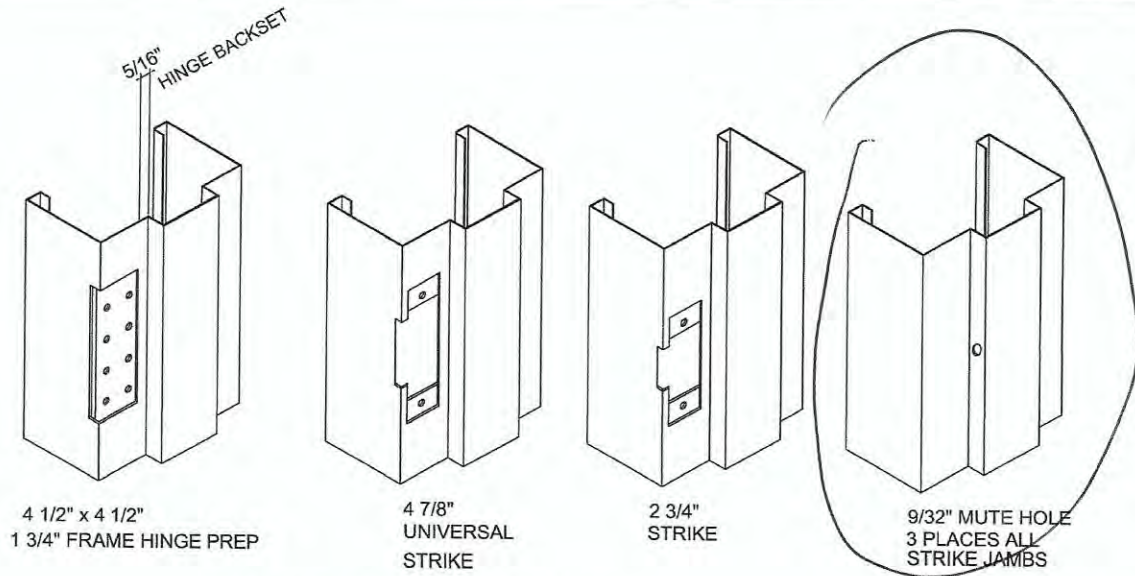
W	P
WIRE MASONRY ANCHOR 3" THRU 8 3/4" (STANDARD) SPECIFY "M"	MASONRY TUBE ANCHOR 4 3/4", 5 3/4", 6 1/4", 6 3/4" 7 1/8", 7 1/4", 7 3/4", 8 1/4" 8 3/4", 9 1/4", 10 1/4"
WS	AWS
WOOD STUD ANCHOR 3 3/4", 4 3/4", 5 3/4", 6 1/4" 6 3/4", 7 3/4", 8 1/4", 8 3/4" (STANDARD) SPECIFY "S"	ADJUSTABLE WOOD STUD ANCHOR 5 3/4", 6 1/4", 6 3/4", 7 1/4" 7 3/4", 8 1/4", 8 3/4" (OPTIONAL)
T	CO SNAP IN COW WELD IN
MASONRY ANCHOR UNDER 9 1/2" (OPTIONAL) SPECIFY "T"	COMPLETED OPENING ANCHOR 5 3/4", 6 3/4" (7 3/4", 8 3/4" WELD IN) SPECIFY "CO"/"COW" (weld in)
CW WELD IN NOTE: FINISHED WALL SHOWN	C SNAP IN CW WELD IN NOTE: FINISHED WALL SHOWN
CHANNEL TYPE ANCHOR 3 3/4", 4 3/4", 5 3/4" (STANDARD) SPECIFY "CW"	CHANNEL STEEL STUD ANCHOR 3 3/4", 4 3/4", 5 3/4" (STANDARD) SPECIFY "C" OR "CW" ALL OTHER DEPTHS WELD IN
PD12 NOTE: FINISHED WALL SHOWN #12 WOOD SCREW	PDW SNAP IN PDW WELD IN 3/8" EMA BOLT
OPTIONAL WELD ANCHOR FOR 3/8" EMA BOLT PUNCH IN DRAW	LAG COMPLETED OPENING ANCHOR 5 3/4", 6 3/4" (7 3/4", 8 3/4" WELD IN) (OPTION) SPECIFY "LP"/"LWS" (weld in)



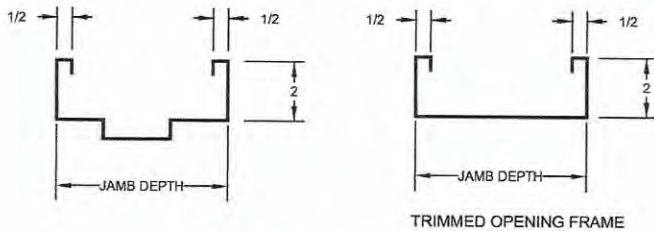
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DRYWALL 1-3/4" FRAMES



FRAME PREPARATIONS

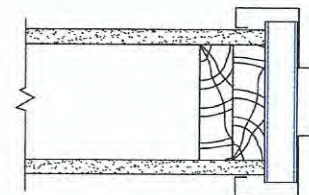
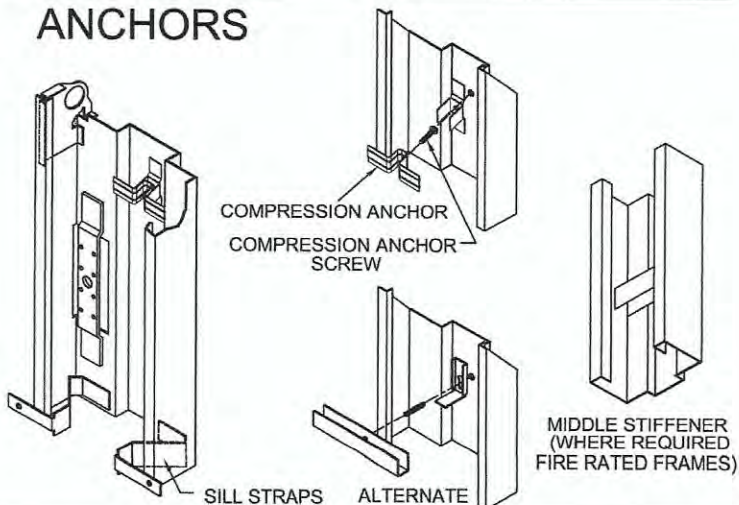


STANDARD 1 3/4" FRAME
NOTE: SOFFIT SIZE INCREASES WITH FRAME DEPTH.

FRAME PROFILES

For Jamb Depths See Schedule

ANCHORS



TYPICAL USAGE

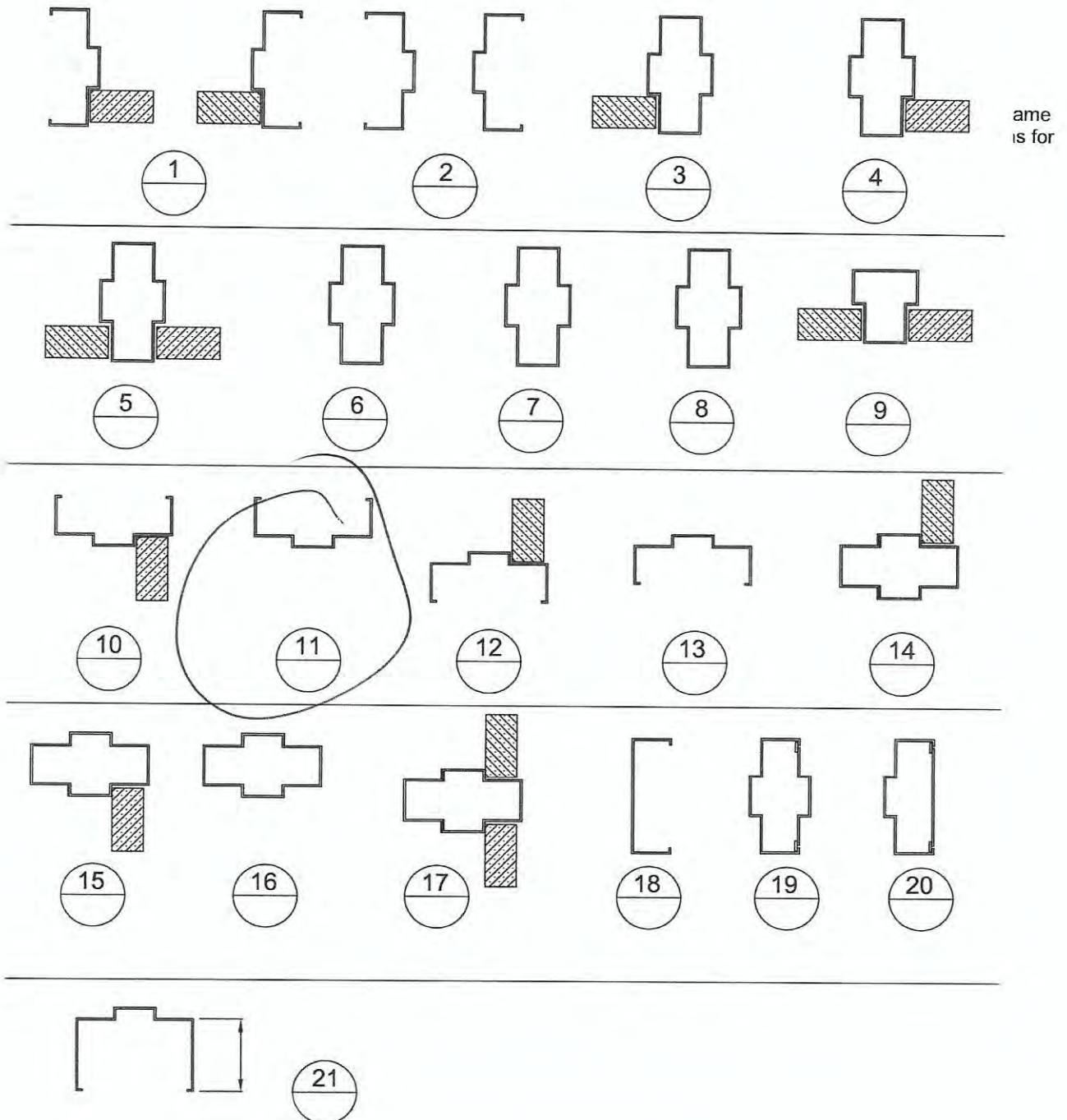
WOOD STUD APPLICATION SHOWN
ALSO APPLICABLE WITH:
LAMINATED DRYWALL
STEEL STUD WITH 1 & 2 PLY DRYWALL
NAILABLE STUD
AND PRECAST CONCRETE.



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FRAME SECTIONS



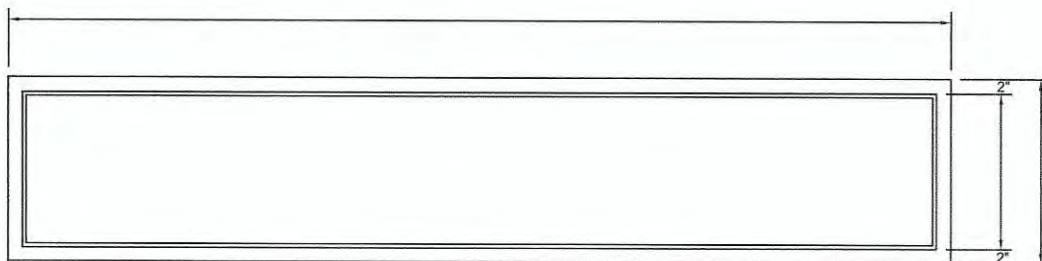
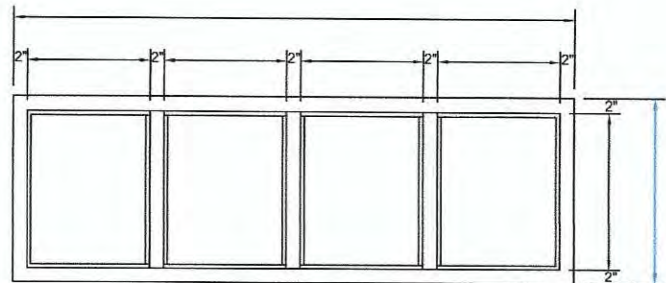
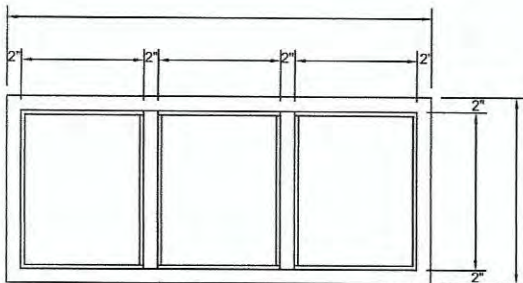
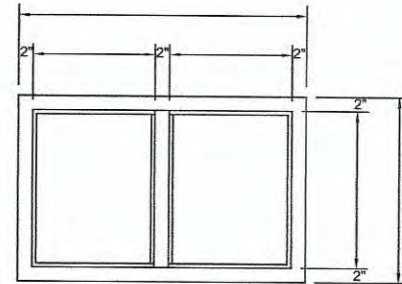
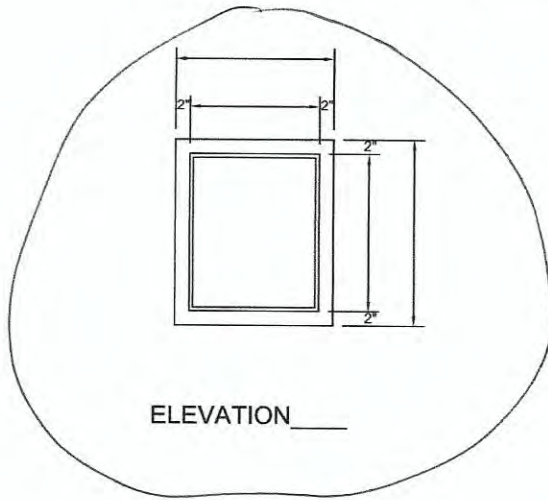
See Frame Elevations for corresponding details.

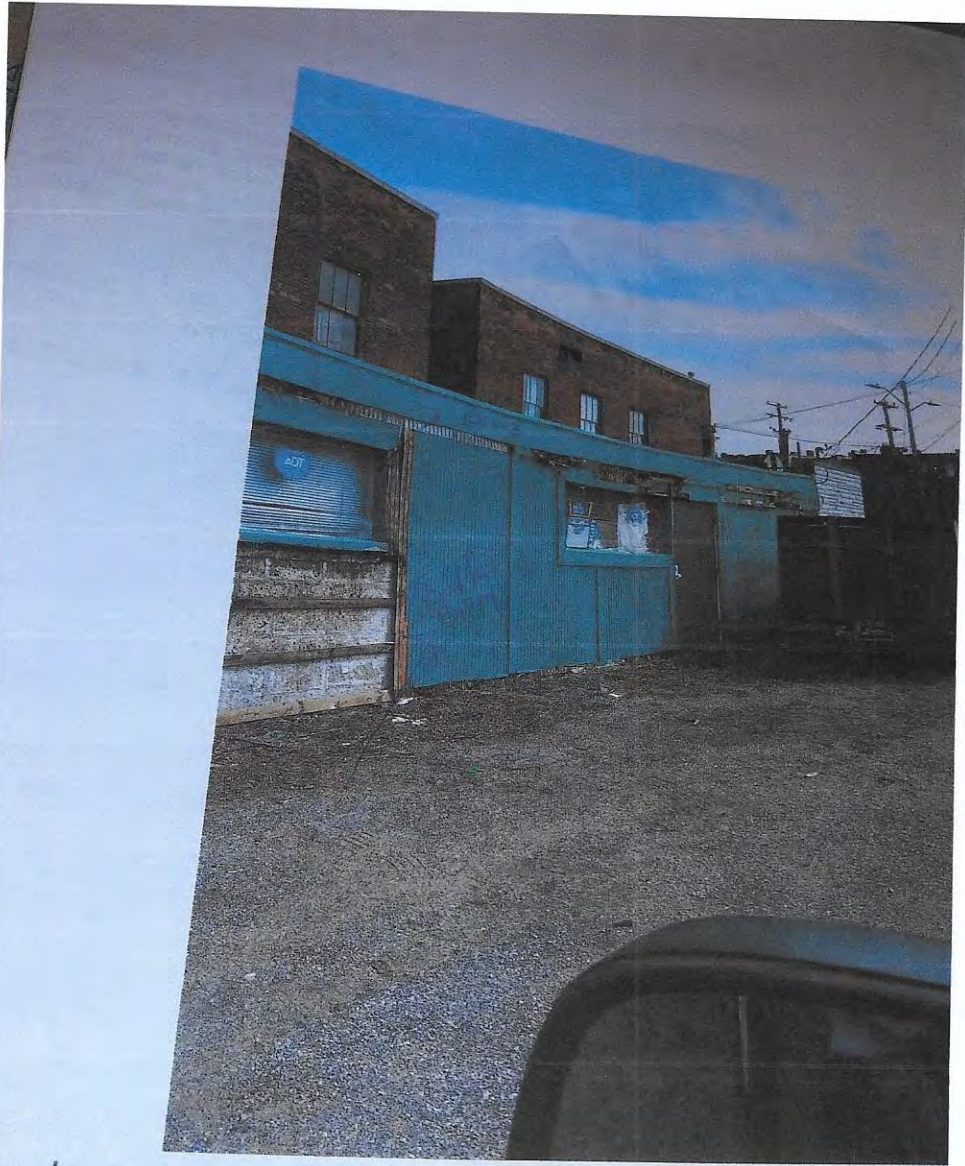


C&C Doors and Frames

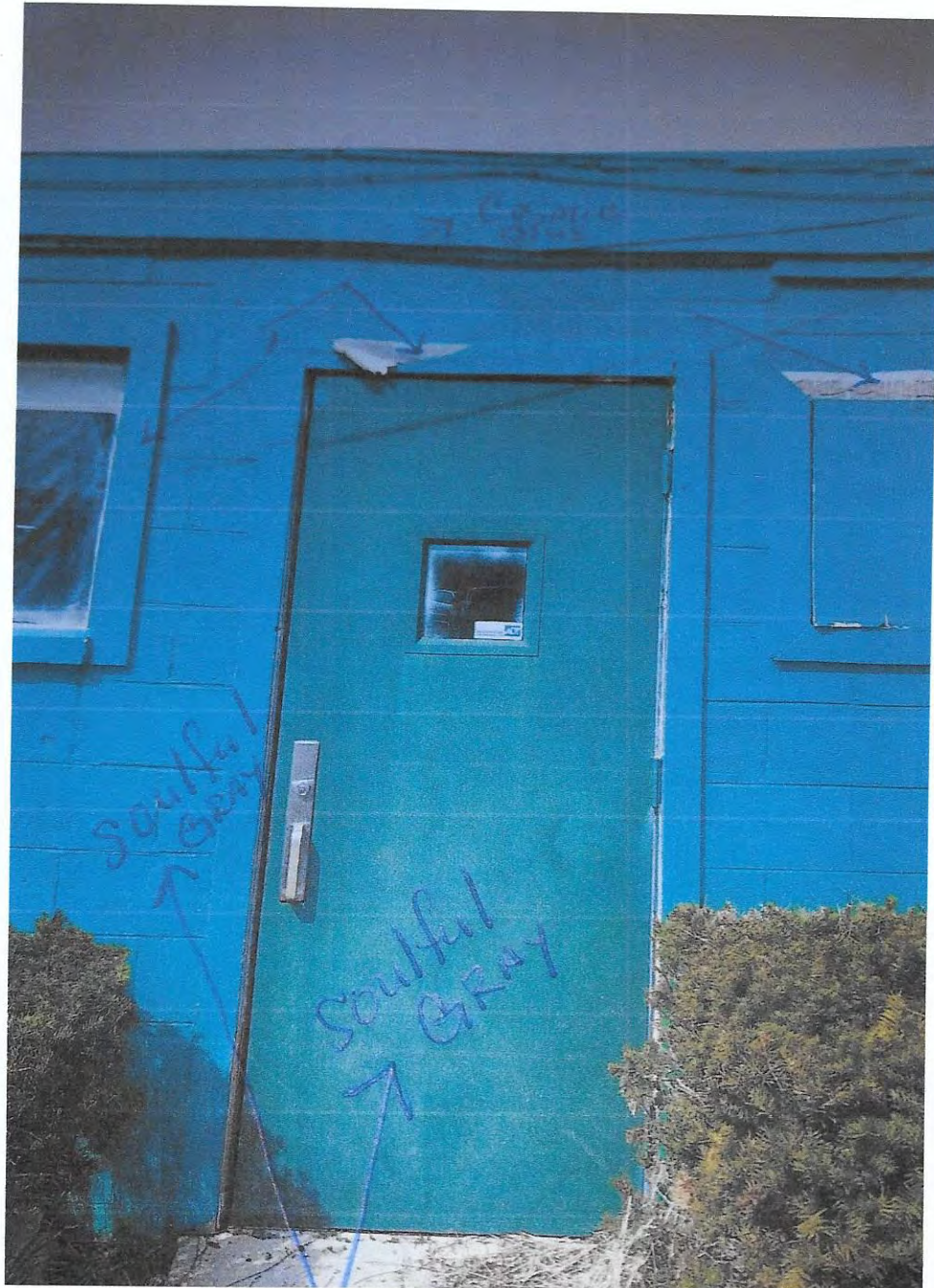
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BORROWED LITE ELEVATIONS





All TRIM Blue
All other GRAY





Facing southeast to facade and west elevation.



Facing southwest to facade and east elevation.



Facing northeast to west and south elevations.



Facing northwest to south and east elevations.



HDC Work Permit Staff Review

Property address: 216 S. Washington

Property History: The property includes a ca. 1910 Tudor Revival-style house that is contributing to the historic district. Staff did not identify an architect for the building, however its grandeur and unique features indicate it may have been architect designed.

The building was erected for William L. and Alice Kishlar. Mr. Kishlar was a partner in a large dry goods store downtown at Congress and Huron Streets.ⁱ

In 1928, the Quirk family moved into the house: Daniel Trowbridge Quirk and Jeanne Hastings Grover Quirk, both prominent figures in Ypsilanti.ⁱⁱ Daniel Quirk (1903-1969) was an executive at the family paper mill, Peninsular Paper Company. He was also active politically, serving as mayor of Ypsilanti from 1947-1952 and as a member of the school board for eight years.ⁱⁱⁱ Jeane Hastings Grover Quirk (1904-1996) was a leader in local non-profit organizations. She was heavily involved in the Red Cross during World War II; founded the Ypsilanti and Ann Arbor Thrift Shops; the auxiliary boards for Beyer Hospital and the Gilbert Residence; and was a founding member of the Ann Arbor Women's Club.^{iv} The Quirks remained at 216 S Washington until 1969.^v

Date of Application: August 5, 2019

Date of Review: August 6, 2019

Date of Meeting: August 13, 2019

Proposed work: Replacement of 11 windows.

Materials: Renewal by Andersen windows.

Staff review:

1. The applicant first presented this proposal as an action item at the May 14, 2019 meeting.
 - a. The application was amended to include replacement of only two non-historic windows

1. Use property for original purpose or provide compatible use with minimal alteration.

2. Do not destroy original character. Do not remove or alter historic material or features.

3. Do not imitate earlier styles.

4. Preserve significant changes acquired over time.

5. Preserve distinctive features.

6. Repair, don't replace. Replacements shall match original.

7. Clean building gently—no sandblasting.

8. Preserve archaeological resources.

9. Contemporary designs shall be compatible and shall not destroy significant original material.

10. New work shall be removable.

on the north elevation so Commissioners could see how the materials and glass area would compare to the originals.

- b. The applicant returned as a study item on July 23, 2019. The HDC felt the windows that have been changed look appropriate, but expressed some concern for replacing the remaining 11 windows. See the July 23 minutes for the full discussion.
2. The applicant proposes replacing 11 original wood windows with Renewal by Anderson wood windows in "Red Rock" brown.
3. Most windows are to be replaced in-kind with double-hung sashes and no change to the grille pattern.
4. The exception is replacement of the two casement folding windows on the south bay of the façade first story (lower left). The applicant proposes to replace these with a pair of double casements, thereby retaining the same grille pattern but different opening mechanism.
5. Staff spoke with the owners at the time of the original application in May. The owners cited energy savings as well as deterioration as the primary motivation for replacement.
 - a. The submission packet includes photos of damage and deterioration to windows
 - i. Many of the damaged windows appear to be reparable.
 - b. Applicant believes that the cost of repairing the windows would be unaffordable.
 - c. Staff provided the applicant with information on home weatherization and window repair.

Recommended Motions:

Move to approve and issue a certificate of appropriateness for work at 216 S Washington for the replacement of 11 windows with Renewal by Anderson in Red Rock brown, with the condition that glass area and grille patterns remain identical to the original windows.

Relevant Secretary of the Interior's Standards:

#6 #9

Move to deny the proposed work at 216 S Washington, as the facade windows are a distinctive element of the house and should be repaired rather than replaced.

Relevant Secretary of the Interior's Standards:

#2 #5

Prepared by:

Scott E. Slagor, Preservation Planner

ⁱ "William Kishlar, Lamar," Kishlar, Lamar, Family Collection, Rudisill-Fletcher-White Archives, Ypsilanti Historical Society.

ⁱⁱ R. L. Polk, *Polk's Ann Arbor, Ypsilanti, and Washtenaw County Directory 1928* (Detroit: R. L. Polk & Co.).

ⁱⁱⁱ Daniel T. Quirk Obituary, October 22, 1969, Quirk Family Photos," Family Collections, Rudisill-Fletcher-White Archives, Ypsilanti Historical Society.

^{iv} *Ann Arbor News* "Ypsilanti Matron Quirk Dies at Age of 91," January 16, 1996.

^v *Ann Arbor News* "Ex Mayor D. T. Quirk, Dies at 66," October 29, 1969.



RECEIVED

AUG 05 2019

CITY OF YPSILANTI
BUILDING DEPARTMENT

**City of Ypsilanti
Historic District Commission
Work Permit Application**

One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646 • Fax: (734) 483-7260
www.cityofypsilanti.com

OFFICE USE ONLY

Date Filed:

Meeting Date:

Action Item/Study Item

To complete this application:

1. Complete this form.
2. Attach the following documents:
 - a. Photo(s) showing all locations where work is proposed (can be emailed).
 - b. Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components—this includes information from catalogues, professional quotes, or websites (can be emailed).
 - c. Dimensioned drawings of any new construction or modifications to existing structures, including awnings and signs.
 - d. A sketch plan, if proposal is for work on the grounds and not just the main structure (e.g., installing a new driveway, fence, or shed). This can be drawn on a scaled copy of a mortgage survey.
3. Applications and materials must be received by the Building Department **no later** than 4pm on the Tuesday prior to the meeting.

INCOMPLETE APPLICATIONS WILL BE REJECTED

Property

Address

37720 Amrhein 216 S Washington

Applicant

*If applicant is not owner of property, a written statement from the owner authorizing this application must be included.

Name

Brett Mahaffey

Address

37720 Amrhein

City

Livonia

State

MI

Zip

48150

Phone / Fax

734-237-1065

E-Mail

Brett.Mahaffey@AndersenCorp.com

Contractor

Contractor Name & Contact Info

Renewal by Andersen (Brett Mahaffey) 734-237-1065

Type of work

☐ Roofing

☒ Window/Door
Replacement

☒ Porches

☐ Sign

☐ Fence (or other sitework)

☐ Other

Complete Description of Proposed Work:

Replacing 11 windows, matching style (double hung), and grille configuration in 11 windows previously discussed at study meeting in July.

301, 302 - Attic Room - 3w x 2h in both sashes (1:1)

201, 202, 206, 207 - 3w x 2h in top sashes only, no grilles in bottom sashes (2:3)

203, 204, 205 - 3w x 2h in both sashes (1:1)

101, 102 (lower right front of house) - 3w x 2h in top sashes only (2:3)

Unit 105, 106 in living room that are currently hinged windows, the homeowner would like to keep the proposal of installing 2 - double casements. It was brought up to look into having these windows "rebuilt". If the windows are "rebuilt" and storm windows are installed on the exterior (like existing, minus the one that is missing), the windows would not be opened. This would give the same look as having two double casements with a 2w x ~~3h~~ grille pattern in each sash when closed.
4h

Materials (for paint include color chips or samples with application):

Renewal by Andersen Windows
Exterior color: Red Rock

Permit Application Fee (action items only)

The fee is \$35 for the first \$3,000 in construction cost plus \$5 for every additional \$3,000 of construction cost.
An additional fee of \$50 applies to HDC work started without the applicable permit.

Construction Cost:

\$ 25,577.00

Permit fee:

\$35 + **\$ 40.00** = **\$ 75.00**

Signature

I hereby attest that the above information is accurate. I am authorized to and grant permission to the City of Ypsilanti staff to be on the subject property for the purposes of preparing staff reports and/or evaluating this application.

I further affirm that this property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.

Signature:



Date:

8/2/2019

Print Name:

Brett Mahaffey

If you have questions about what the HDC generally permits or does not permit, or what they need to see in an application to render a decision, please call the office at 734-483-9646, email us at hdcintern@cityofypsilanti.com, or view our factsheets at cityofypsilanti.com/hdc.

All other necessary Building Permits must be acquired before beginning work.

PHDC-19-0080



216 S Washington
Santini

August 13th, 2019 meeting





- 301, 302 – Attic room
- Matching 1:1 existing
- Grilles - 3w x 2h in top sash

- 201, 202 – Bed room 1
- Matching 2:3 existing
- Matching grilles in windows
 - Grilles 3w x 2h top sash
 - No grilles in bottom sash

- 206, 207 – Bed room 2
- Matching 2:3 existing
- Matching grilles in windows
 - Grilles 3w x 2h top sash
 - No grilles in bottom sash

- 101, 102 – Dining Room
- Matching 2:3 existing
- Matching grilles in windows
 - Grilles 3w x 2h top sash
 - No grilles in bottom sash

- 105, 106 – Living Room
- Changing to two double casements that will mimic the current look from the outside when the windows are closed
- Matching grilles – 2w x 5h in all four sashes



- Left side of house
- No changes to these units



- Right side of house
- 203, 204, 205 – Bed Room 1
- Matching 1:1 existing
- Grilles - 3w x 2h in top sash



- 103, 104 – Kitchen windows
- Not pictured outside
- See pictures of inside





- 105, 106 – Living Room
- Storm window covering two windows shattered and is missing
- Currently 4 hinged windows
- Locks are missing at the bottom making windows secure
- Windows are on 2 hinges and open inswing (see next page for picture of hinge/center lock)



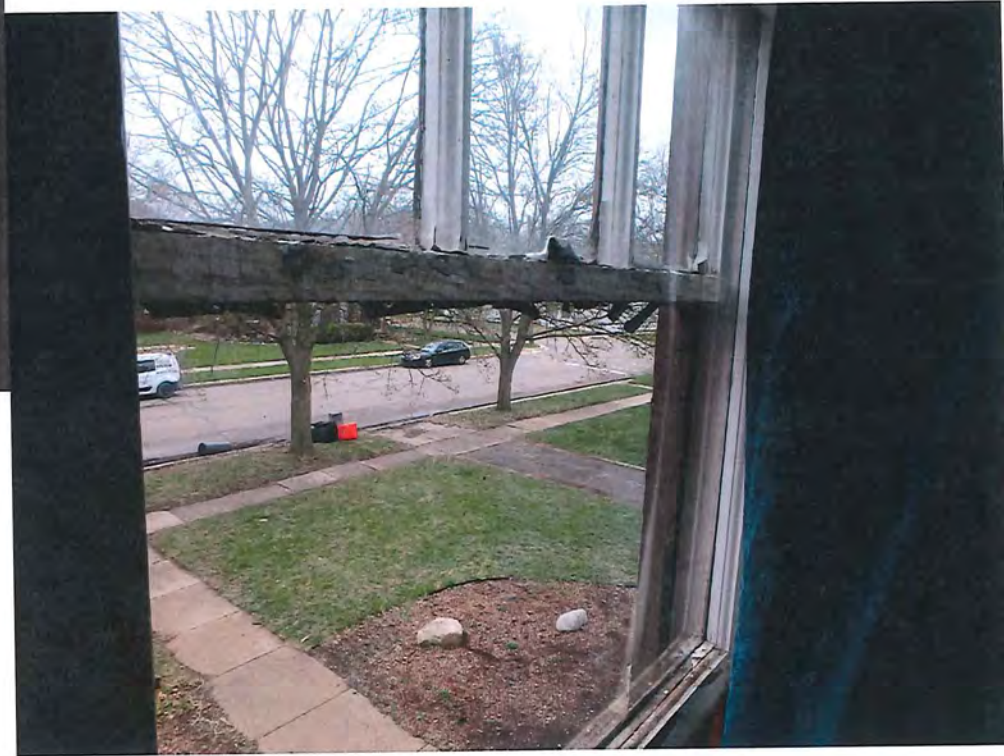
- Proposing to change to two double casement windows to match look
- Grilles would match existing pattern of 2w x 4h





- 105, 106 – Living Room
 - Storm window covering two windows shattered and is missing
 - Currently 4 hinged windows
 - Locks are missing at the bottom making windows secure
 - Windows are on 2 hinges and open inswing
-
- Homeowner would like to change to two double hung windows
 - Units will be 2:3 configuration to match the dining room on right front of house
 - Grilles will be 4w x 2 high in top sash only
 - No grilles in bottom sashes to match front of house



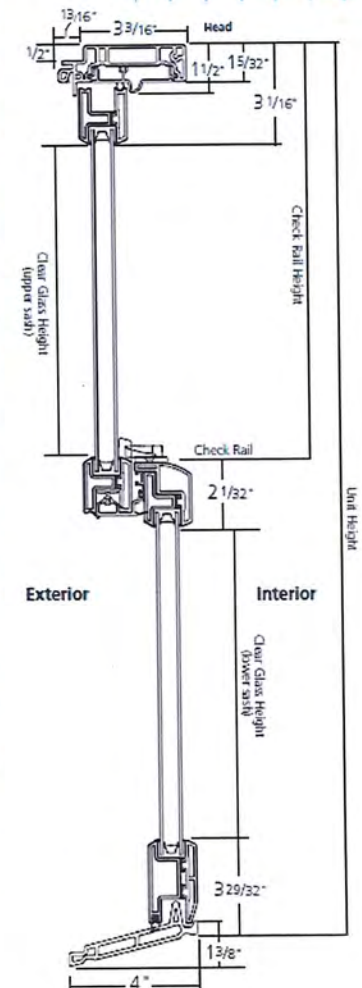
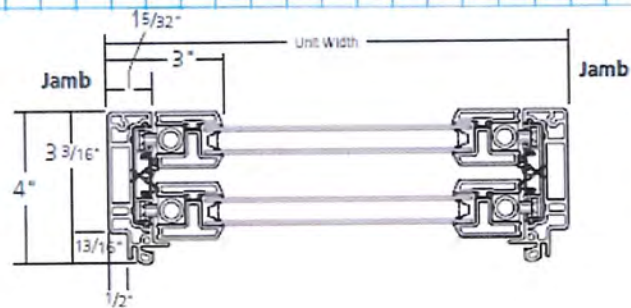
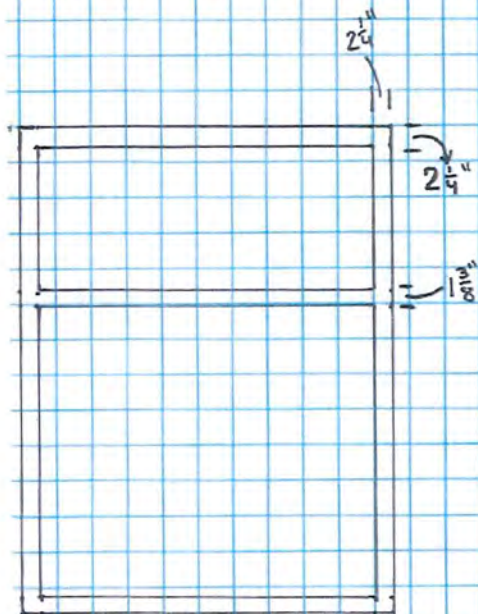






Santini
216 S Washington
Ypsilanti, MI 48197

Double Hung units
2:3 or 1:1 have the
same dimensions for
sash/jamb sizes



Staff photos 7/18/2019- windows replaced to-date at 216 S Washington





Facing west to facade.



Facing northwest to facade and south elevation.



Facing southwest to facade and north elevation.



HDC Work Permit Staff Review

Property address: 217 N River

Property History: The property includes a house erected in 1891. The front porch was added in the 1920s and the aluminum siding was installed in the mid-twentieth century. cursory research did not reveal information on the house's historical occupants or appearance. The construction date and building's form all indicate the house was some variety of Queen Anne in style. The applicant believes the second story is possibly partially clad in shingles below the aluminum.

The house was listed as non-contributing to the National Register historic district, due to its aluminum cladding. Staff disagrees with this assessment and believes the house contributes under Criteria A and C as part of the district's development. Additionally, the building's historic form and fenestration remain intact. If the aluminum siding were to be removed, it is very likely the house would add substantially to the architectural character of River Street.

Date of Application: August 6, 2019

Date of Review: August 7, 2019

Date of Meeting: August 13, 2019

Proposed work: Rear addition, new roof, and solar panels.

Materials: Hardi panel smooth bevel siding, Boral trim, metal standing-seam roofing, half-round gutters, Andersen windows, Douglas fir doors, velux skylights, glass panels, and solar panels.

Staff review:

1. The applicant first discussed this project with the HDC as a study item on July 23, 2019. See meeting minutes for a recap of the discussion.

Massing and Plan

2. The applicant proposes a 26'x26' addition to the rear of the house. The new addition would replace an existing

1. Use property for original purpose or provide compatible use with minimal alteration.

2. Do not destroy original character. Do not remove or alter historic material or features.

3. Do not imitate earlier styles.

4. Preserve significant changes acquired over time.

5. Preserve distinctive features.

6. Repair, don't replace. Replacements shall match original.

7. Clean building gently—no sandblasting.

8. Preserve archaeological resources.

9. Contemporary designs shall be compatible and shall not destroy significant original material.

10. New work shall be removable.

one-and-one-half story "kitchen ell" and an enclosed porch.

- a. The applicant suggested as a study item that the rear ell may have been an addition. However, Sanborn maps indicate it is original to the house- or at least added shortly after original construction.
- b. The rear ell is a secondary mass to the core block of the house. The ell is minimally visible from the right-of-way and does not possess distinctive architectural features that define the character of the building.
- c. The massing and footprint of the addition appear to be consistent with the HDC's Design Criteria, and appears to be minimally visible from the street.

MATERIALS

3. The new addition foundation will be parged in gray pigment.
4. The addition's exterior walls will be clad in a Hardi panel smooth bevel siding, with Boral trim; all in white.

FENESTRATION

5. The new doors to be installed on the west elevation, completely out-of-view from the right-of-way, will be of Douglas fir with a natural finish.
6. Several types of windows will be used on the addition.
 - a. On the west elevation, these include one-over-one double-hung Anderson Woodwright and an Andersen 400 Series casement. Applicant to specify whether the casement is a Woodwright 400 series (fiberex exterior) or a regular 400 Series (vinyl exterior).
 - b. The north elevation will include two velux fixed skylights, trimmed in black, and a vertical bay of $\frac{3}{4}$ " thick glass panels that extend from foundation to roofline. The modern look of the glass will further distinguish the addition from the original section of the house.
 - c. Windows on the south elevation include Andersen double-hung Woodwright windows.

Gutters/Downspouts

7. New half-round galvanized gutters and downspouts are to be installed.

ROOF

8. The applicant proposes a new galvanized standing seam metal roof with 16"-wide panels and a raised seam; that way a future solar panel installation on the south elevation can "clip-in."
 - a. As a study item, members of the HDC indicated they were not sure if a metal roof would be appropriate for this property.
 - b. The applicant states that a similar roof was approved and installed at 405 Maple.
 - c. Staff conducted additional research and found no evidence that this house ever had a metal roof. As a study item, there was discussion that indicated there could be wood shingle cladding on the second story below the aluminum siding. If that is the case, the roof would have likely been shingled as well.
 - d. In polling other historic district commissions, Staff found that generally standing-seam metal roofs were allowed only when 1) there was historic evidence of one being present, 2) the building has a shallow pitched roof that may require one, and 3) if there are numerous other buildings of the same age that show metal roofs were common.
 - e. In staff opinion, a standing-seam metal roof would not be appropriate for this house. However because the building's roof is a front-gable, a metal roof may not have as great of an impact as it would on a hipped or side-gable building.

- f. If the HDC supports a metal roof on this building, staff recommend the applicant follow the guidelines established by the City of San Antonio, Texas (attached):
 - i. Use panels that are 18-21" wide.
 - ii. Seams may be no more than 1-2" high.
 - iii. A crimped ridge seam should be used to be consistent with the historic appearances of metal roofs.
 - iv. A low-profile ridge cap with no vent or edge cap shall be used when a crimped ridge seam is not used.
 - v. The historic roof color or a standard galvalume roof color shall be used. Modern manufactured colors are not recommended. The HDC and applicant is agree on the color.

SOLAR ARRAY

9. The applicant proposes installing a solar array on the south roof slope of the original house.
 - a. The applicant has stated that installing the panels on the addition is not possible because a large tree heavily shades that part of the building.
 - b. The south slope would be visible from pedestrian traffic on N River. It would be less visible for vehicular traffic because of the boulevard.
 - c. According to the Alternative Energy Fact Sheet, the HDC does not approve solar panels that are visible from the right-of-way on historic structures. However, there is a precedent of approving solar panels on visible elevations, such as 726 Norris.
 - d. The steep pitch of the roof and broad slope are defining characteristics to the building, however there are currently no architectural features on the roof itself that would be diminished by the installation of solar panels.
 - e. The HDC may consider solar panels a removable feature of a building that increases its sustainability.

Recommended Motions:

Move to approve and issue a certificate of appropriateness for work at 217 N River for a 26'x26' addition to the west elevation, new roof, and solar panels. The addition is to be built per spec, including a gray parged foundation, Hardi panel siding, half round gutters, a standing-seam metal roof, Woodwright windows, velux skylights, vertically oriented glass panels, and Douglas fir doors. The standing-seam metal roof shall be 18-21" wide, crimped seams no more than 2" high, a low-profile ridge cap with no vent or edge cap, and finished in an appropriate color for the period of the house. The solar array is to be places on the south elevation and built to spec.

Relevant Secretary of the Interior's Standards:

#3 #9

Move to approve and issue a certificate of appropriateness for work at 217 N River for a 26'x26' addition to the west elevation and a solar array. The addition is to be built per spec, including a gray parged foundation, Hardi panel siding, half round gutters, Woodwright windows, velux skylights, vertically oriented glass panels, and Douglas fir doors. The solar array is to be places on the south elevation and built to spec. Approval is contingent on selection of an appropriate roof cladding, such as architectural shingles.

Relevant Secretary of the Interior's Standards:
#3 #9

Prepared by:
Scott E. Slagor, Preservation Planner

08.06.19

To Whom it may concern,

I, Michael Kozura, owner of the property at 217 N River Street in the city of Ypsilanti Michigan, here by authorize Gary Turner to act as my agent in matters concerning the HDC and building permit process for work to be performed at said address.

Respectfully,

A handwritten signature in black ink, enclosed within a red rectangular box. The signature is stylized and appears to read 'Michael Kozura'. Below the box is a horizontal line.

Michael Kozura



RECEIVED

AUG 06 2019

CITY OF YPSILANTI
BUILDING DEPARTMENT

**City of Ypsilanti
Historic District Commission
Work Permit Application**

One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646 • Fax: (734) 483-7260
www.cityofypsilanti.com

OFFICE USE ONLY

Date Filed:

Meeting Date:

Action Item/Study Item

To complete this application:

1. Complete this form.
2. Attach the following documents:
 - a. Photo(s) showing all locations where work is proposed (can be emailed).
 - b. Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components—this includes information from catalogues, professional quotes, or websites (can be emailed).
 - c. Dimensioned drawings of any new construction or modifications to existing structures, including awnings and signs.
 - d. A sketch plan, if proposal is for work on the grounds and not just the main structure (e.g., installing a new driveway, fence, or shed). This can be drawn on a scaled copy of a mortgage survey.
3. Applications and materials must be received by the Building Department **no later** than 4pm on the Tuesday one week prior to the meeting.

INCOMPLETE APPLICATIONS WILL NOT BE PLACED ON THE AGENDA

Property

Address

217 N. RIVER

Applicant

**If applicant is not owner of property, a written statement from the owner authorizing this application must be included.*

Name

GARY TURNER

Address

412 MAPLE ST.

City

YPSILANTI

State

MI

Zip

48198

Phone / Fax

734 216-6575

E-Mail

GARY@GARYBUILDS.COM

Contractor

Contractor Name & Contact Info

GARY TURNER, SAME AS ABOVE

Type of work

- ☒ Roofing
☒ Window/Door Replacement

- ☐ Porches
☐ Sign
☐ Fence (or other sitework)

- ☒ Painting
☒ Other
☐ Application Amendment

Complete Description of Proposed Work:

26'-0" x 26'-0" ADDITION OFF REAR OF
EXSTG. RESIDENCE. WOOD FRAME ON
CRAWL SPACE, PAINTED FC SIDING @ 6"
EXP. TYP., PAINTED 1X4 BORAL TRIM,
1X FASCIA, FC SOFFITS, RAISED SEAM
16" O.C. MET. ROOFING THROUGHOUT.
ALSO PROPOSE SOLAR PANEL INSTALLATION
ON SOUTH ROOF SLOPE

Materials (for paint include color chips or samples with application):

SIDING; HARDI PANEL SMOOTH BEVEL SIDING, 6" EXP., WHITE
TRIM; 1X BORAL PAINTED WHITE
ROOFING; METAL SALES 16" O.C. RAISED SEAM IN A
GALVALUME FINISH/COLOR. GUTTERS/SPUTS HALF ROUND 6" GALVALUME.

Permit Application Fee (action items only)

The fee is \$35 for the first \$3,000 in construction cost plus \$5 for every additional \$3,000 of construction cost. There is a flat fee of \$35 for painting only. *An additional fee of \$50 applies to HDC work started without the applicable permit.*

Construction Cost:

\$110,000.00

Permit fee:

\$35 + _____ =

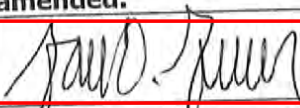
225⁰⁰

Signature

I hereby attest that the above information is accurate. I am authorized to and grant permission to the City of Ypsilanti staff to be on the subject property for the purposes of preparing staff reports and/or evaluating this application.

I further affirm that this property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.

Signature:



Date:

8/6/19

Print Name:

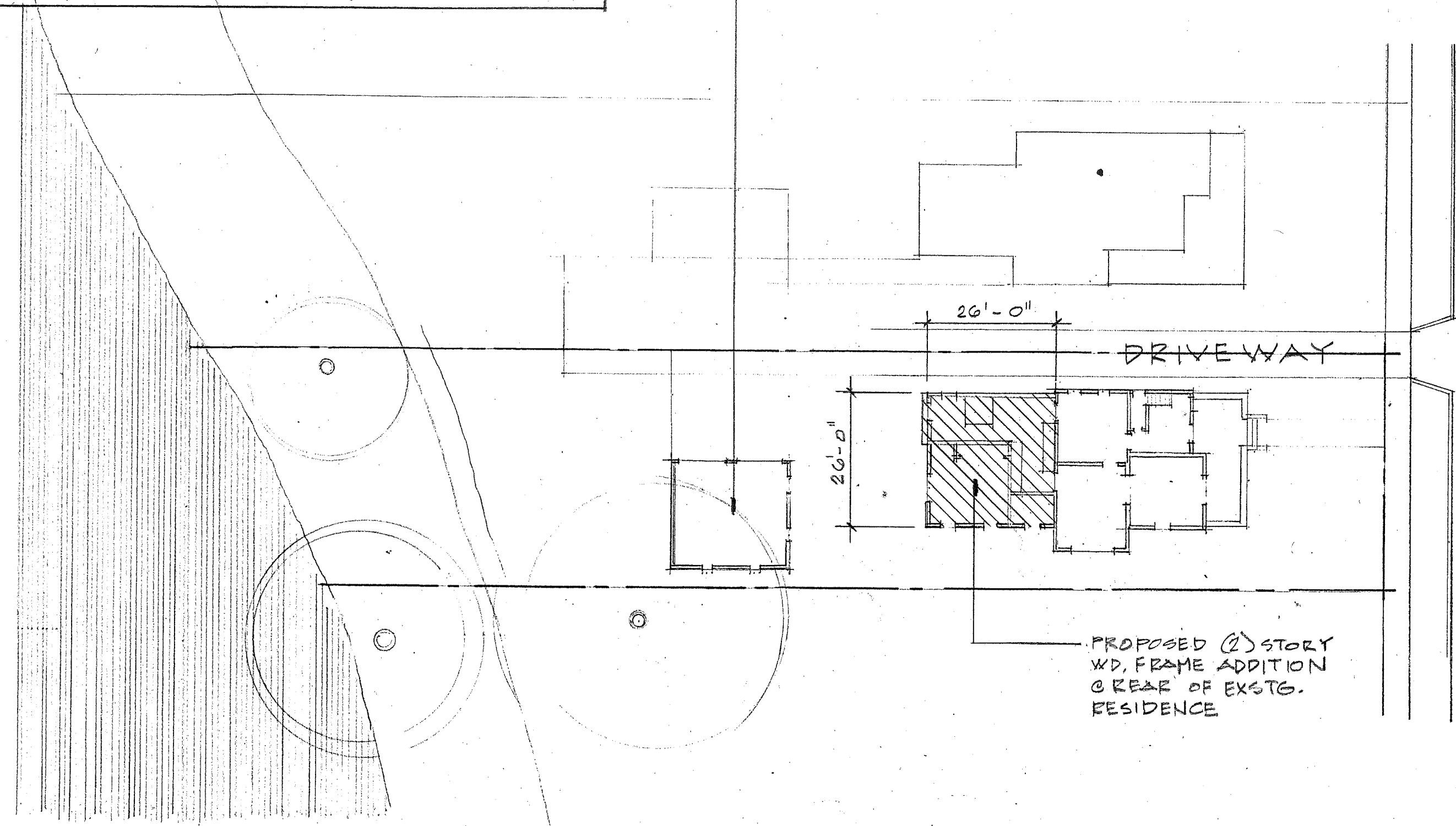
GARY D. TURNER

If you have questions about what the HDC generally permits or does not permit, or what they need to see in an application to render a decision, please call the office at 734-483-9646 or view our factsheets online at cityofypsilanti.com/hd.

All other necessary approvals and permits must be acquired before beginning work.

217 NORTH RIVER
PROPOSED ADDITION/REMODEL
GARY TURNER 734 216 6575
gary@garybuilds.com

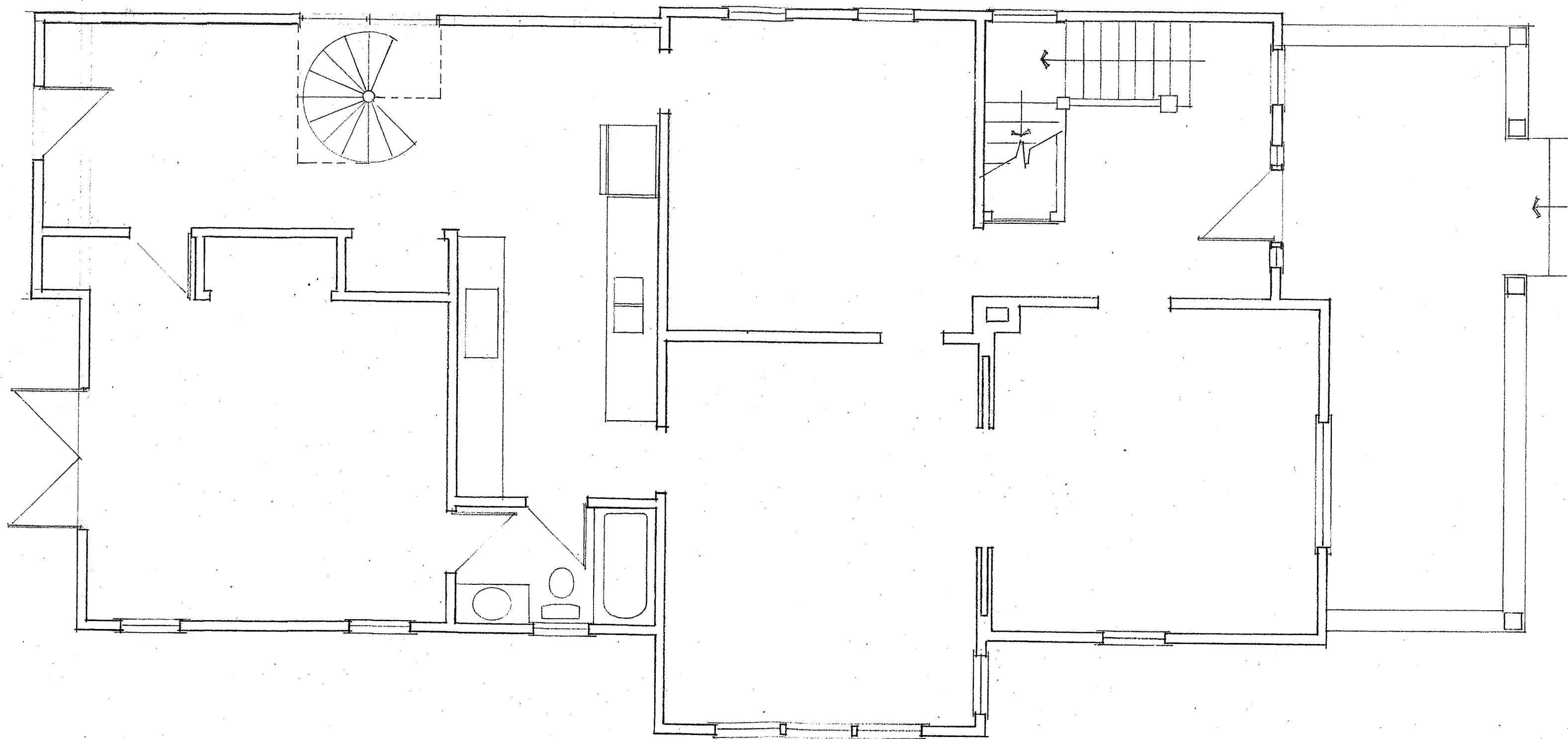
EXSTG. (2) CAR GARAGE.
RE-PAINT EXSTG. SIDING/
TRIM, REPLACE ROOFING,
REPLACE (3) WINDOWS W
ANDERSON WOODWEIGHT
21 X 32 WHITE CASEMENTS.



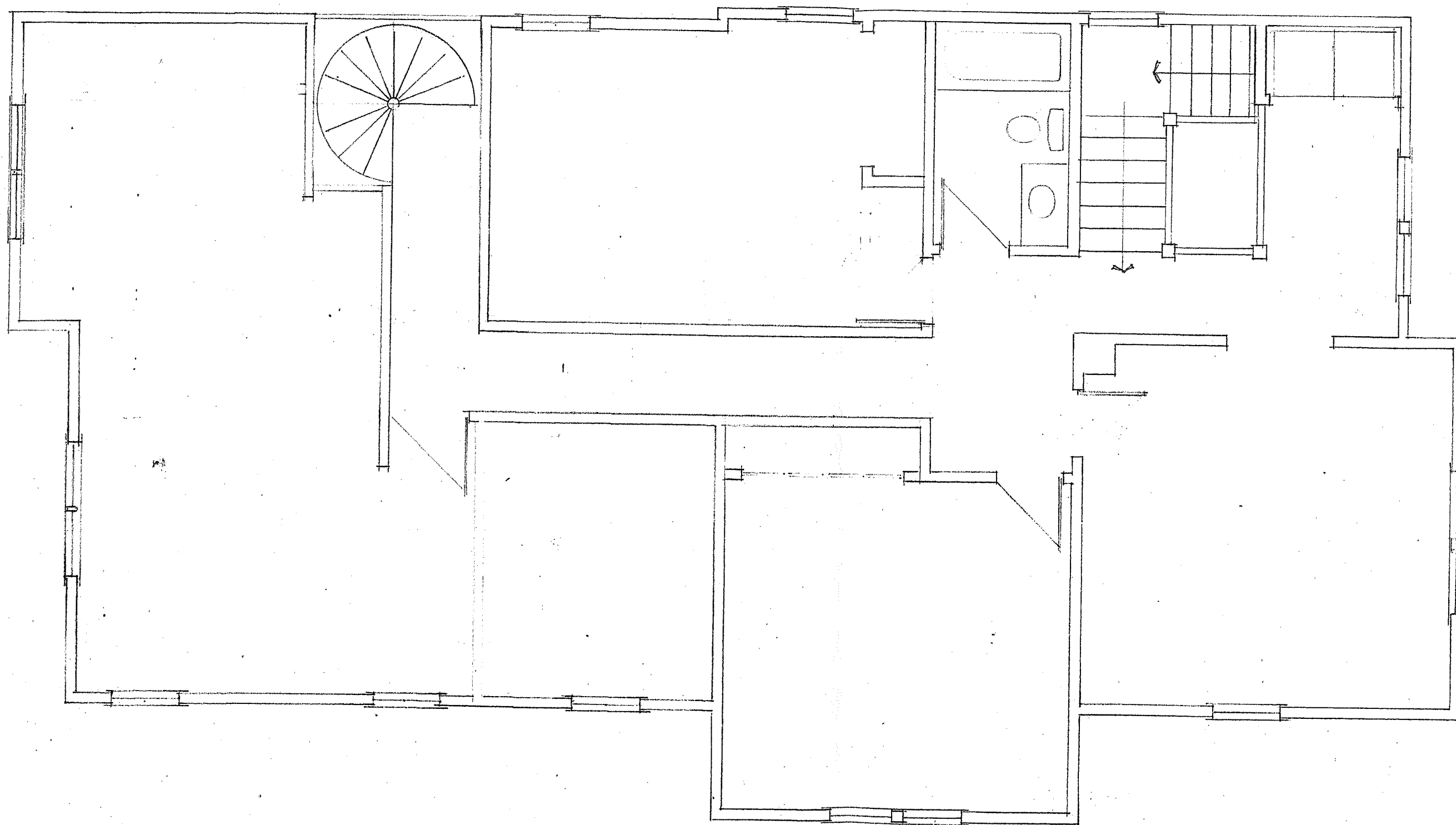
✓
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Ⓐ SITE PLAN
1" = 20'-0"

FIRST DRAFT 8.6.19
©COMMUNITY BUILDERS



Ⓐ FIRST FLOOR PLAN
1/4" = 1' - 0"



Ⓐ SECOND FLOOR PLAN
1/4" = 1' - 0"



EAST ELEVATION
 $\frac{1}{4}'' = 1'-0''$

ANDERSON 400 SERIES
42" x 42" CMNT, WHITE

16" O.C. METAL SALES
STANDING SEAM ROOF/G
TYPICAL, GALVALUME
COLOR/FINISH

ANDERSON WOODWRIGHT
WDH 24410 WHITE

HARDI-PANEL BEVEL
SIDING, 6" EXP. TYP.,
1x4 BORAL TRIM,
HISTORIC GILL, WHITE

3'-0" x 7'-0" FULL-LITE
DOUG FIR DOORS, NATURAL
FINISH

GRAY PIGMENTED
PAVING @ FOUND



Ⓐ WEST ELEVATION
1/4" = 1'-0"



ORTH ELEVATION

1" = 1'-0"

3/4" INSUL. GLASS
PANELS, POLYURETHANE
INSTALL O' FRAME



ANDERSON WDH 2446
WHITE TYP. @ UPPER
LEVEL

ANDERSON WDH 2452
WHITE TYP. @ LOWER
LEVEL



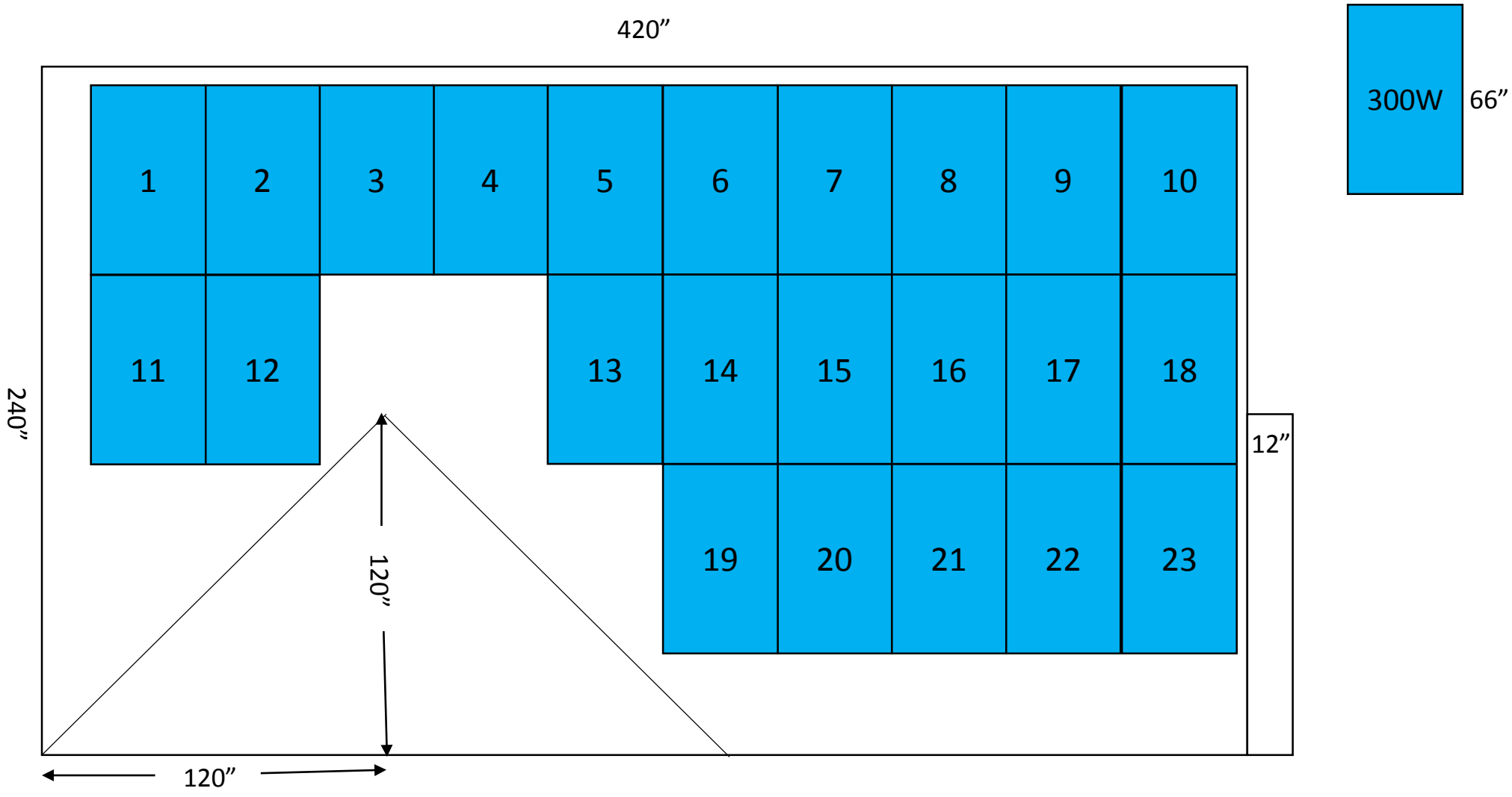
SOUTH ELEVATION

1/4" = 1'-0"

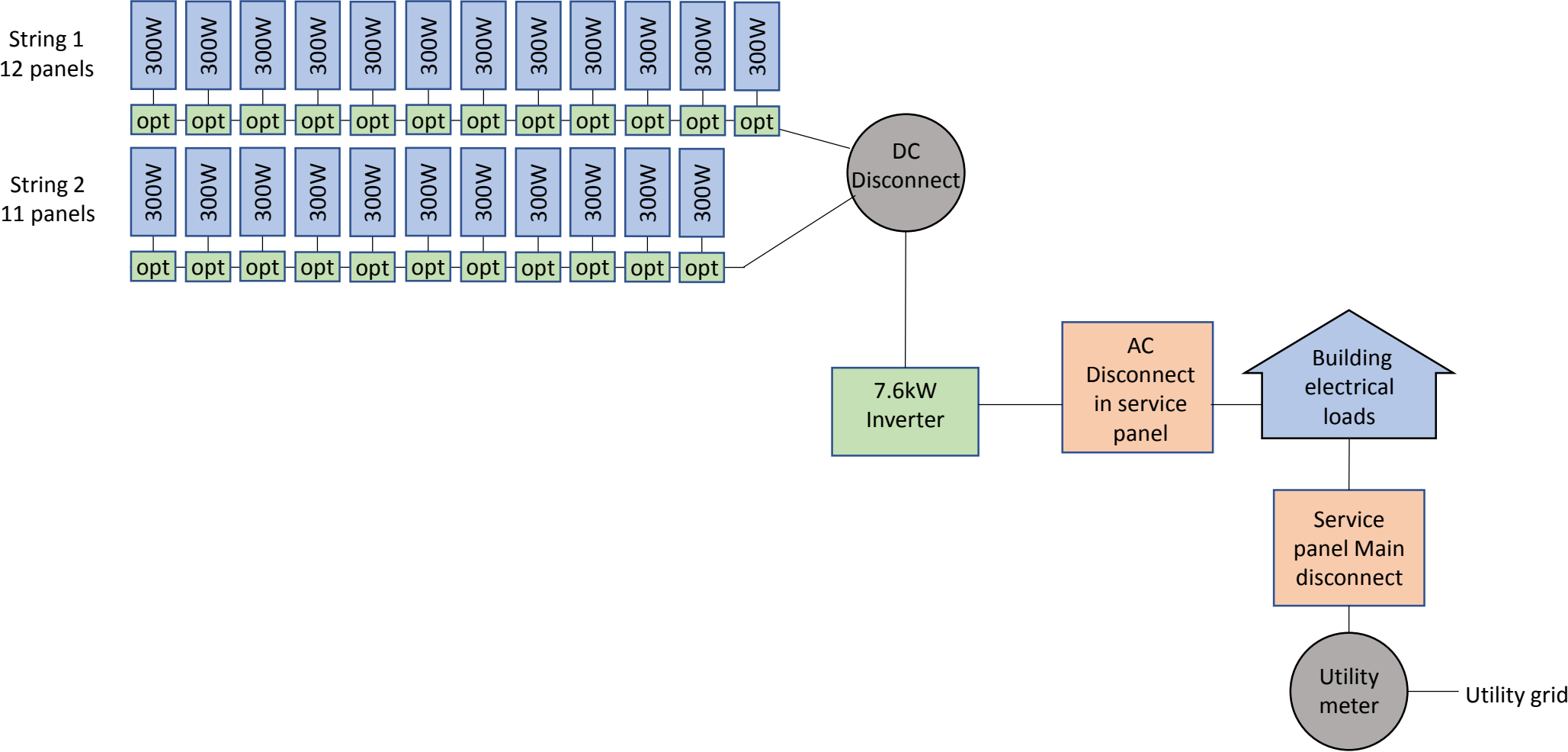
Solar for 217 N. River



Solar for 217 N. River (23 x 300W / 1000) 6.9kW



Solar for 217 N. River One Line Electrical Diagram



SIMILAR SOLAR INSTALLATION AS PROPOSED FOR 217 N RIVER

Bivens House

[Details](#)[Files](#)

Installation Specifics

Installation Type

Private

Installation Completed

August 2012

Number/Type of Panels

30 Evergreen 220-watt solar panels

Install Specs

18° facing South, S-5! rack.

Size/Type of Inverter

4600-watt PowerOne and 2500-watt PowerOne inverters

Installer

Positive Energy of Albuquerque (<https://www.positiveenergysolar.com/>)

Rated Output

6600 W

Contact

Steve Pierce (<mailto:steve@ypsi.com>)

Images

Click on an image for a larger view



(http://solarypsi.org/repository/images/bivens_house/bivens_house_001.jpg)

Solar Panels at the Bivens House



(http://solarypsi.org/repository/images/bivens_house/bivens_house_000.jpg)

Aerial View of Bivens House



(http://solarypsi.org/repository/images/bivens_house/bivens_house_009.jpg)

Installing the Roof



(http://solarypsi.org/repository/images/bivens_house/bivens_house_006.jpg)

Roof Before Installation



(http://solarypsi.org/repository/images/bivens_house/bivens_house_007.jpg)

Mounts on Roof



(http://solarypsi.org/repository/images/bivens_house/bivens_house_003.jpg)

Solar Panel Installation



(http://solarypsi.org/repository/images/bivens_house/bivens_house_008.jpg)

Solar Panel Installation



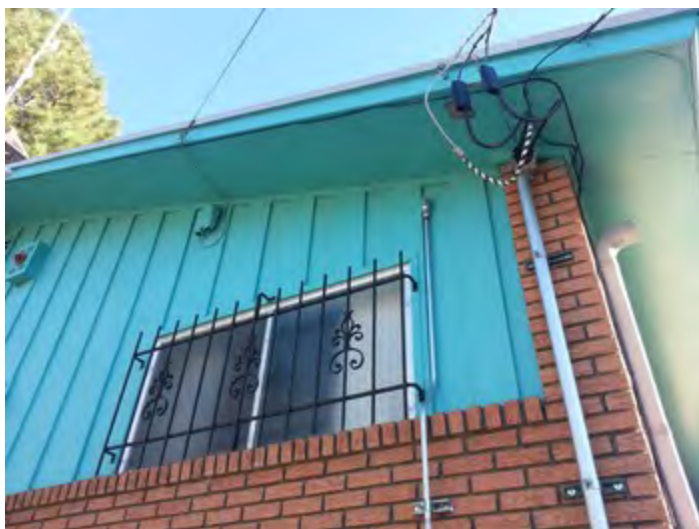
(http://solarypsi.org/repository/images/bivens_house/bivens_house_002.jpg)

Inverter



(http://solarypsi.org/repository/images/bivens_house/bivens_house_004.jpg)

Inverter



(http://solarypsi.org/repository/images/bivens_house/bivens_house_005.jpg)

Wiring



(<https://www.facebook.com/SolarYpsi>)



(<https://www.youtube.com/SolarYpsi>)

Created and maintained by Nik Estep (<http://www.nikestep.me/>)

Web hosting generously provided by HDL.com (<http://www.hdl.com/>)



Facing northwest to facade and south elevation.



Facing northwest to facade and south elevation.



Facing southwest to facade and north elevation.



Facing southwest to facade and south elevation.



Facing southeast to north and west elevations.



Facing southeast to north and west elevations.

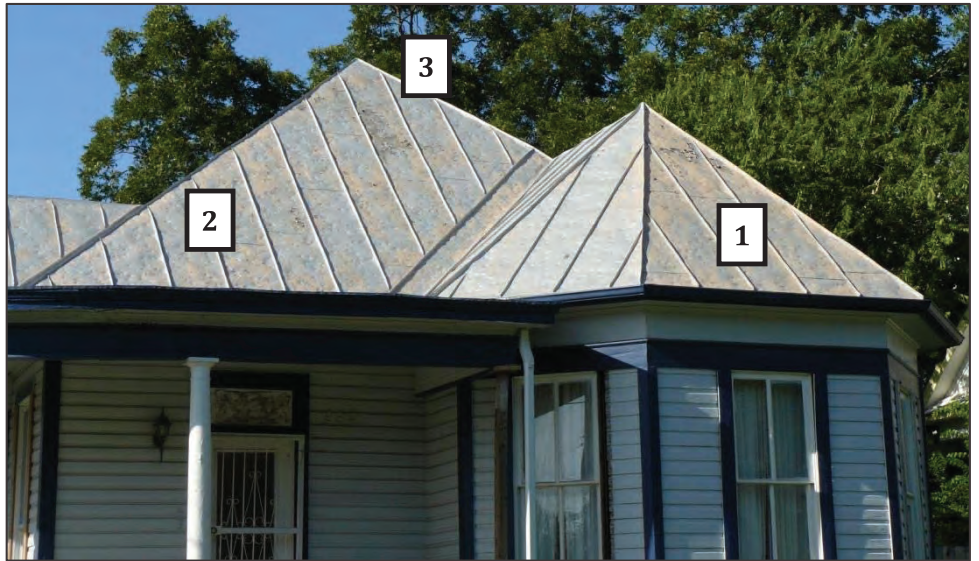


Facing northeast to west and south elevations.

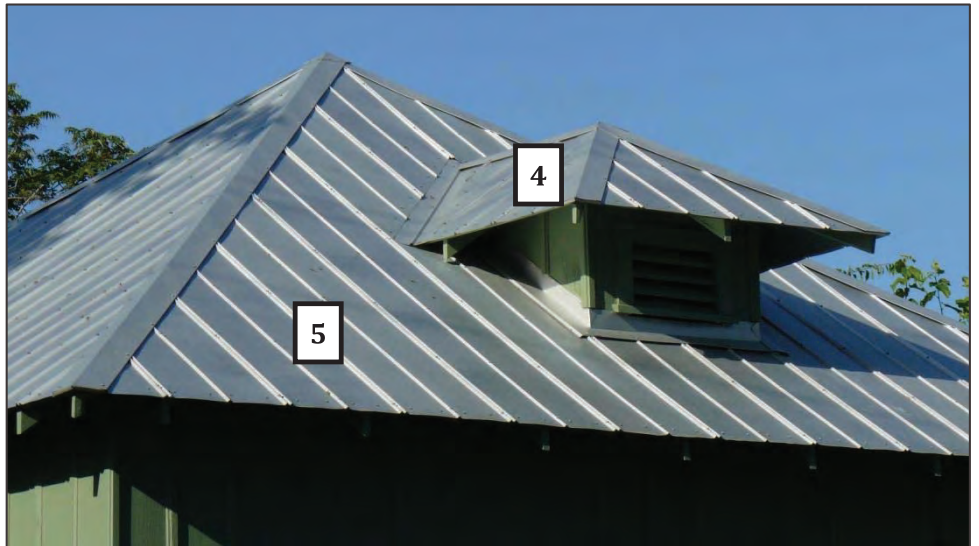
Checklist for Metal Roofs

New metal roofs that adhere to the guidelines below can be approved as long as documentation can be provided that shows that the home has historically had a metal roof or is of a style or construction period where a metal roof is appropriate.

- 1** Use panels that are 18 to 21 inches in width.
- 2** Ensure seams are an appropriate height for the slope of the roof (1 to 2 inches).
- 3** Use a crimped ridge seam that is consistent with the historic application.
- 4** Use a low-profile ridge cap with no ridge cap vent or end cap when a crimped ridge seam is not used.
- 5** Match the existing historic roof color or use the standard galvalume; modern manufacturer's colors are not recommended.



Historic standing seam metal roof with crimped ridges.



Example of appropriate v-crimp panels with external metal fasteners.



Do not use ridge caps with ridge cap vent (left) or end caps (right).

Sec. 54-82. Design criteria.

The historic district commission shall be further guided by the following design criteria:

- 1) The proposed height should be within ten percent of the average height of the existing adjacent historic resources.
- 2) The proposed setback should not be more than five percent in front of or behind the existing setback of adjacent historic resources.
- 3) The relationship of the height to the width of the front facade should be consistent with the pattern established by existing adjacent historic resources.
- 4) The relationship of the height to the width of windows, doors and other openings should be consistent with the pattern established by existing adjacent historic resources.
- 5) The rhythm of structural mass to voids (openings) across the front facade should be consistent with the pattern established by existing adjacent historic resources.
- 6) The rhythm of structural mass to open space between structures should be consistent with the pattern established by existing adjacent historic resources.
- 7) The rhythm created by the placement of sidewalks, entrances, steps, porches and canopies should be consistent with the pattern established by existing adjacent historic resources.
- 8) The proposed construction materials should be the same type as those that have already been heavily used in existing adjacent historic resources.
- 9) The proposed textures of the building materials should relate to and complement the predominant textures of the materials used in existing adjacent historic resources.
- 10) The proposed colors, whether of natural materials, such as brick and stone, or applied colors, such as paint and pre colored siding, should relate to and complement the colors used on existing adjacent historic resources.
- 11) No specific architectural style shall be required for the construction of a new building, addition or other structure. The proposed architectural details, including, but not limited to, cornices, lintels, arches, balustrades, chimneys, porches, bays, railings, cupolas, gable ends, brackets and iron work, should be appropriate for the style of the structure on which they are to be used and compatible with other structures in the historic district and particularly to historic resources and sites to which they may be visually related.
- 12) The proposed roof shape and profile should relate to the predominant styles of existing adjacent historic resources.
- 13) The proposed landscape designs and choices of plant material should be appropriate to the character of the historic district and that of the involved historic resources.
- 14) The proposed paving (i.e., brick, block, concrete, slate, etc.) should be of the same types as those already heavily used around existing adjacent historic resources.

15) The proposed design shall not conflict with the building code as it relates to the welfare or safety of the occupants.

(Code 1983, § 5.333; Ord. No. 1001, 3-1-2005)



RECEIVED

JUL 30 2019

CITY OF YPSILANTI
BUILDING DEPARTMENT**City of Ypsilanti
Historic District Commission
Work Permit Application**

One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646 • Fax: (734) 483-7260
www.cityofypsilanti.com

OFFICE USE ONLY

Date Filed:

Meeting Date:

Action Item/Study Item

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INCOMPLETE APPLICATIONS WILL NOT BE PLACED ON THE AGENDA**Property**

Address

8 N River

Applicant**If applicant is not owner of property, a written statement from the owner authorizing this application must be included.*

Name

RHI Inc. DBA Rapid Roofing

Address

2727 E Michigan Avenue

City

Ypsilanti

State

MI

Zip

48198

Phone / Fax

734-895-9553

E-Mail

amanda@rapidroofing.com

Contractor

Contractor Name & Contact Info

RHI Inc. 734-895-9553 2727 E Michigan Avenue, Ypsilanti MI 48198

Type of work☒ Roofing☐ Window/Door
Replacement☐ Porches☐ Sign☐ Fence (or other sitework)☐ Painting☐ Other☐ Application Amendment

Complete Description of Proposed Work:

Strip existing roof and install new GAF roof system, install ridge vent.

Materials (for paint include color chips or samples with application):

GAF Natural Shadow - Charcoal.

Trim - Black.

Flashing - Black.

Permit Application Fee (action items only)

The fee is \$35 for the first \$3,000 in construction cost plus \$5 for every additional \$3,000 of construction cost. There is a flat fee of \$35 for painting only. *An additional fee of \$50 applies to HDC work started without the applicable permit.*

Construction Cost:

\$8,193.00

Permit fee:

\$35 + 30 = \$65.00

Signature

I hereby attest that the above information is accurate. I am authorized to and grant permission to the City of Ypsilanti staff to be on the subject property for the purposes of preparing staff reports and/or evaluating this application.

I further affirm that this property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.

Signature:



Date:

7/29/2019

Print Name:

William Beaty

If you have questions about what the HDC generally permits or does not permit, or what they need to see in an application to render a decision, please call the office at 734-483-9646 or view our factsheets online at cityofypsilanti.com/hd.

All other necessary approvals and permits must be acquired before beginning work.

PHDC-19-0078

TIMBERLINE® LIFETIME
SHINGLES — NORTH AMERICA'S
#1 — SELLING ROOF

Value & Performance In A Natural Wood-Shake Look

- **Attractive Appearance...** Features a classic shadow effect. Lends any home a subtle, even-toned look with the warmth of wood.
- **Great Value...** Architecturally stylish but practically priced.
- **High Performance...** Designed with Advanced Protection® Shingle Technology, which reduces the use of natural resources while providing excellent protection for your home (visit gaf.com/APS/ to learn more).
- **Highest Roofing Fire Rating...** UL Class A, Listed to ANSI/UL 790.
- **Stays In Place...** Dura Grip™ Adhesive seals each shingle tightly and reduces the risk of shingle blow-off. Shingles are warranted to withstand winds up to 130 mph.¹
- **Peace Of Mind...** Lifetime Ltd. transferable warranty with Smart Choice® Protection (non-prorated material and installation labor coverage) for the first ten years.²
- **Perfect Finishing Touch...** Use Timberline® Premium Ridge Cap Shingles or Ridglass® Premium Ridge Cap Shingles.³

¹ This wind speed coverage requires special installation; see GAF Shingle & Accessory Ltd. Warranty for details.

² See GAF Shingle & Accessory Ltd. Warranty for complete coverage and restrictions. The word "lifetime" refers to the length of coverage provided by the GAF Shingle & Accessory Ltd. Warranty and means as long as the original individual owner(s) of a single-family detached residence (or the second owner(s) in certain circumstances) owns the property where the shingles are installed. For owners/structures not meeting the above criteria, lifetime coverage is not applicable.

³ These products are not available in all areas. See www.gaf.com/ridgecapavailability for details.

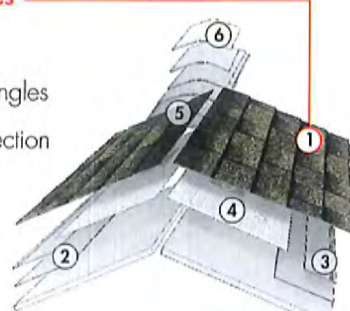
*Notes on Color Availability:

- Arctic White only available in the Shafter area.
- Pewter Gray only available in the Baltimore/Myerstown and Michigan City areas.
- Timberline® Natural Shadow® Shingles are not available in the Tampa area.

Where They Fit Within The Lifetime Roofing System

1. Lifetime Shingles

2. Leak Barrier
3. Starter Strip Shingles
4. Roof Deck Protection
5. Cobra® Attic Ventilation
6. Ridge Cap Shingles



Barkwood*

Shakewood*

Slate*

Weathered Wood*

Charcoal*

Hickory*

Pewter Gray*

ENERGY STAR® Certified! (White Only)

Arctic White*





TIMBERLINE[®] *Natural Shadow*
LIFETIME SHINGLES

(Only available in the U.S.)

Color Shown:
Barkwood

L I F E S H I N G L E S







City of Ypsilanti
Historic District Commission
Work Permit Application

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INCOMPLETE APPLICATIONS WILL NOT BE PLACED ON THE AGENDA

Property

Address

208 Olive

Applicant

**If applicant is not owner of property, a written statement from the owner authorizing this application must be included.*

Name

Matthew Waldsmith

Address

208 Olive

City

Ypsilanti

State

MI

Zip

48197

Phone / Fax

1-734-323-4561

E-Mail

Mwaldsmith@A2GOV.ORG

Contractor

Contractor Name & Contact Info

Sherriff-Goslin Roofing 627 S. Mansfield St. Ypsilanti, MI 48197

Type of work

☒ Roofing

☐ Window/Door
Replacement

☐ Porches

☐ Sign

☐ Fence (or other sitework)

☐ Painting

☐ Other

☐ Application Amendment

Complete Description of Proposed Work:

Tear-off and re-roof of entire structure. Install Pinnacle pristine green shingles (Color matches existing) New drip edge, pipe boots, ice guard. Install polyglass roll system on low slope addition East side, color to match as closely as possible. See attached contract.

Ridge vents - box vents removed SES 8-5-2019

Materials (for paint include color chips or samples with application):

Pinnacle Pristine Green

Permit Application Fee (action items only)

The fee is \$45 for the first \$3,000 in construction cost plus \$5 for every additional \$3,000 of construction cost. There is a flat fee of \$10 for painting only. *An additional fee of \$50 applies to HDC work started without the applicable permit.*

Construction Cost:

\$6,200

Permit fee:

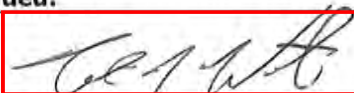
\$45 + \$5 = \$50

Signature

I hereby attest that the above information is accurate. I am authorized to and grant permission to the City of Ypsilanti staff to be on the subject property for the purposes of preparing staff reports and/or evaluating this application.

I further affirm that this property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.

Signature:



Date:

August 2, 2019

Print Name:

Matthew Waldsmith

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All other necessary approvals and permits must be acquired before beginning work.

PHDC-19-0079

Google Maps

~~211~~ Olive St
208



Image capture: Jul 2018 © 2019 Google

Ypsilanti, Michigan

Google

Street View - Jul 2018



Michigan
house Museum

Ypsilanti Historical

MICHIGAN RETAIL INSTALLMENT CONTRACT - SHERRIFF-GOSLIN COMPANY - Good Roofs Since 1906

Branch Office	Customer Phone	Customer Email
Order No.	Year Home Built	Miles One Way
Max Eave Height	D.C. Slope	No. of applications of asphalt and/or wood shingles over wood deck
Building Permit Required?	☐ Yes ☐ No	Governing Authority ☒ City ☐ Twp ☐ County of

Customer Name: Matthew Wilder
 Customer's Mailing Address: 208 Olive St Ipsworth 48197
 Address of Property on which Sherriff-Goslin (the "Company") will apply the work described below: same
 Title Owner of Property: same Work Description ("Work"): On base - tear out existing shingles. Replace wood as needed w/ 1/2" x 6" sheet of 3/4" OSB. 2x6 rafters for 1x6 install down metal. The ground, ridge, box, eaves, pipe boots, shingles, ridge cap. Install Polyglass Bell system on porch.
 Material Selected: Polysheen Pineapple Green ☐ Roof System: ☐ See attached Addendum.

THE COMPANY GUARANTEES:

ART-LOC® and StormMaster® shingle work carries a special Sherriff-Goslin Labor and Material GUARANTEE against leaks and defective material and/or workmanship with full service at no expense to the Customer for 10 years (5 years on Pineapple®, 3-4th and roll-flow slope roofing), except for fire, tornado, hail impact of foreign objects, tree back-up, certain algae, acts of nature, or other circumstances beyond our control.

Siding is guaranteed for 10 years against defective material and/or workmanship, except for changes in color or discoloration of material.

Guarantees are only transferable to successor title owners of Property and may not otherwise be assigned.

These Guarantees are in addition to the standard Manufacturer's WARRANTY. Additional information about the Company's Guarantees and copies of the Manufacturer's Warranty can be found at www.sherriffgoslin.com.

Company makes no other warranty or guarantee, express or implied, and expressly disclaims any warranty of merchantability for a particular purpose.

PAYMENT TERMS:

- CASH PRICE \$ 600
- LESS: CASH DOWN PAYMENT \$ -
- UNPAID BALANCE OF CASH PRICE (1-2) \$ 600
- LESS: CASH UPON COMPLETION \$ -
- AMOUNT FINANCED (3-4) (Amount of credit provided to you or on your behalf) \$ -
- FINANCE CHARGE (Dollar amount the credit will cost you) \$ -
- TOTAL OF PAYMENTS (5-6) \$ -
- TOTAL CONTRACT PRICE (1+6) (Total cost of purchase on credit, including down payment) \$ -
- ANNUAL PERCENTAGE RATE (Cost of your credit as a yearly rate) % -

Your payment schedule is:

No. of Payments	Payment Amount	Payments are Due
1	<u>600</u>	30 days after completion
		On the _____ day of every month thereafter

Installment payments shall be made by check to the Company's Home Office: 10 Avenue C, Battle Creek, MI 49037.

There is no penalty for prepayment.

If the Property is sold, the unpaid balance on the Contract becomes immediately due.

For any payment 10 days or more past due, Customer shall pay a late charge of 3% of the payment amount or \$50.00, whichever is less. Company may demand payment in full when any payment becomes past due. Customer is liable to Company for all actual costs and attorney fees Company incurs in enforcing any terms of this Contract. The price and terms as stated are according to Customer's understanding and there are no promises or agreements other than as stated in this Contract.

You have the right to receive at this time an itemization of the Amount Financed. ☐ I want an itemization ☐ I do not want an itemization

NOTICES TO CUSTOMER:

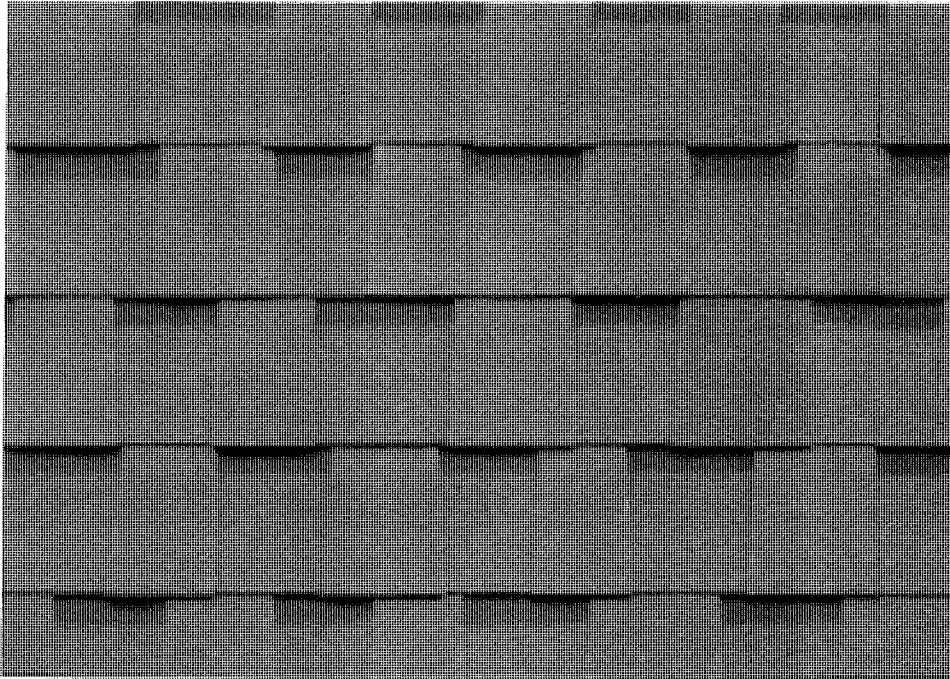
- DO NOT SIGN THIS CONTRACT BEFORE YOU READ IT OR IF IT CONTAINS BLANK SPACES. YOU ARE ENTITLED TO A COPY OF THE CONTRACT YOU SIGN. YOU ARE ENTITLED TO A PARTIAL RETURN OF THE FINANCE CHARGE IF YOU PREPAY THE BALANCE.
- CANCELLATION. You may cancel this Contract before midnight on the third business day after the date you sign this Contract. To cancel, you must give written notice of cancellation to the Company's Home Office: 10 Avenue C, Battle Creek, MI 49037. Written notice may be provided by mail, telegram, manual delivery, or other personal delivery. Written notice of cancellation shall be effective upon the date of postmarking. See attached Notice of Cancellation form for an explanation of this right. Additionally, the Company is prohibited from having an independent courier service or other third-party pick up your payment at your residence before the end of the 3-business-day period in which you can cancel the transaction.
- PREPAYMENT. If you prepay any balance of this Contract, Company must provide or make available for your examination a statement or table showing how the partial refund of the time price charge is to be computed.
- NOTICE OF CLAIM. As a condition precedent to Company's obligations under the Guarantee, Customer shall immediately notify Company's Home Office in writing, at the address listed above, if any service is not satisfactorily performed in accordance with this Contract and afford Company the opportunity to repair or replace defective work covered by the Guarantees.
- EXCLUSIVE REMEDY. Customer's remedy against Company arising out of this Contract and the Guarantees are limited, in the sole discretion of Company, to Company's repair or replacement of work determined to be defective and covered by the Guarantees or the cost of such repair or replacement. In no event shall Company's liability to Customer exceed the Cash Price of this Contract.
- RELEASE OF LIABILITY. Customer, for himself or herself and his or her heirs, successors, assigns, residents, invitees, licensees, and other guests, releases, indemnifies, and forever discharges the Company and its agents, officers, shareholders, and employees from any and all liability, claims, demands, and causes of actions whatsoever, arising out of or related to any loss, damage, or injury, including, but not limited to, personal injury as a result of asbestos, development of molds, or other environmental exposures arising out of or resulting from Company's Work. Customer releases Company from any claim for indirect, special, punitive, and/or consequential damages.
- INSURANCE AND PERMITS. Company shall carry workers' compensation insurance on all its workers at all times and shall obtain all necessary permits.
- SCHEDULE. Approximate start date is 7-1-19. Approximate completion date is 7-1-19. These dates may change due to circumstances beyond Company's control, such as weather, fire, licensing or permit requirements, availability of materials, destruction of property, or Customer's delay or failure to act.
- This Contract is subject to the approval of the Company's Home Office.
- MODIFICATION. This Contract cannot be modified except by writing signed and dated by Customer and authorized agent of the Company.
- A residential builder or a residential maintenance and alteration contractor must be licensed under article 24 of the occupational code, 1980 PA 299, MCL 339.2401 to 339.2412. An electrician must be licensed under the electrical administrative act, 1956 PA 217, MCL 338.881 to 338.892. A plumbing contractor must be licensed under the state plumbing act, 2002 PA 733, MCL 338.3511 to 338.3569. A mechanical contractor must be licensed under the Forbes mechanical contractors act, 1984 A 192, MCL 338.971 to 338.988. Company is licensed, License No. 2104004965.
- CONSTRUCTION. If any provision of this Contract is for any reason held to be invalid or unenforceable, such provision will not affect any other provision of this Contract, but this Contract will be construed as if such invalid and/or unenforceable provision had never been contained in the Contract.

Sales Representative Signature: <u>[Signature]</u>	Date: <u>7-31-19</u>	Telephone Number: <u>154 680-7291</u>
Customer Signature: <u>[Signature]</u>	Date: <u>7/31/19</u>	Customer Signature: _____ Date: _____

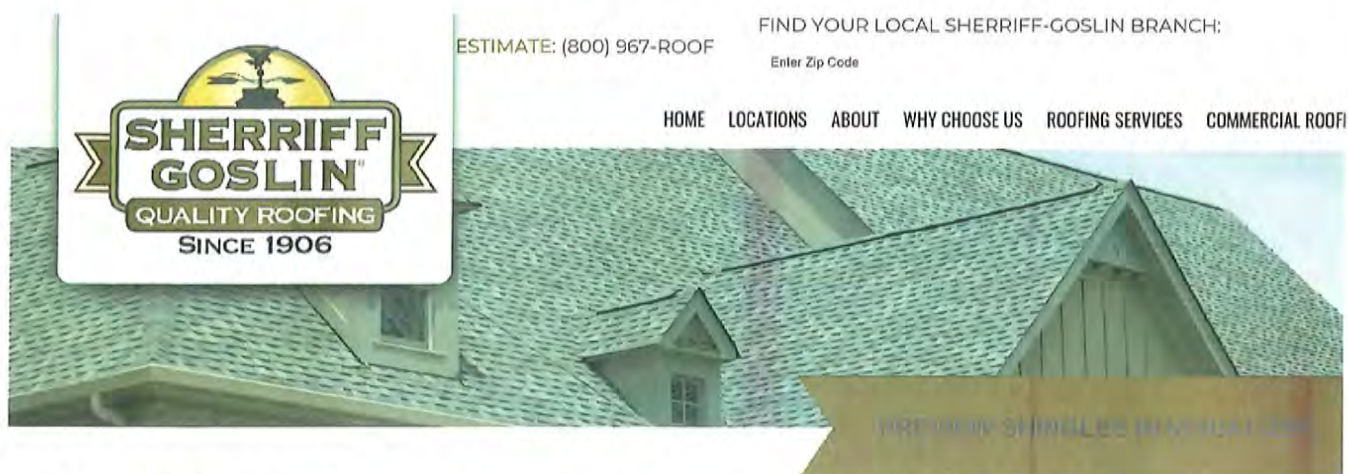
The Customer hereby acknowledges receipt of a completed copy of this RETAIL INSTALLMENT CONTRACT and acknowledges that Company reserves the right to cancel this Contract upon discovery of an unfavorable credit report.

Customer Signature: <u>[Signature]</u>	Customer Signature: _____
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PINNACLE
PRISTINE ARCHITECTURAL SHINGLES



*Pristine Green
Stitches Existing*



Pinnacle® Pristine High Performance Architectural Shingles



If you are looking for a dynamic looking shingle to help with curbing black algae streaks, Pinnacle® Pristine roofing shingles featuring Scotchgard™ Protector. These architectural shingles, also known as dimensional shingles, are built to retain color and defend against black algae streaks. Pinnacle® Pristine roofing shingles feature Scotchgard™ Protector which includes a Lifetime* Algae Resistance Limiting roof from unsightly staining and streaking caused by algae.

Pinnacle® Pristine architectural shingles feature a true laminated architectural shingle with distinct shadow lines that provide the added dimension (multi-layer appearance). With full random cuts you are ensured that the appearance of undesirable patterns will not occur. This layered approach surely brings the curb appeal element of protection to your home.

Available Colors

FINAL COLOR SELECTIONS SHOULD BE MADE USING ACTUAL SHINGLES.

Colors and shadow lines in the photos should only be used as a guideline, and not for your final color selection.



PRISTINE BLACK



PRISTINE DESERT



PRISTINE





MINUTES

City of Ypsilanti
HISTORIC DISTRICT COMMISSION MEETING
Ypsilanti Historical Society– 220 N Huron Street
Ypsilanti, Michigan 48197

Tuesday, July 23, 2019
7:00 P.M.

CALL TO ORDER AND ROLL CALL

Mike Davis, Jr., Chair 7:00 PM

Commissioners Present: Mike Davis, Jr., Hank Prebys, Jane Schmiedeke, Anne Stevenson, Alex Pettit, Ron Rupert

Commissioners Absent: Erika Lindsay

Staff Present: Scott Slagor, Preservation Planner
Nancy Hare-Dickerson, Commission Recording Secretary

APPROVAL OF AGENDA

Discussion: 217 N River was added to the agenda as a study item at the request of property owner.

Motion: Stevenson (second: Schmiedeke) moved to approve the agenda as amended.

Approval: Unanimous. Motion carried.

PUBLIC COMMENT ON AGENDA ITEMS—none

PUBLIC HEARING—none

OLD BUSINESS—none

NEW BUSINESS

509 N River

**Rear egress stair replacement.*

Applicant: Karen Gnagi, owner –present.

Discussion: Gnagi: Stated that applicant would like to rebuild the steps which are deteriorated and

hazardous. Stated that these are the steps as they exist *[reference drawings]*, which are eight-inches tall. Stated that her understanding is that the steps need to be seven and three-quarters inches tall. Indicated that the proposed color will be white. *[Discussion continued as to applicant's drawings]*.

Davis: Asked if the color is a basic white.

Gnagi: Confirmed.

Rupert: Asked about the materials to be used.

Gnagi: Stated that her understanding is that the uprights that go into the ground can be pressure-treated lumber and anything that is not in the ground has to be decomposable wood.

[Discussion as to appropriate materials which can be used]

Gnagi: Asked if treated lumber can be used for all of the beams and pieces or for just the step pieces.

Rupert: Stated that it can be used for everything. Stated that it is not a conventional porch.

Davis: Stated that it will still need to be painted after it has dried out.

Gnagi: Stated that her understanding is that once the moisture is off of the pressure-treated wood, it can be painted.

Rupert: Confirmed.

Gnagi: Stated that that is the plan *[re: painting]*.

Rupert: Asked about the material that will be used for the roof structure – if there is going to be a shingle over top of that.

Gnagi: Confirmed. Stated that there will be shingles on the top. Stated that the top middle piece that butts up to the house is also going to have a little bit of shingle on it *[reference drawing]*. Stated-- so there is going to be shingle going down the cover for the steps, as well as over the four-by-four porch area.

Rupert: Asked if there will be any flashing across there where it is attached to the house so that water does not get in behind it.

Gnagi: Confirmed.

Davis: Asked about the shingle color.

Gnagi: Stated that it would be sort of a gray color to match the rest of the house.

Davis: Asked if it would be like a gray architectural shingle.

Gnagi: Stated-- a medium gray, not real dark.

Rupert: Stated that it would be more appropriate if the stair treads are painted a dark color. Stated that the white color is going to show all the marks, scuffing and dirt.

Gnagi: Stated that the steps could be painted a blue-gray color, which will match the house.

Rupert: Indicated agreement.

Gnagi: Asked if that would be painting the bottom part as well as the up part.

Rupert: Confirmed that both parts can be done.

Gnagi: Stated that the existing steps are block steps with boards going across them. Stated that her understanding is that a stringer is intended to be used on the steps in her area. Stated that the plan is to get a stringer of steps rather than using the block steps that are existing.

Rupert: Asked how wide it is going to be.

Gnagi: Stated that, currently, they are thirty-four inches. Asked if they should be thirty-six inches.

Rupert: Stated-- if you do that, you should have three stringers coming down.

Gnagi: Asked-- meaning in the middle of the steps as well as either side.

Rupert: Confirmed.

[Continued clarifying discussion as to stringers]

Motion: Prebys (second: Rupert) moved to approve and issue a certificate of appropriateness for the work at 509 N River as submitted in the application dated June 28, 2019 for replacement of the exterior staircase on the south elevation. Approval is contingent that the new staircase match the dimensions and color of the existing staircase.

Secretary of the Interior Standards:

#9- Contemporary designs shall be compatible and shall not destroy significant original materials.

#10 – New work shall be removable.

Approval: Unanimous. Motion carried

315 N Adams

**Painting.*

Applicant: Robert Burmeister and James Goebel, owners- present.

Discussion: Goebel: Stated that applicants are ready to paint the house. Stated that the under eaves are flaking badly. Stated that a bit of a color change is proposed – going from a khaki yellowish orange and white and light blue to a simple light blue/midnight blue around the window sills and the porch and the trim areas; and a white with a tinge of blue in it for the white areas to make it a little less shocking *[reference materials]*. Stated that the paint is with an oil-based primer and then a latex paint over top of that. Stated that a painter has been retained who has been reminded of the rules of the HDC as to how to approach the painting.

Davis: Asked if the doors themselves of the garage [carriage house] will be this light blue color *[reference paint sample]*.

Goebel: Confirmed.

[Commission reviewed and discussed the paint color samples]

Rupert: Stated that pressure washing is not allowed in the Historic District. Stated that TSP and a garden hose may be used if cleaning is needed. Suggested that on the paint finish, a satin finish be used rather than flat because it will shed the water and dirt.

[Discussion continued as to type of paint finishes and results]

Motion: Prebys: (second: Schmiedeke) moved to approve and issue a certificate of appropriateness for the work at 315 N Adams as submitted in the application dated July 5, 2019 for repainting the house and garage [carriage house] in "Sky High," "Sky Fall," and "Blue Chip." No pressure washing shall be used in preparation.

Secretary of the Interior Standards:

#7 – Clean building gently—no sandblasting or pressure washing.

#10 – New work shall be removable.

Approval: Unanimous. Motion carried

53 E Forest

**Deck Replacement.*

Applicant: Dan Sutherby, contractor- present.

Discussion: Davis: Stated that the application is to do a replacement on the north rear elevation of the deck.

Sutherby: Stated that when the property was purchased, the original decking was rotted. Stated that he took the boards off, refaced and redecked it. Stated that he added the pergola on top *[reference photo materials]*. Stated that, at that time, he did not know that approval was needed because it attached to the house. Stated that he is framing in around all of the lattice work, which should be done at the end of the week. Stated that, originally, the lattice there was not framed.

Davis: Asked if the base of the deck was also replaced.

Sutherby: Confirmed, no.

Davis: Asked if that is still original.

Sutherby: Confirmed. Stated that all the posts and supports are original.

Davis: Asked if it has already been stained.

Sutherby: Confirmed, no.

Davis: Asked about the material of the lattice.

Sutherby: Stated that it is vinyl.

Rupert: Asked about the height – from the ground to the top of the deck.

Sutherby: Stated that it depends on where you are standing.

Rupert: Stated-- where the steps are.

Sutherby: Stated that it is three steps but it is really maybe eighteen to twenty inches tall.

Rupert: Stated that if it is over eighteen, the Building Department will not approve it without a railing.

Sutherby: Stated that he will go back and measure it.

Rupert: Stated-- before you have the final inspection, make sure you measure that and if it needs a railing, then you can add a railing. Stated that the Porch Fact Sheet has a description of the type of railing that is required.

Slagor: Stated that staff gave a Porch Fact Sheet to contractor Sutherby.

Sutherby: Acknowledged.

Rupert: Stated that a concern is the vinyl lattice.

Davis: Stated that the lattice would need to be wood or something other than vinyl/plastic.

Rupert: Asked if a water coating had been put on it.

Sutherby: Confirmed, no.

Rupert: *[Indicated reference to the photocopy of a "waterproof stain and sealer" can in the packet materials]*

Sutherby: Indicated that the can shows that a Russet color is what the applicant wishes to use.

[Discussion as to types of lattice materials which could be used]

Davis: Stated-- going forward, if you work on the exterior, make sure you come in before doing the work.

Sutherby: Stated that since he is changing the white vinyl out to being wood, that he will just stain it the same color as the deck.

[Commission acknowledged agreement]

Motion: Pettit: (second: Stevenson) moved to approve and issue a notice to proceed for the work at 53 E Forest as submitted in the application dated July 10, 2019 for the construction of a deck and pergola on the south elevation. The deck and pergola structure shall be built to specifications, with the condition that the current plastic skirting be replaced with wood or a compatible composite material. Deck skirting shall have an exterior frame. The structure shall be stained an opaque "Russet" brown. Skirting will be treated with the same opaque stain as the rest of the structure.

Secretary of the Interior Standards:

#9- Contemporary designs shall be compatible and shall not destroy significant original materials.

#10 – New work shall be removable.

Approval: Unanimous. Motion carried.

216 N Grove

**Window replacement.*

Applicant: Tzippy Schuster, contractor- not present.

Discussion: *[Commission reviewed and discussed the packet materials]*

Motion: Stevenson: (second: Schmiedeke) moved to deny the proposed work at 216 N Grove as submitted in the application dated July 10, 2019, as vinyl-clad windows are not appropriate in the Ypsilanti Historic District; per the HDC resolution passed October 11, 2016.

Approval: Unanimous. Motion carried

STUDY ITEMS

302 E Cross-- owner not present, no discussion.

216 S Washington

Applicant: Brett Mahaffey, representative for Renewal by Andersen

Discussion: Slagor: *[Staff passed out additional materials - copy of the original window proposal/pages from*

Davis: Asked applicant to begin.

Mahaffey: Stated that they replaced the two windows. Stated that they were able to widen the opening. Stated that the two windows that they did the work on were completely different than the ones on the front. Stated that the front of the house has cedar that runs down, where the ones on the side there have brick mold *[reference material]*. Stated that they did replace it as it was rotted but that they were able to go about just a little over an inch on each side and get the window in there.

Davis: Asked if they cut it on the inside as discussed with the Commission.

Mahaffey: Confirmed.

Davis: Asked if they would be able to do the same with the other windows, given the different material.

Mahaffey: Confirmed. Stated that with the double hung, there is approximately two or three inches on each side, so they could go wider. Stated that they did not do aluminum outside, per the discussion with the HDC. Stated that they did a mini trim to the brick wall which is about a quarter inch little reveal so that nothing is covered. Stated that it would be the same on the front. Stated that it is very minimal and is the same material as the window.

Rupert: Stated that this molding *[reference material]* matched almost identical to the molding on these side windows. Asked if they will maintain this when doing the front.

Mahaffey: Confirmed. Stated that it is just because that was brick mold. Stated that they will not touch the cedar. Stated that in cases where the sill might be rotted, they may have to replace the sill but it would be with wood.

Rupert: Asked if this will eventually be painted *[reference material]*.

Mahaffey: Confirmed.

Davis: Asked what was the condition of the windows on the inside, especially with the windows that were replaced.

Mahaffey: Stated that they were pretty bad.

[Continued discussion as to the condition of the windows]

Davis: Clarified that with the windows that were done, this discussion is now to see if the Commission would approve these for the remainder.

Mahaffey: Stated-- yes, and also to talk about what styles on the front of the house would

possibly be approved. Stated that there was discussion about these casement windows up front here *[reference material]* because they were completely falling apart. Stated that there is hardware missing and really nothing keeping them shut. Stated that they are more like hinged casement windows. Stated that the owner wanted to make the whole lower level all the same on both sides and the Commission stated a preference for the different styles rather than everything matching. Stated that with the upper grilles, the owner wanted them to be more uniform, where the Commission discussed possibly keeping it how it is with the different styles on the different levels and the grille patterns. Stated that he would like to clear that up also.

Davis: Asked if, with the windows that were done, he felt confident that the same procedure could be done with the other windows.

Mahaffey: Confirmed. Stated that they would just be double hung rather than gliders.

Schmiedeke: Asked if that is to be an exterior grille.

Mahaffey: Stated that it is a simulated full divided light, so it is interior, exterior and in between. Stated that on the second level, the owner does not want to make any changes. Stated that it is a two-over-three ratio, no grilles on the bottom glass. Stated that they want to mimic that up here *[reference materials]*. Stated that these windows are too small to do a two-over-three pattern, so it would be one-over-one. Stated that they wanted to eliminate the grilles on the lower sash to match the second-floor windows that have no grilles on the bottom sash.

[Discussion re: distinguishing characteristics of the house and their importance]

Rupert: *[Initiated discussion clarifying the different colored star information listed in the reference material]*

Davis: Indicated a preference to keep the grille patterns the same in all the windows, as they currently are.

Rupert: Indicated agreement.

[Further discussion differentiating the different windows; i.e., double hung/casement/hinged]

[Discussion re: window repair vs replacement]

Stevenson: Stated that the grille pattern should be left as is if there is replacement.

Schmiedeke: Indicated agreement.

Stevenson: Indicated a preference that the windows not be changed to double hung; that they be maintained as casements.

Davis: Indicated agreement that if they are going to be replaced, that they should stay as they are now in styles and grille pattern.

Pettit: Stated that especially these casements up front *[reference material]*, are a unique feature. Stated that when those are open, it is just one big opening with one partition between the two sets. Stated that that is special about this particular house.

Davis: Stated that the Commission would prefer to have the owner think deeply about repairing the windows.

Mahaffey: Stated that he will have the homeowner and installer present at the next discussion.

217 N River

Applicant: Gary Turner, owner

Discussion: Turner: Stated that he made a list of the things he wanted to get started with as he approaches this project. Stated that the plan is to restore the main house as much as possible, as is. Stated that the double hung windows are in terrible shape. Stated that he thinks he can restore enough of them to get the front façade, which is the east elevation, to be all original restored double hung, and the picture window in the front *[reference material]*. Stated that, beyond that, it would be difficult to get anymore restoration of complete units that would be in any way operable. Stated that the place is in bad shape but that the bones are good enough that he feels he can straighten it out, get a new roof on it. Stated that he would ultimately like to put an addition on the back.

[Discussion ensued re: proposed ideas, reference floor plan drawings]

Davis: Asked that with the idea of doing solar panels, why a metal roof.

Turner: Stated that the solar panels are not going to be a whole big part of the roof, proportionally. Stated that the metal roof adds a layer of quality to the overall profile and is an environmentally good way to go. Stated that the solar system clips right to the seams, so it is like a built-in system to integrate the solar.

Davis: Asked how he would feel about not doing the metal roof on the existing house but being able to on the addition.

Turner: Stated that his first reaction would be no, he would not like that. Stated that he likes how the roof can maybe unify it, even though understanding that he is adding on to a historic home. Stated that it is a really clean way to interface without getting into all the corner and the siding around the corner, to just bring it right up to the existing vertical outside corner aluminum. Stated that on the south side, it is going to match the reveal that is already established with the living room which will help to separate it.

[Discussion continued re: metal roofing, using HardiePanel, differentiating addition]

Stevenson: Stated that you want to have it compatible, so that the addition is compatible with the original structure, in terms of mass sizing and things like that. Stated that we also want to make sure that an average person could still look at the building and see that that is a more

modern addition put on an historic home, so that there is some differentiation between the two but that they are still compatible.

[Discussion continued re: differentiating addition]

[Discussion re: idea of a dormer, porch repair, staircase rebuild]

Davis: Stated that for approvals for the addition, the Commission will need a drawing that shows the window pattern and spec sheets for everything.

Turner: Asked if the roof is not going to be metal, if it would be an architectural shingle.

Davis: Confirmed.

Turner: Stated that he likes the permanence of the metal.

Stevenson: Stated that she would like to take a look at the property and think about whether that would be appropriate for this particular time period and style. Stated that metal roofs were used on some historic homes but not necessarily all historic homes.

[Discussion continued re: metal roofing/possible other options]

Davis: Suggested that more than one option be brought in with the formal application.

Turner: Asked if the proportion/size of the addition is generally acceptable.

Davis: Confirmed.

Turner: Stated-- just differentiating it enough that it's obviously not original but still integrated.

Davis: Confirmed.

Turner: Asked-- would it want to also be similar and integrated with the overall home or would that be a place where I could be more expressive.

Davis: Asked-- the garage or something new.

Turner: Stated-- something new.

Pettit: Asked-- in addition to.

Turner: Stated-- or to replace, potentially. Stated that this would be later.

Rupert: Stated that the Commission would have to see and review it.

ADMINISTRATIVE APPROVALS- none

OTHER BUSINESS

Property Monitoring

302 E Cross

Prebys: Discussed roof work that is being done.

39 E Cross

Davis: Discussed vinyl tarp sign being placed on the east side of the building, attached to the brick.

Slagor: Indicated that staff will look into it.

400 N River

Rupert: Discussed the progress of the work being done.

218 N Washington

Rupert: Indicated that the porch steps will be completed by the end of the week.

10 N Washington

Pettit: Discussed that the painting of the mural has begun.

317 W Cross

Davis: Discussed the mural previously approved by the HDC.

Commissioner Comments

Davis: Indicated that he will be moving on to the Planning Commission possibly in September.

AUDIENCE PARTICIPATION ON NON-AGENDA ITEMS—none

HOUSEKEEPING BUSINESS

Approval of the minutes of July 9, 2019

Motion: Rupert (second: Schmiedeke) moved to approve the minutes of July 9, 2019 as submitted.

Approval: Unanimous. Motion carried.

ADJOURNMENT

Chairperson Davis adjourned the meeting, citing the end of the agenda with no further items to discuss.

MEETING ADJOURNED at 8:21 p.m.