

1. Historic District Commission Regular Meeting

Documents:

[HDC OCTOBER 8, 2019 AGENDA.PDF](#)

[HDC OCTOBER 8, 2019 FULL PACKET.PDF](#)

CITY OF YPSILANTI
Agenda
Historic District Commission
Tuesday, September 24, 2019 - 7:00 p.m.
Ypsilanti City Hall, 1 S Huron St.
Ypsilanti, MI 48197

The Ypsilanti Historic District Commission works to safeguard Ypsilanti's built heritage by guiding development and renovation within the Historic District. Enabled by federal, state, and local legislation, the HDC seeks to stabilize and improve property values, to promote preservation education, and to develop the Ypsilanti Historic District as a vital living area.

An audio recording of the meeting will be made for the purpose of assisting in the preparation of official minutes only. Once the official minutes are approved the audio recording will be destroyed.

I. CALL TO ORDER AND ROLL CALL

Alex Pettit, Interim-Chair	P	A
Erika Lindsay	P	A
Hank Prebys	P	A
Ron Rupert	P	A
Jane Schmiedeke	P	A
Anne Stevenson	P	A
Amy Swift	P	A

II. APPROVAL OF AGENDA

III. PUBLIC COMMENTS ON AGENDA ITEMS

IV. PUBLIC HEARING—none

V. BUSINESS SESSION

A. OLD BUSINESS

1. 133 W Michigan Window Replacement

B. NEW BUSINESS

1. 200 W Michigan Storefront painting and hand-painted sign
2. 302 E Cross Revisit Timeline for Repair

C. STUDY ITEMS

D. ADMINISTRATIVE APPROVALS

1. 311 W Cross	Concrete porch replacement
2. 202 W Forest	Garage roof
3. 226 N River	Concrete sidewalk
4. 306 N Grove	Roof and soffit repair
5. 317 W Cross	Paint
6. 425 N Adams	Roof
7. 514 N Huron	Fence

E. OTHER BUSINESS

1. Property monitoring
2. Commissioner comments

VI. AUDIENCE PARTICIPATION ON NON-AGENDA ITEMS

VII. HOUSEKEEPING BUSINESS

1. Approval of meeting minutes, September 24, 2019

VIII. ADJOURNMENT

Secretary of the Interior's Standards for the Rehabilitation of Historic Structures

Developed by the U.S. Department of the Interior, the Standards provide a framework that guides protective decisions regarding historic structures. The Historic District Commission is required to cite applicable Standards with each formal decision it renders. It may also cite HDC Fact Sheets as part of its decision-making process.

1. Use property for original purpose or provide compatible use with minimal alteration.

A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

2. Do not destroy original character. Do not remove or alter historic material or features.

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

3. Do not imitate earlier styles.

Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

4. Preserve significant changes acquired over time.

Changes to a property that have acquired historic significance in their own right will be retained and preserved.

5. Preserve distinctive features.

Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

6. Repair, don't replace. Replacements shall match original.

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

7. Clean building gently—no sandblasting.

Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

8. Preserve archaeological resources.

Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

9. Contemporary designs shall be compatible and shall not destroy significant original material.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

10. New work shall be removable.

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

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New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



HDC Work Permit Staff Review

Property address: 133 W Michigan

Property History: The property includes the ca. 1907 Neoclassical-style building that was erected to house the First National Bank of Ypsilanti. In 1963 the bank exterior was “modernized” with a marbled first floor and “cheese grater” metal screened second floor. The original exterior was revealed in 1985, with restoration funds coming from a Downtown Façade Improvement Grant.

Date of Application: September 3, 2019

Date of Review: September 5, 2019

Date of Meeting: October 8, 2019

Proposed work: Replace 14 windows on the south elevation second story.

Materials: Weathershield Premium Series wood-framed aluminum-clad windows.

Staff review:

1. This application was reviewed as an action item on September 10, 2019. The item was tabled at the subsequent so that the applicant may look into additional window options that do not result in a loss of glass area. The application will be denied on procedural grounds if a decision cannot be reached by the October 22 meeting.
2. As of October 4, 2019, no additional materials or amendments had been submitted to staff.
3. The applicant is the recipient of a Downtown Development Authority Façade Rehabilitation Grant, and requires HDC approval to receive grant funding.
4. The applicant proposes replacing 14 wood-framed double-hung one-over-one windows on the second story of the south elevation.
5. Proposed replacements are Weathershield Premium Series wood sashes with aluminum cladding.

1. Use property for original purpose or provide compatible use with minimal alteration.

2. Do not destroy original character. Do not remove or alter historic material or features.

3. Do not imitate earlier styles.

4. Preserve significant changes acquired over time.

5. Preserve distinctive features.

6. Repair, don't replace. Replacements shall match original.

7. Clean building gently—no sandblasting.

8. Preserve archaeological resources.

9. Contemporary designs shall be compatible and shall not destroy significant original material.

10. New work shall be removable.

- a. The new windows will be colored to match the others on the building.
6. The applicant is requesting insert replacement so that the exterior window trim, that features a distinctive Toros (rounded) molding, can remain intact.
 - a. The contractor estimates a slight loss in glass area, totaling 1", on the width of the windows, and ¼" on the height.
 - b. The upper trim, may be removed ¼" on the upper and lower sashes to meet the height of the windows.
7. The contractor estimates that the average person would not notice the change in glass area.
8. The applicant states that the windows are so badly rotted that some have been boarded over to prevent their falling.
9. The applicant investigated restoring the windows over replacing, and the cost was \$3,900 per window for \$54,600 total, with a six-month time-frame to completion. Restoration is estimated at twice as much as replacement, which is \$26,000.

Recommended Motions:

Move to approve and issue a certificate of appropriateness for the work at 133 W Michigan as specified in the application, dated September 3, 2019, for the installation of 14 Weathershield Premium Series aluminum-clad wood windows on the second story of the south elevation. The distinctive rounded window molding is to be preserved as much as possible.

Relevant Secretary of the Interior's Standards:

#2, #6

Move to table the application for work at 133 W Michigan so the applicant may explore other window options that result in no reduction of glass area.

Prepared by:

Scott E. Slagor, Preservation Planner



**City of Ypsilanti
Historic District Commission
Work Permit Application**

One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646 • Fax: (734) 483-7260
www.cityofypsilanti.com

OFFICE USE ONLY

Date Filed:

Meeting Date:

Action Item/Study Item

To complete this application:

1. Complete this form.
2. Attach the following documents:
 - a. Photo(s) showing all locations where work is proposed (can be emailed).
 - b. Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components—this includes information from catalogues, professional quotes, or websites (can be emailed).
 - c. Dimensioned drawings of any new construction or modifications to existing structures, including awnings and signs.
 - d. A sketch plan, if proposal is for work on the grounds and not just the main structure (e.g., installing a new driveway, fence, or shed). This can be drawn on a scaled copy of a mortgage survey.
3. Applications and materials must be received by the Building Department **no later** than 4pm on the Tuesday one week prior to the meeting.

INCOMPLETE APPLICATIONS WILL NOT BE PLACED ON THE AGENDA

Property

Address

133 W MICHIGAN AVE

Applicant

**If applicant is not owner of property, a written statement from the owner authorizing this application must be included.*

Name

MICHIGAN HERITAGE, LLC./OWNER: RANDALL FABER

Address

PO BOX 3393

City

ANN ARBOR

State

MI

Zip

48106

Phone / Fax

E-Mail

Contractor

Contractor Name & Contact Info

Arbor Glass& Mirror LLC/Ryan@arborglassandmirror.com

Type of work☐ Roofing☒ Window/Door Replacement☐ Porches☐ Sign☐ Fence (or other sitework)☒ Painting☐ Other☐ Application Amendment

Complete Description of Proposed Work:

Replace 14 second floor windows on the west side of the building facing Washington Street, paint exterior wood trim. The windows have rotted frames and old interior hardware is not functional.

Windows selected by the contractor are Weathershield Premium Series aluminum wood clad windows. This was selected due to the size of the windows. Weathershield makes a window that is tall enough to fit the current window openings. Color selected will be a match to what is currently on the building.

1" less day light in total. Weather @ - most. 1/4" = height

Profiles different need allows to keep trim on outside

Materials (for paint include color chips or samples with application):

Permit Application Fee (action items only)

The fee is \$45 for the first \$3,000 in construction cost plus \$5 for every additional \$3,000 of construction cost. There is a flat fee of \$10 for painting only. *An additional fee of \$50 applies to HDC work started without the applicable permit.*

Construction Cost:

\$26,000

Permit fee:

\$45 + 38.5 = 83.50

Signature

I hereby attest that the above information is accurate. I am authorized to and grant permission to the City of Ypsilanti staff to be on the subject property for the purposes of preparing staff reports and/or evaluating this application.

I further affirm that this property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.

Signature:

Date:

8/27/2019

Print Name:

Randall S. Faber

If you have questions about what the HDC generally permits or does not permit, or what they need to see in an application to render a decision, please call the office at 734-483-9646 or view our factsheets online at cityofypsilanti.com/hd.

All other necessary approvals and permits must be acquired before beginning work.

Arbor Glass & Mirror, LLC
1271 Industrial Dr.
Suite 1
Saline, MI 48176 US
ryan@arborglassandmirror.com
http://www.arborglassandmirror.com

Estimate



ADDRESS

Michigan Heritage, LLC
PO Box 3393
Ann Arbor, MI 48106

SHIP TO

Michigan Heritage, LLC
Michigan Heritage
133 W. Michigan Ave
Ypsilanti, 48197
Ann Arbor, MI 48106

ESTIMATE #	DATE	
1443	02/14/2019	

ACTIVITY	QTY	RATE	AMOUNT
Labor Replace 14 second floor existing wood windows with Weathershield insert windows sandtone exterior to match existing and clear pine interior includes all labor and trim necessary to complete the project.	1	26,000.00	26,000.00

TOTAL

\$26,000.00

Accepted By

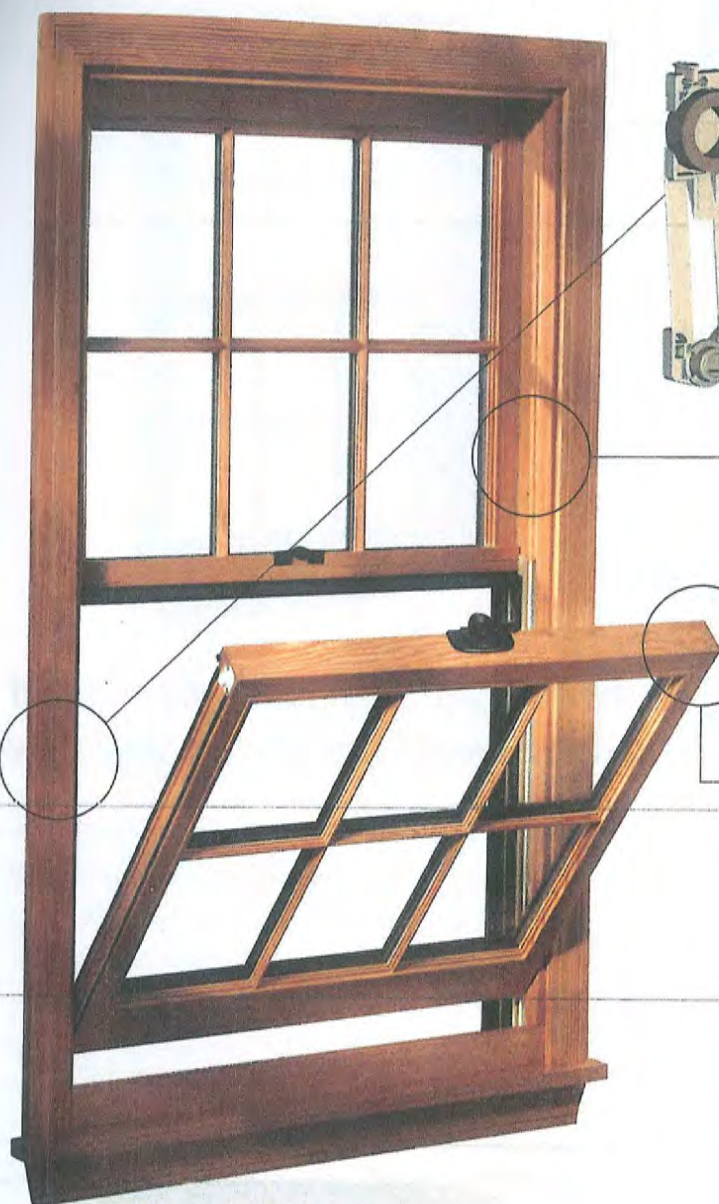
Accepted Date

Weather Shield Premium Series®

DOUBLE HUNG

Architecturally Inspired

TECHNOLOGICALLY ADVANCED



The **Symmetry Balance System®** takes all the work out of lifting the sash by eliminating the need for tension or balance adjustments. The result is a window that opens quietly, smoothly, and with very little effort.



Concealed Wood Jamb

The concealed jamb liner offers clean sightlines and is color matched to the unit; keeping the view beautiful both inside and out.



Concealed Tilt Release Latch

Tilt release latches recess into the lock rail leaving the sash clear of all visible latch hardware.

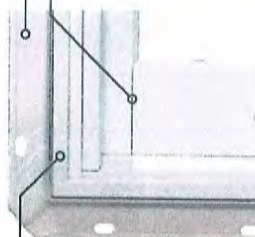


Integral Lock / Latch

The dual-action lock allows the sash to be unlocked and tilted with one hand.

Rigid, Integral Nailing makes installation easier and provides more durability than flimsy screw-in or fold-out fins found with other windows.

Butt-Jointed Cladding accurately mimics traditional wood windows.



3-1/2" Bottom Rail gives proper architectural proportions.

Extruded Aluminum Exteriors are very durable and virtually maintenance free. They stand up to the harshest elements, resist dents, dings, and scratches and will not rot.

Premium Series Double Hung

Shown with Douglas Fir interior and 5/8" Simulated Divided Lites (SDL)



OTHER STYLES IN THE FAMILY OF PREMIUM SERIES PRODUCTS



Casement



Awning



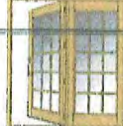
Double Hung



Double Slider



Special Shape



Hinged Patio Door



Sliding Patio Door



DOUBLE HUNG

Weather Shield Premium Series®

Aluminum Clad Wood Windows & Doors



Innovative designs matched with old world craftsmanship.

Weather Shield Premium Series® Double Hung Windows feature all the details of a historic wood windows, but with the latest in advanced innovations. From the architecturally correct proportions, to the flawless sightlines created by the wood jamb liner and hidden tilt latches, these double hungs are made for today's fine homes.

Discriminating homeowners, custom builders and architects also desire distinctive choices. Our Premium Series windows can be customized with many choices in interior wood species and factory finishes, exteriors colors, performance glass options, and accessories such as grilles and exterior trim.

From top to bottom, inside and out, the Premium Series offers unmatched style and options.

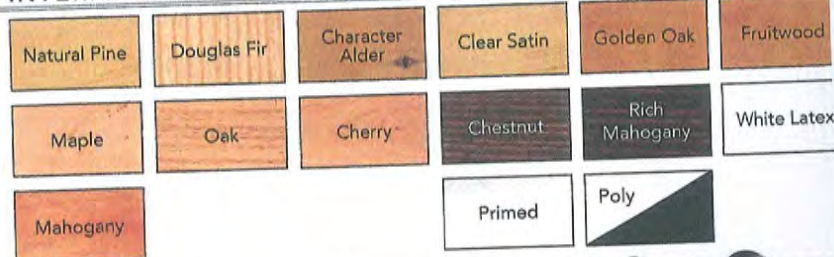


EXTERIOR FINISH OPTIONS*

High-Performance AAMA 2605 paint is standard on all Weather Shield Premium Series® Products



INTERIOR WOOD OPTIONS**



FACTORY FINISH OPTIONS**

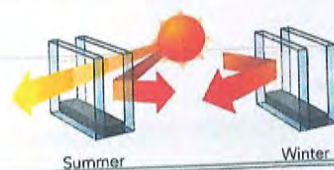
WINDOW HARDWARE OPTIONS

Premium Series Double Hung windows feature durable hardware and are available in your choice of five finishes.



GLAZING OPTIONS

Premium Series offers a multitude of glazing options designed to perform in any climate. From our standard insulated Low-e glass to our triple insulated Zo-e-shield® 7 glass, we have the performance you are looking for.



All Weather Performance

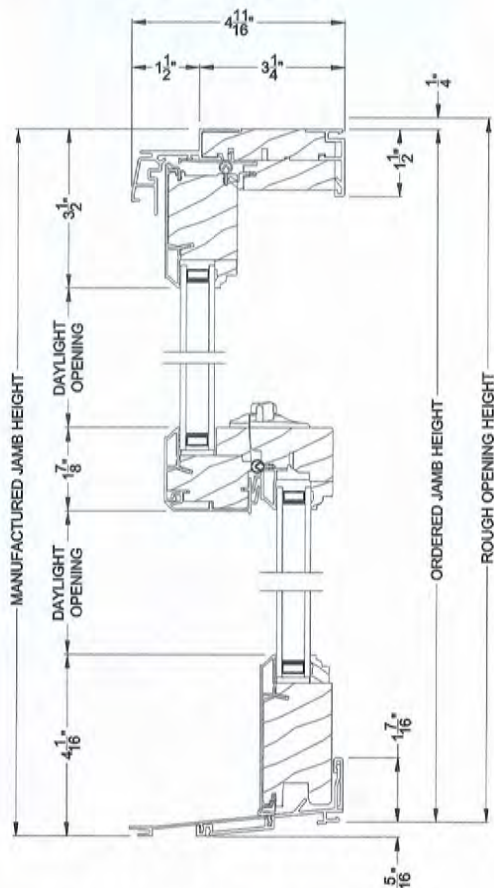
* Exterior finish options shown above may not be accurate representations. Actual color samples are available upon request.
** Interior finish options shown above are on pine wood species and may not be accurate representations.

Weather Shield®

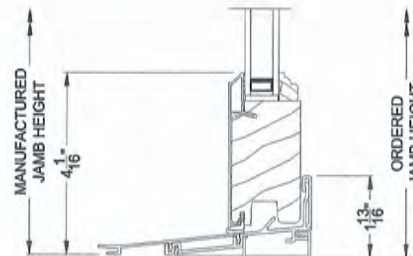
Premium Series™

Pocket Double Hung Windows

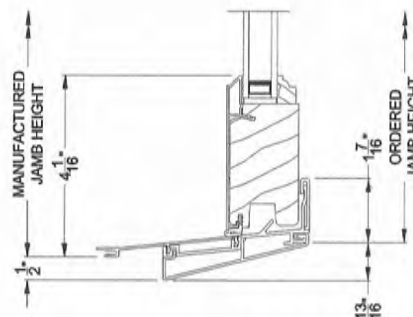
CROSS SECTION DETAILS



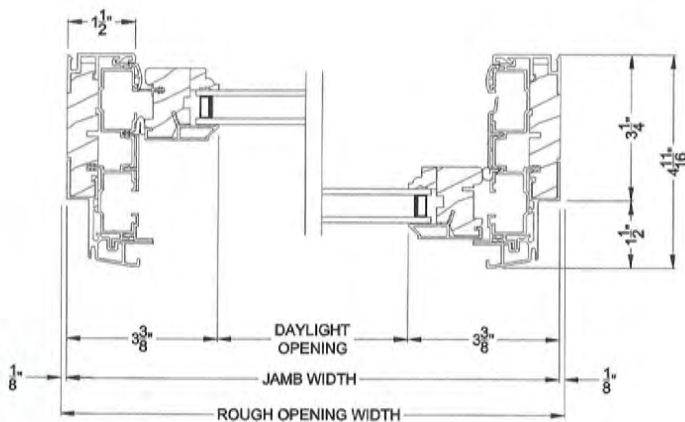
PREMIUM POCKET DOUBLE HUNG (8118)
Vertical Section - 0°-4° SILL



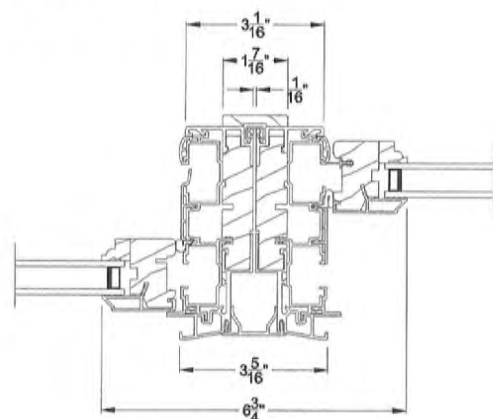
PREMIUM POCKET DOUBLE HUNG (8118)
Vertical Section - 0°-4° SILL



PREMIUM POCKET DOUBLE HUNG (8118)
Vertical Section - 10°-14° SILL



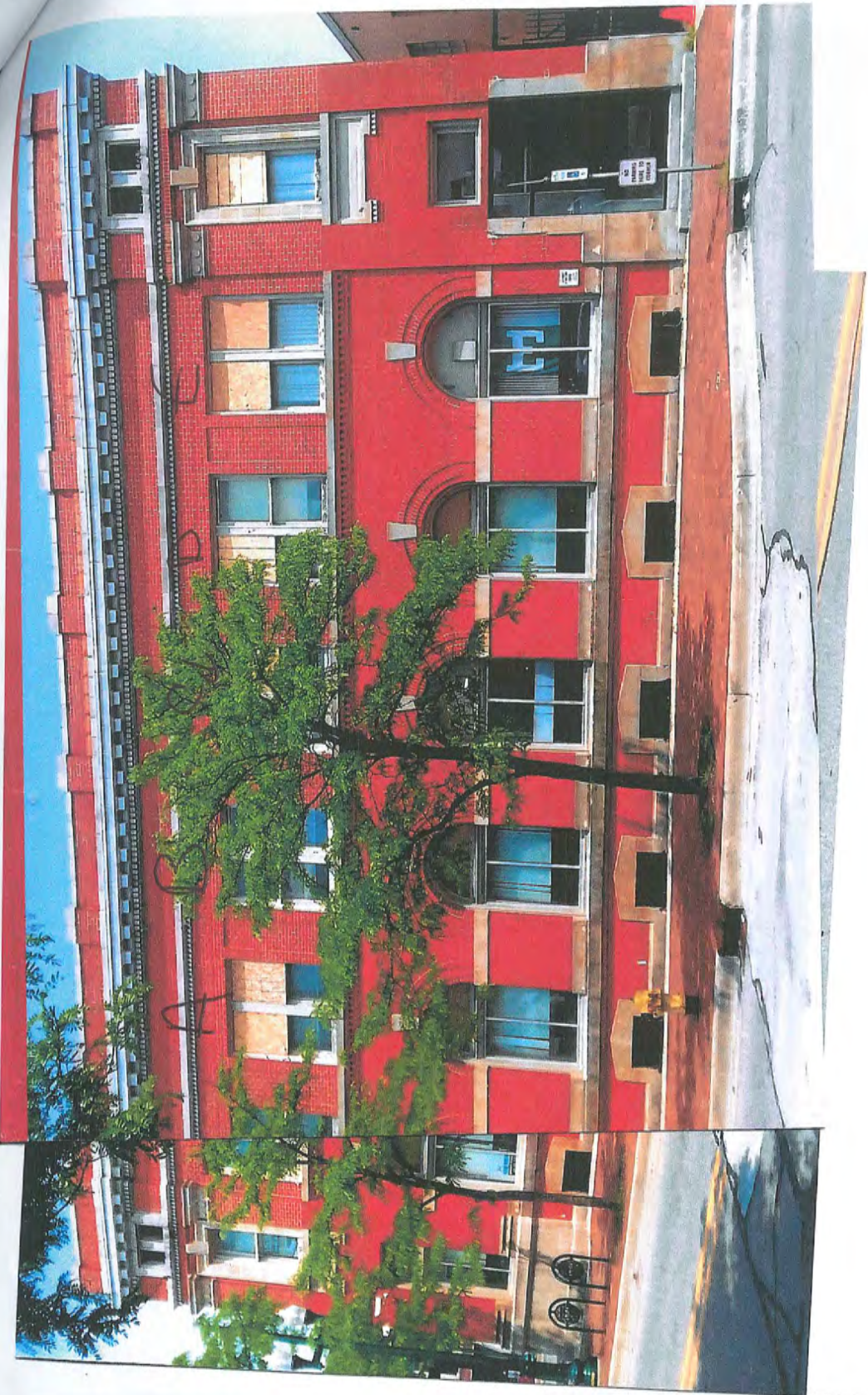
PREMIUM POCKET DOUBLE HUNG (8118)
Horizontal Section



PREMIUM POCKET DOUBLE HUNG WINDOW
Vertical Mull Section

Note: All dimensions are approximate. Weather Shield reserves the right to change specifications without notice.



















HDC Work Permit Staff Review

Property address: 200 W Michigan

Property History: 200 W Michigan is a large seven-storefront Italianate-style building was erected in 1879, known as the Union Block.ⁱ The building extends for four storefronts and has held a diverse variety of retail and services throughout its history; including a social hall for the International Order of the Odd Fellows hall on the second floor. The corner two storefronts historically served as an anchor for downtown shopping; housing such things as dry goods, grocery stores, shoe, and drug stores, before becoming Kresge's ca. 1921. Kresge's was a staple in downtown shopping. Some Ypsilantians believe that its closure in the mid-1960s led to the decline of downtown. Much of the building was vacant during the late twentieth century before being purchased and rehabilitated by Eric and Karen Maurer in 2002.ⁱⁱ The corner storefront most recently housed Bona Sera Restaurant and is soon to house another eatery, Bobcat Bonnies.

Date of Application: September 26, 2019

Date of Review: October 4, 2019

Date of Meeting: October 8, 2019

Paint the storefront and a new sign.

Materials: Paint.

Staff review:

1. The applicant proposes repainting the storefront trim and signboard black and adding hand-painted sign- see attached photos and renderings.
2. The sign is similar to that of the previous business.
3. Much of the work has already been completed.

Recommended Motions:

Move to approve and issue a certificate of appropriateness for the work at 200 W Michigan as specified in the application,

1. Use property for original purpose or provide compatible use with minimal alteration.

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3. Do not imitate earlier styles.

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5. Preserve distinctive features.

6. Repair, don't replace. Replacements shall match original.

7. Clean building gently—no sandblasting.

8. Preserve archaeological resources.

9. Contemporary designs shall be compatible and shall not destroy significant original material.

10. New work shall be removable.

dated September 26, 2019, for repainting the wood components of the storefront and signboard, and a hand-painted sign.

Relevant Secretary of the Interior's Standards:
#7, #9, #10

Prepared by:

Scott E. Slagor, Preservation Planner

ⁱ Robert O. Christensen, National Register of Historic Places Registration Form: Ypsilanti Historic District (Lansing: Bureau of History, 1988), 8-1.

ⁱⁱ Ypsilanti Historical Society Archival Subject Collections, Historic Home Tour, "29th Annual Historic home Tour" (Ypsilanti Heritage Foundation, 2006).



RECEIVED
SEP 26 2019
CITY OF YPSILANTI
BUILDING DEPARTMENT

**City of Ypsilanti
Historic District Commission
Work Permit Application**

One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646 • Fax: (734) 483-7260
www.cityofypsilanti.com

R. 26406
#1004
PHDC-19-0105

OFFICE USE ONLY

Date Filed:

Meeting Date:

Action Item/Study Item

To complete this application:

1. Complete this form.
2. Attach the following documents:
 - a. Photo(s) showing all locations where work is proposed (can be emailed).
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 - c. Dimensioned drawings of any new construction or modifications to existing structures, including awnings and signs.
 - d. A sketch plan, if proposal is for work on the grounds and not just the main structure (e.g., installing a new driveway, fence, or shed). This can be drawn on a scaled copy of a mortgage survey.
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INCOMPLETE APPLICATIONS WILL NOT BE PLACED ON THE AGENDA

Property

Address

200 W. Michigan Ave. Ypsilanti MI 48197

Applicant

**If applicant is not owner of property, a written statement from the owner authorizing this application must be included.*

Name

200 W. Michigan Ave. LLC

Address

City

Oak Park

State

MI

Zip

48237

Phone / Fax

E-Mail

Contractor

Contractor Name & Contact Info

Chris McCarthy 517-812-2564

Type of work

☐ Roofing

☐ Window/Door
Replacement

☐ Porches

☐ Sign

☐ Fence (or other sitework)

☒ Painting

☐ Other

☐ Application Amendment

Complete Description of Proposed Work:

Painting of wooden panels on facade of building displaying logo and company name.

Materials (for paint include color chips or samples with application):

Photos attached.

Permit Application Fee (action items only)

The fee is \$45 for the first \$3,000 in construction cost plus \$5 for every additional \$3,000 of construction cost. There is a flat fee of \$10 for painting only. *An additional fee of \$50 applies to HDC work started without the applicable permit.*

Construction Cost:

\$500.00

Permit fee:

~~\$45~~ + 0

= \$45

~~\$10.~~

Signature

I hereby attest that the above information is accurate. I am authorized to and grant permission to the City of Ypsilanti staff to be on the subject property for the purposes of preparing staff reports and/or evaluating this application.

I further affirm that this property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.

Signature:

Date:

9-26-19

Print Name:

Alexander Tucker

If you have questions about what the HDC generally permits or does not permit, or what they need to see in an application to render a decision, please call the office at 734-483-9646 or view our factsheets online at cityofypsilanti.com/hd.

All other necessary approvals and permits must be acquired before beginning work.

Scott Slagor

From: Alex Tucker [REDACTED]
Sent: Thursday, September 26, 2019 3:11 PM
To: Scott Slagor
Subject: Fwd: Portal

Follow Up Flag: Follow up
Flag Status: Flagged

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Correspondence with building owner authorizing painting below.

Hi Alex, As the owner of 200 West Michigan I give Bobcat Bonnie's permission to paint the front exterior of the building. signed, Karen Maurer

[REDACTED]

On Thursday, September 26, 2019, 10:58:22 AM EDT, Alex Tucker
<2548261392956944780_6366535795458045191_39f2a43cb83bc2865c569cee99130d33062fce37@maurermanagement.mailer.appfolio.us> wrote:

[REDACTED]

[REDACTED]

[REDACTED]











HDC Demolition by Neglect Staff Report- Update

Property Address: 302 E Cross

Property History

The building was constructed ca. 1880. Based on a 2013 HDC review letter, a series of three rear additions were removed as they were a public safety hazard. Internal background research did not reveal additional information on the property history.

Property Significance

The house contributes to the Ypsilanti Historic District under Criterion C, architecture. The house is a ca. 1880 “Late Victorian” style residence. It has the vernacular Gabled Ell form, but stylistic features that reflect Queen Anne and Gothic Revival styles.

Demolition by Neglect Timeline

- 8/23/2018 Notice to Appear sent to property owner to attend HDC meeting discussion on Demolition by Neglect (DBN).
- 9/11/2018 HDC found the property to be a case of DBN.
- Staff had advised to wait to establish a timeline until the Building Department had a chance to visit the structure.
- 2/26/2019 The owner was approved to reroof the house.
- 4/2019 Planning and Building Departments Staff toured the property with the owner.
- 5/14/2019 The HDC and owner agreed on a timeline for repair.

Timeline

The approved roof replacement will be completed by the HOC meeting scheduled for May 28, 2019; the HOC will also receive an update on the condition of the foundation at the May 28 meeting with foundation work to be complete by June 8, 2019; porch repair to be submitted as a study item at the June 11 or June 25, 2019 meeting; repair of windows, doors, and siding to be submitted as a study item at the July 9 or July 25, 2019 meeting. All proposed repairs to be completed by October 1, 2019.

Next Steps

The owner and HDC should agree on a timeline extension. To-date, there has been substantial work on the foundation and roof, although not yet complete.

Outstanding Items to be Addressed by Owner's Proposed Timeline

These items were identified by the Building Department as deterrents to the building's safety and structural integrity.

- Roof completion
- Foundation completion
- Damaged or missing siding
- Damaged windows and doors
- Deterioration of porches on the façade and west elevation, including porch decking, ceiling, and eaves

Recommended Timeline from Staff

- Have Roof and Foundation completed by November to ensure the building envelope is secure during the winter months.
- Have a plan for repair of the façade and south porches in-place by November.
- Over winter, the owner should assess what needs to happen to repair the siding and windows, and come with a study action item in January or February, so that it can be approved and work can begin in spring.
- Project complete by May, 2020, one year after the Demolition by Neglect process began.

Recommended Motions:

Move to accept the property owner's proposed timeline for repairs of the house at 302 E Cross as presented at the Historic District Commission Meeting on October 8, 2019. [*List repair items followed by date agreed upon*].

Move to table discussion of a timeline for repairs of the house at 302 E Cross so that the owner may provide the Historic District Commission additional information.



City of Ypsilanti
Historic District Commission
Work Permit Application

One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646 • Fax: (734) 483-7260
www.cityofypsilanti.com

OFFICE USE ONLY

Date Filed:

Meeting Date:

Action Item/Study Item

To complete this application:

1. Complete this form.
2. Attach the following documents:
 - a. Photo(s) showing all locations where work is proposed (can be emailed).
 - b. Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components—this includes information from catalogues, professional quotes, or websites (can be emailed).
 - c. Dimensioned drawings of any new construction or modifications to existing structures, including awnings and signs.
 - d. A sketch plan, if proposal is for work on the grounds and not just the main structure (e.g., installing a new driveway, fence, or shed). This can be drawn on a scaled copy of a mortgage survey.
3. Applications and materials must be received by the Building Department **no later** than 4pm on the Tuesday one week prior to the meeting.

INCOMPLETE APPLICATIONS WILL NOT BE PLACED ON THE AGENDA

Property

Address

311 W. Cross

Applicant

**If applicant is not owner of property, a written statement from the owner authorizing this application must be included.*

Name

Beverly Cement

Address

City

Ypsilanti

State

MI

Zip

48197

Phone / Fax

E-Mail

Contractor

Contractor Name & Contact Info

Beverly Cement

Type of work

☐ Roofing

☐ Window/Door
Replacement

☒ Porches

☐ Sign

☐ Fence (or other sitework)

☐ Painting

☐ Other

☐ Application Amendment

Complete Description of Proposed Work:

Remove 6 steps 9ft long and porch
46x7, remove walls of porch

Materials (for paint include color chips or samples with application):

Permit Application Fee (action items only)

The fee is \$45 for the first \$3,000 in construction cost plus \$5 for every additional \$3,000 of construction cost. There is a flat fee of \$10 for painting only. *An additional fee of \$50 applies to HDC work started without the applicable permit.*

Construction Cost:

\$13,000

Permit fee:

\$45 + 20 = \$65

Signature

I hereby attest that the above information is accurate. I am authorized to and grant permission to the City of Ypsilanti staff to be on the subject property for the purposes of preparing staff reports and/or evaluating this application.

I further affirm that this property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.

Signature:

Date:

9-16-19

Print Name:

John E. Beverly

If you have questions about what the HDC generally permits or does not permit, or what they need to see in an application to render a decision, please call the office at 734-483-9646 or view our factsheets online at cityofypsilanti.com/hd.

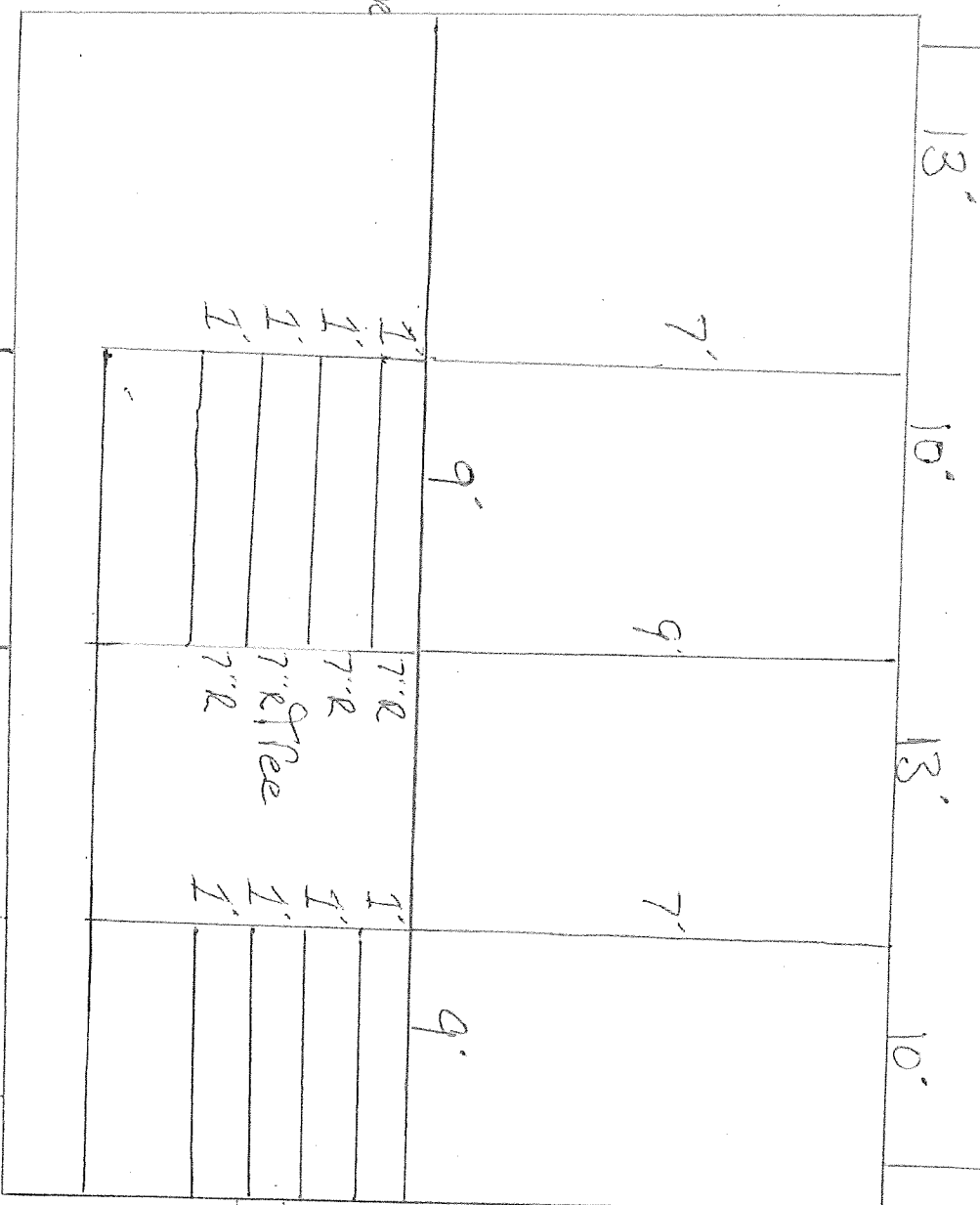
All other necessary approvals and permits must be acquired before beginning work.

House 311 Cross St. + 313

top of porch →

0

Every Cement
wall will be put back
with twelve inch
Blocks. All blocks
grouted with Cement
3 Rebar.



Height of
Porch - 32" - 36"
~~Finish~~
 $R = R_{rise}$
All Cement
with fibers & a
five bag mix.





City of Ypsilanti

Community and Economic Development

September 25, 2019

BEVERLY JOHNNY
PO BOX 980033
YPSILANTI, MI 48197

CERTIFICATE OF APPROPRIATENESS

RE: Work Permit Application (PHDC-19-0096) for a concrete porch replacement at 311 W CROSS

Dear BEVERLY JOHNNY,

Staff has reviewed the Historic District Work Permit Application for the above named address. Your application to rebuild the front porch has been **approved**. Specifically, approved work includes removal of the existing concrete porch, laying a new concrete block foundation and constructing a replacement concrete porch to specifications. Concrete shall have a natural finish and the original handrails shall be used. The new porch shall match the original as close as possible.

The following Secretary of Interior Standards were considered in approving your application:
#6 – Repair don't replace, replacements shall match originals.

This detailed letter takes the place of your presence at a Historic District Commission (HDC) meeting. Therefore, it is important that you read carefully and follow **all** guidelines. This approval is for the front porch only, which according to your application is the only work being performed at this time. Any additional work must be reviewed by the HDC. If you have any questions regarding this information please contact me at (734) 483-9646. **Approval by the Historic District Commission does not exempt you from nor can it be substituted for zoning or building department approval.**

Sincerely,

Scott E. Slagor, Preservation Planner
Community & Economic Development Department

CC: Property Owner - ELLER MICHAEL S & REBECCA S 22 N WASHINGTON YPSILANTI MI 48197
File
Building Department





RECEIVED

SEP 26 2019

CITY OF YPSILANTI
BUILDING DEPARTMENT

**City of Ypsilanti
Historic District Commission
Work Permit Application**

One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646 • Fax: (734) 483-7260
www.cityofypsilanti.com

OFFICE USE ONLY

Date Filed:

Meeting Date:

Action Item/Study Item

To complete this application:

1. Complete this form.
2. Attach the following documents:
 - a. Photo(s) showing all locations where work is proposed (can be emailed).
 - b. Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components—this includes information from catalogues, professional quotes, or websites (can be emailed).
 - c. Dimensioned drawings of any new construction or modifications to existing structures, including awnings and signs.
 - d. A sketch plan, if proposal is for work on the grounds and not just the main structure (e.g., installing a new driveway, fence, or shed). This can be drawn on a scaled copy of a mortgage survey.
3. Applications and materials must be received by the Building Department **no later** than 4pm on the Tuesday one week prior to the meeting.

INCOMPLETE APPLICATIONS WILL NOT BE PLACED ON THE AGENDA

Property

Address

202 West Fonnest

Applicant

**If applicant is not owner of property, a written statement from the owner authorizing this application must be included.*

Name

John Pavlovich

Address

[REDACTED]

City

Ypsilanti

State

MI

Zip

48197

Phone / Fax

E-Mail

[REDACTED]

Contractor

Contractor Name & Contact Info

Type of work

- ☒ Roofing
☐ Window/Door Replacement

- ☐ Porches
☐ Sign
☐ Fence (or other sitework)

- ☐ Painting
☐ Other
☐ Application Amendment

Complete Description of Proposed Work:

Re Roof tear off old shingles
Re install felt Roof Edge Guard
Install Dimensional shingles
Black 9 squares
Mansard style Roof

Materials (for paint include color chips or samples with application):

Black Dimensional shingles
to Match Main Building

Permit Application Fee (action items only)

The fee is \$45 for the first \$3,000 in construction cost plus \$5 for every additional \$3,000 of construction cost. There is a flat fee of \$10 for painting only. An additional fee of \$50 applies to HDC work started without the applicable permit.

Construction Cost:

\$1000.00

Permit fee:

\$45 + _____ =

Signature

I hereby attest that the above information is accurate. I am authorized to and grant permission to the City of Ypsilanti staff to be on the subject property for the purposes of preparing staff reports and/or evaluating this application.

I further affirm that this property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.

Signature:

[Redacted Signature]

Date:

9-25-19

Print Name:

John Pavlovich

If you have questions about what the HDC generally permits or does not permit, or what they need to see in an application to render a decision, please call the office at 734-483-9646 or view our factsheets online at cityofypsilanti.com/hd.

All other necessary approvals and permits must be acquired before beginning work.





City of Ypsilanti

Community and Economic Development

October 01, 2019

PAVLOVICH JOHN
615 N HURON
YPSILANTI, MI 48198

CERTIFICATE OF APPROPRIATENESS

RE: Work Permit Application (PHDC-19-0104) for Re-roofing at 202 W FOREST

Dear PAVLOVICH JOHN,

Staff has reviewed the Historic District Work Permit Application for the above named address. Your application to reroof the garage in dimensional black shingles has been **approved**. Ventilation shall be achieved through ridge and soffit vents, and the drip edge shall be white.

The following Historic District conditions must be followed in all roofing projects:

1. **Any decorative or unusual feature on the roof, trim or molding must be maintained.** Roof deck shall overhang sufficiently to accommodate duplication of any trim or molding.
2. **Shingles shall match the current shingles in color and material.** Must be asphalt or fiberglass traditional three-tab or dimensional (i.e. architectural).
3. **Metal work, drip edge, flashing vents, must have color either factory-applied or applied on site and must match the existing colors.** No raw material.
4. **Flashing must be inserted under siding.** Color must closely match the adjacent surface (either roof shingles or building trim).
5. **Roof venting shall be accomplished through the use of ridge vents.** If additional vents must be used to meet code requirements, vents shall have a flat profile and closely match the roof color. Can vents are prohibited unless deemed necessary for code compliance. Any new can vents must be placed at the rear of the structure and *must not* be visible from the street.
6. **Gutter straps must be installed under the roof shingles.** Downspouts must be located at the corners of the structure.

7. **Torches are not to be used at any time during installation.**

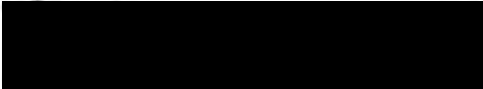
The following Secretary of Interior Standards were considered in approving your application:

#5 – Preserve distinctive features.

#10 – New work shall be removable.

This detailed list takes the place of your presence at a Historic District Commission (HDC) meeting. Therefore, it is important that you read carefully and follow **all** guidelines detailed in this letter. This approval is for re-roofing only, which according to your application is the only work being performed at this time. Any work on the gutters, fascia, soffits or trim must be reviewed by the HDC. If you have any questions regarding this information please contact me at (734) 483-9646. **Approval by the Historic District Commission does not exempt you from nor can it be substituted for zoning or building department approval.**

Sincerely,



Scott E. Slagor, Preservation Planner
Community & Economic Development Department

CC: Property Owner - PAVLOVICH JOHN 615 N HURON YPSILANTI MI 48198
File
Building Department



**City of Ypsilanti
Historic District Commission
Work Permit Application**

One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646 • Fax: (734) 483-7260
www.cityofypsilanti.com

OFFICE USE ONLY

Date Filed:

Meeting Date:

Action Item/Study Item:

To complete this application:

1. Complete this form.
2. Attach the following documents:
 - a. Photo(s) showing all locations where work is proposed (can be emailed).
 - b. Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components—this includes information from catalogues, professional quotes, or websites (can be emailed).
 - c. Dimensioned drawings of any new construction or modifications to existing structures, including awnings and signs.
 - d. A sketch plan, if proposal is for work on the grounds and not just the main structure (e.g., installing new driveway, fence, or shed). This can be drawn on a scaled copy of a mortgage survey.
3. Applications and materials must be received by the Building Department **no later** than 4pm on the Tuesday one week prior to the meeting.

INCOMPLETE APPLICATIONS WILL NOT BE PLACED ON THE AGENDA

Property

Address

226 N. River St., Ypsilanti, MI 48198

Applicant

**If applicant is not owner of property, a written statement from the owner authorizing this application must be included.*

Name

Christine Chie

Address

[Redacted Address]

City

Willis

State

MI

Zip

48191

Phone / Fax

[Redacted Phone/Fax]

E-Mail

[Redacted E-Mail]

Contractor

Contractor Name & Contact Info

self

Type of work

☐ Roofing

☐ Window/Door Replacement

☐ Porches

☐ Sign

☐ Fence (or other sitework)

☐ Painting

☒ Other

☐ Application Amendment

Complete Description of Proposed Work:

Remove old sidewalk and replacement of walk
at the back of the house

Materials (for paint include color chips or samples with application):

Will use a local cement company

Permit Application Fee (action items only)

The fee is \$45 for the first \$3,000 in construction cost plus \$5 for every additional \$3,000 of construction cost. There is a flat fee of \$10 for painting only. *An additional fee of \$50 applies to HDC work started without the applicable permit.*

Construction Cost:

Permit fee:

\$45 + _____ =

Signature

I hereby attest that the above information is accurate. I am authorized to and grant permission to the City of Ypsilanti staff to be on the subject property for the purposes of preparing staff reports and/or evaluating this application.

I further affirm that this property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.

Signature: 

Date:

9-25-2019

Print Name:

Christine Chie

If you have questions about what the HDC generally permits or does not permit, or what they need to see in an application to render a decision, please call the office at 734-483-9646 or view our factsheets online at cityofypsilanti.com/hd.

All other necessary approvals and permits must be acquired before beginning work.





City of Ypsilanti

Community and Economic Development

September 30, 2019

CHIE JOHN & CHRISTINE
10115 WILLOW ROAD
WILLIS, MI 48191

CERTIFICATE OF APPROPRIATENESS

RE: Work Permit Application (PHDC-19-0106) for a Sidewalk at 226 N RIVER

Dear CHIE JOHN & CHRISTINE,

Staff has reviewed the Historic District Work Permit Application for the above named address. Your application to remove and replace a concrete sidewalk between the house and garage has been **approved**.

The following Secretary of Interior Standards were considered in approving your application:

#9 – Contemporary designs shall be compatible and not destroy significant original material.

This detailed list takes the place of your presence at a Historic District Commission (HDC) meeting. Therefore, it is important that you read carefully and follow **all** guidelines detailed in this letter. This approval is for a new sidewalk only, which according to your application is the only work being performed at this time. Any additional work must be reviewed by the HDC. If you have any questions regarding this information please contact me at (734) 483-9646. **Approval by the Historic District Commission does not exempt you from nor can it be substituted for zoning or building department approval.**

Sincerely,

[Redacted Signature]
Scott E. Slagor, Preservation Planner
Community & Economic Development Department

CC: Property Owner - THE WILLOW PROPERTIES, LLC 10115 WILLOW RD WILLIS MI 48191
File
Building Department



**City of Ypsilanti
Historic District Commission
Work Permit Application**

One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646 • Fax: (734) 483-7260
www.cityofypsilanti.com

R2 6368 2049

PHDC-19-0097

OFFICE USE ONLY

Date Filed:

Meeting Date:

Action Item/Study Item

To complete this application:

1. Complete this form.
2. Attach the following documents:
 - a. Photo(s) showing all locations where work is proposed (can be emailed).
 - b. Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components—this includes information from catalogues, professional quotes, or websites (can be emailed).
 - c. Dimensioned drawings of any new construction or modifications to existing structures, including awnings and signs.
 - d. A sketch plan, if proposal is for work on the grounds and not just the main structure (e.g., installing a new driveway, fence, or shed). This can be drawn on a scaled copy of a mortgage survey.
3. Applications and materials must be received by the Building Department **no later** than 4pm on the Tuesday one week prior to the meeting.

INCOMPLETE APPLICATIONS WILL NOT BE PLACED ON THE AGENDA

Property

Address

306 N Grove

Applicant

**If applicant is not owner of property, a written statement from the owner authorizing this application must be included.*

Name

Philip C. Myers

Address

[Redacted]

City

Ypsilanti

State

MI

Zip

48198

Phone / Fax

[Redacted]

E-Mail

[Redacted]

Contractor

Contractor Name & Contact Info

Self

Type of work

- ☒ Roofing
☐ Window/Door Replacement

- ☐ Porches
☐ Sign
☐ Fence (or other sitework)

- ☐ Painting
☒ Other
☐ Application Amendment

Complete Description of Proposed Work:

Replaced missing & Rotted Bead Board on Soffits. HF How & Front
Porch. Replaced missing & Rotted Trim & Fascia on Porch & House.
Replac Roof on Porch with same material as main house.
Paint Soffit, Trim and Plaque Gray as Existing Trim color.
Replac Trim & Bead Board is Eastern White Pine.
Fascia Board will be Windsorone Preprimed Pine.

Roof: Tanko Heritage "Rustic Black" - approved on 6-21-2019

Materials (for paint include color chips or samples with application):

Permit Application Fee (action items only)

The fee is \$35 for the first \$3,000 in construction cost plus \$5 for every additional \$3,000 of construction cost. There is a flat fee of \$35 for painting only. *An additional fee of \$50 applies to HDC work started without the applicable permit.*

Construction Cost:

\$15,000

Permit fee:

\$35 + \$20 = \$55

Signature

I hereby attest that the above information is accurate. I am authorized to and grant permission to the City of Ypsilanti staff to be on the subject property for the purposes of preparing staff reports and/or evaluating this application.

I further affirm that this property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.

Signature:

[Redacted Signature]

Date:

Sept 10, 2019

Print Name:

Philip C. Myco

If you have questions about what the HDC generally permits or does not permit, or what they need to see in an application to render a decision, please call the office at 734-483-9646, email us at ckochanek@cityofypsilanti.com, or view our factsheets at cityofypsilanti.com/hd.

All other necessary approvals and permits must be acquired before beginning work.



MILL TOWN WOODWORKS

1111 SOUTH HENRY STREET
BAY CITY, MICHIGAN 48706
989-893-4570 FAX 989-893-6643
abdisplays@sbcglobal.net

N.A. MANS AND SONS
ATTN: MATT BOHLENDER/DIANA STANFORD
CANTON, MICHIGAN
PHONE: 734-714-5002
FAX: 734-714-5838

DATE: 09-09-19

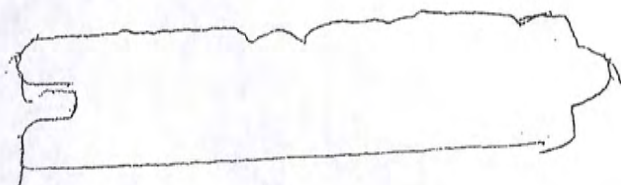
REFERENCE: QUOTATION (MYERS - EASTERN WHITE PINE CROWN, SPADE, PANEL)

DEAR MATT,

WE ARE PLEASED TO QUOTE THE FOLLOWING:

527 L.F. PAN-0000 (MATCH) 3/4" X 3-1/4" (3" FACE) EASTERN WHITE PINE
TONGUE & GROOVE BEADED PANELING
RANDOM STOCK

 DELIVERED



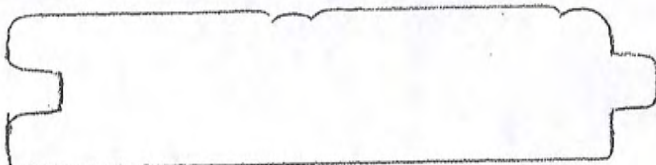
\$ 1963.65

OPTION ONLY:

527 L.F. PAN-3418 3/4" X 3-1/4" (3" FACE) EASTERN WHITE PINE
TONGUE & GROOVE BEADED PANELING
RANDOM STOCK

 DELIVERED

Prz Jan



\$ 1681.45







































SHERWIN-WILLIAMS 1033 09/11/19
734-482-0623 Order# 0159519

INTERIOR ARCHITECTURAL
COLOR TO GO LATEX
SATIN IFC 8012NP

exterior MATCH
Grade CUSTOM SHER-COLOR MATCH

CCE#COLORANT	OZ	32	64	128
B1-Black	-	13	-	1
R2-Maroon	-	-	1	-
Y3-Deep Gold	-	3	1	-

QUART EXTRA WHITE
A91W00451 650955941

Non Returnable Tinted Color

CAUTION: To assure consistent color, always order enough paint to complete the job and intermix all containers of the same color before application. Mixed colors may vary slightly from color strip or color chip.



0159519-001

213





City of Ypsilanti

Community and Economic Development

September 23, 2019

MEYERS PHILLIP C & ROSELYN
306 N GROVE
YPSILANTI, MI 48198

CERTIFICATE OF APPROPRIATENESS

RE: Work Permit Application (PHDC-19-0097) for Soffit, Fascia, and Roof Repair at 306 N GROVE

Dear MEYERS PHILLIP C & ROSELYN,

Staff has reviewed the Historic District Work Permit Application for the above named address. Your application to repair the soffit, fascia, and roof of the house and façade porch has been **approved**.

Specifically, approved work includes replacing missing and rotted bead board on the soffits of the roof and façade porch with eastern pine; replacing rotted or missing trim and fascia with Windsor One pre-primed pine, and replacing the porch roof with Tamko Heritage architectural singles in "rustic black," that were approved on June 21, 2019. The soffit and fascia shall be painted gray to match its existing color, in an exterior-grade paint with a satin finish.

The following Secretary of Interior Standards were considered in approving your application:

#6 – Repair, don't replace. Replacements shall match the original.

This letter takes the place of your presence at a Historic District Commission (HDC) meeting. Therefore, it is important that you read carefully and follow **all** guidelines detailed in this letter. This approval is for repair of soffit, trim, fascia, and the porch roof only, which according to your application is the only work being performed at this time. Any additional work must be reviewed by the HDC. If you have any questions regarding this information please contact me at (734) 483-9646. **Approval by the Historic District Commission does not exempt you from nor can it be substituted for zoning or building department approval.**

Sincerely,


Scott L. Stager, Preservation Planner
Community & Economic Development Department

CC: Property Owner - MEYERS PHILLIP C & ROSELYN 306 N GROVE YPSILANTI MI 48198
File
Building Department

One South Huron Street
Ypsilanti, MI 48197

Tel: (734) 483-9646
Fax: (734) 483-7260

www.cityofypsilanti.com



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8 11 2019

CI
BUIYPSILANTI
DEPARTMENT

City of Ypsilanti Historic District Commission Work Permit Application

One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646 • Fax: (734) 483-7260
www.cityofypsilanti.com

OFFICE USE ONLY

Date Filed:

Meeting Date:

Action Item/Study Item

To complete this application:

1. Complete this form.
2. Attach the following documents:
 - a. Photo(s) showing all locations where work is proposed (can be emailed).
 - b. Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components—this includes information from catalogues, professional quotes, or websites (can be emailed).
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 - d. A sketch plan, if proposal is for work on the grounds and not just the main structure (e.g., installing a new driveway, fence, or shed). This can be drawn on a scaled copy of a mortgage survey.
3. Applications and materials must be received by the Building Department **no later** than 4pm on the Tuesday one week prior to the meeting.

INCOMPLETE APPLICATIONS WILL NOT BE PLACED ON THE AGENDA

Property

Address

317 W. GROSS ST. Ypsi 48197

Applicant

**If applicant is not owner of property, a written statement from the owner authorizing this application must be included.*

Name

Melody J. Rye

Address

City

Ann Arbor

State

MI

Zip

48105

Phone / Fax

E-Mail

Contractor

Contractor Name & Contact Info

Cetreg

Type of work

- ☐ Roofing
☐ Window/Door
Replacement

- ☐ Porches
☐ Sign
☐ Fence (or other sitework)

- ☒ Painting
☐ Other
☐ Application Amendment

Complete Description of Proposed Work:

Paint Exterior. NORTH + WEST SIDE OF
BLDG - TRIM and Awning,
Paint edges where mural is.



Materials (for paint in _____) with application

Permit Application Fee (action items only)

The fee is \$45 for the first \$3,000 in construction cost plus \$5 for every additional \$3,000 of construction cost. There is a flat fee of \$10 for painting only. *An additional fee of \$50 applies to HDC work started without the applicable permit.*

Construction Cost:
\$ 550.00

Permit fee:
\$45 + _____ = 45.

Signature

I hereby attest that the above information is accurate. I am authorized to and grant permission to the City of Ypsilanti staff to be on the subject property for the purposes of preparing staff reports and/or evaluating this application.

I further affirm that this property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.

Signature: _____

Date: 9/30/19

Print Name: Melody Rye

If you have questions about what the HDC generally permits or does not permit, or what they need to see in an application to render a decision, please call the office at 734-483-9646 or view our factsheets online at cityofypsilanti.com/hd.

All other necessary approvals and permits must be acquired before beginning work.



City of Ypsilanti

Community and Economic Development

October 02, 2019

JOHNSON JAMES H & RYE MELODY
317 W CROSS
YPSILANTI, MI 48197

CERTIFICATE OF APPROPRIATENESS

RE: Work Permit Application (PHDC-19-0108) for Painting at 317 W CROSS

Dear JOHNSON JAMES H & RYE MELODY,

Staff has reviewed the Historic District Work Permit Application for the above named address. Your application to repaint the exterior of the building in a base of Sherwin-Williams "Shiitake," and trim of Sherwin-Williams "Deep Forest Brown" has been **approved**. The

The following Historic District conditions must be followed in all painting projects:

1. **The exterior surfaces shall be prepared in the gentlest means possible; no pressure washing or sandblasting.** If the building is to be washed, no greater pressure than that of a garden hose should be used.
2. **Historic unpainted surfaces shall not be painted.** Natural unpainted brick, stone, or wood shall not be painted.

The following Secretary of Interior Standards were considered in approving your application:

- #7 – Clean building gently- no sandblasting or pressure washing.
- #10 – New work shall be removable.

This detailed list takes the place of your presence at a Historic District Commission (HDC) meeting. Therefore, it is important that you read carefully and follow **all** guidelines detailed in this letter. This approval is for repainting only, which according to your application is the only work being performed at this time. Any additional work must be reviewed by the HDC. If you have any questions regarding this information please contact me at (734) 483-9646. **Approval by the Historic District Commission does not exempt you from nor can it be substituted for zoning or building department approval.**

Sincerely,

Scott E. Slagor, Preservation Planner
Community & Economic Development Department
CC: File; Building Department

One South Huron Street
Ypsilanti, MI 48197

Tel: (734) 483-9646
Fax: (734) 483-7260

www.cityofypsilanti.com

CROSS
STREET
COFFEE

ROASTED DAILY

FRIENDLY

FULL SERVICE

2ND





City of Ypsilanti
Historic District Commission
Work Permit Application

One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646 • Fax: (734) 483-7260
www.cityofypsilanti.com

B26396 11603
PHDC-19-0107
PRD6-19-0383

OFFICE USE ONLY

Date Filed:

Meeting Date:

Action Item/Study Item

To complete this application:

1. Complete this form.
2. Attach the following documents:
 - a. Photo(s) showing all locations where work is proposed (can be emailed).
 - b. Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components—this includes information from catalogues, professional quotes, or websites (can be emailed).
 - c. Dimensioned drawings of any new construction or modifications to existing structures, including awnings and signs.
 - d. A sketch plan, if proposal is for work on the grounds and not just the main structure (e.g., installing a new driveway, fence, or shed). This can be drawn on a scaled copy of a mortgage survey.
3. Applications and materials must be received by the Building Department **no later** than 4pm on the Tuesday one week prior to the meeting.

INCOMPLETE APPLICATIONS WILL NOT BE PLACED ON THE AGENDA

Property

Address

425 N. ADAMS ST.

Applicant

**If applicant is not owner of property, a written statement from the owner authorizing this application must be included.*

Name

M. H. S. S. & P. R. S. S.

Address

101 W. Big Beaver Rd. Suite 1400

City

TROY

State

Michigan

Zip

48064

Phone / Fax

248-494-6867

E-Mail

Contractor

Contractor Name & Contact Info

EACH S. II

Type of work

- ☒ Roofing
☐ Window/Door Replacement

- ☐ Porches
☐ Sign
☐ Fence (or other sitework)

- ☐ Painting
☐ Other
☐ Application Amendment

Complete Description of Proposed Work:

Strip & Resurf, House & Garage
1975

Arch Type, Comp, Insulated Single
Coated, Landmark
marble Black

Vent. ~~Bar~~ Vent Ridge Units

Drip Edge Black

Materials (for paint include color chips or samples with application):

Permit Application Fee (action items only)

The fee is \$45 for the first \$3,000 in construction cost plus \$5 for every additional \$3,000 of construction cost. There is a flat fee of \$10 for painting only. *An additional fee of \$50 applies to HDC work started without the applicable permit.*

Construction Cost:

9982.

Permit fee:

\$45 + 15 = \$60

Signature

I hereby attest that the above information is accurate. I am authorized to and grant permission to the City of Ypsilanti staff to be on the subject property for the purposes of preparing staff reports and/or evaluating this application.

I further affirm that this property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.

Signature:

Date:

Print Name:

T. L. Doyle

9-30-19

If you have questions about what the HDC generally permits or does not permit, or what they need to see in an application to render a decision, please call the office at 734-483-9646 or view our factsheets online at cityofypsilanti.com/hd.

All other necessary approvals and permits must be acquired before beginning work.





City of Ypsilanti

Community and Economic Development

October 01, 2019

MILLS SIDING & ROOFING
101 WEST BIG BEAVER RD
TROY, MI 48084

CERTIFICATE OF APPROPRIATENESS

RE: Work Permit Application (PHDC-19-0107) for Re-roofing at 425 N ADAMS

Dear MILLS SIDING & ROOFING,

Staff has reviewed the Historic District Work Permit Application for the above named address. Your application to reroof the house and garage with architectural shingles in black has been **approved**. The new roofs shall be vented with ridge vents and the drip edges shall be black.

The following Historic District conditions must be followed in all roofing projects:

1. **Any decorative or unusual feature on the roof, trim or molding must be maintained.** Roof deck shall overhang sufficiently to accommodate duplication of any trim or molding.
2. **Shingles shall match the current shingles in color and material.** Must be asphalt or fiberglass traditional three-tab or dimensional (i.e. architectural).
3. **Metal work, drip edge, flashing vents, must have color either factory-applied or applied on site and must match the existing colors.** No raw material.
4. **Flashing must be inserted under siding.** Color must closely match the adjacent surface (either roof shingles or building trim).
5. **Roof venting shall be accomplished through the use of ridge vents.** If additional vents must be used to meet code requirements, vents shall have a flat profile and closely match the roof color. Can vents are prohibited unless deemed necessary for code compliance. Any new can vents must be placed at the rear of the structure and *must not* be visible from the street.
6. **Gutter straps must be installed under the roof shingles.** Downspouts must be located at the corners of the structure.

7. **Torches are not to be used at any time during installation.**

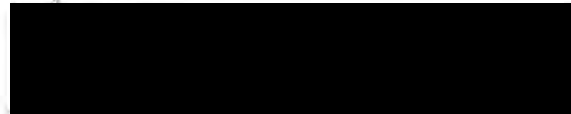
The following Secretary of Interior Standards were considered in approving your application:

#5 – Preserve distinctive features.

#10 – New work shall be removable.

This detailed list takes the place of your presence at a Historic District Commission (HDC) meeting. Therefore, it is important that you read carefully and follow **all** guidelines detailed in this letter. This approval is for re-roofing only, which according to your application is the only work being performed at this time. Any work on the gutters, fascia, soffits or trim must be reviewed by the HDC. If you have any questions regarding this information please contact me at (734) 483-9646. **Approval by the Historic District Commission does not exempt you from nor can it be substituted for zoning or building department approval.**

Sincerely,



Scott E. Siagor, Preservation Planner
Community & Economic Development Department

CC: Property Owner - HILL PROPERTY ENTERPRISES 150 LILLY VALLEY SALINE MI 48176
File
Building Department



RECEIVED
SEP 20 2019
CITY OF YPSILANTI
BUILDING DEPARTMENT

**City of Ypsilanti
Historic District Commission
Work Permit Application**

One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646 • Fax: (734) 483-7260
www.cityofypsilanti.com

OFFICE USE ONLY

Date Filed:

Meeting Date:

Action Item/Study Item

To complete this application:

1. Complete this form.
2. Attach the following documents:
 - a. Photo(s) showing all locations where work is proposed (can be emailed).
 - b. Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components—this includes information from catalogues, professional quotes, or websites (can be emailed).
 - c. Dimensioned drawings of any new construction or modifications to existing structures, including awnings and signs.
 - d. A sketch plan, if proposal is for work on the grounds and not just the main structure (e.g., installing a new driveway, fence, or shed). This can be drawn on a scaled copy of a mortgage survey.
3. Applications and materials must be received by the Building Department **no later** than 4pm on the Tuesday one week prior to the meeting.

INCOMPLETE APPLICATIONS WILL NOT BE PLACED ON THE AGENDA

Property

Address

514 N. Huron St

Applicant

**If applicant is not owner of property, a written statement from the owner authorizing this application must be included.*

Name

Stephen & Dorothy Smith

Address

[REDACTED]

City

Ypsilanti

State

MI

Zip

48197

Phone / Fax

[REDACTED]

E-Mail

[REDACTED]

Contractor

Contractor Name & Contact Info

Homeowner - Stephen M. Smith

Type of work

☐ Roofing

☐ Window/Door
Replacement

☐ Porches

☐ Sign

☒ Fence (or other sitework)

☐ Painting

☐ Other

☐ Application Amendment

Complete Description of Proposed Work:

Install wooden, dog-ear panel fence
just inside property lines in backyard property
at 514 N. Huron St. See attached lot survey and yard photos.
Panels will be opaque stained to match existing
rear property fence (owned by Rainbow Rehab on Forest Ave.)

Materials (for paint include color chips or samples with application):

See attached list from Menard's.

Permit Application Fee (action items only)

The fee is \$35 for the first \$3,000 in construction cost plus \$5 for every additional \$3,000 of construction cost. There is a flat fee of \$35 for painting only. *An additional fee of \$50 applies to HDC work started without the applicable permit.*

Construction Cost:

Permit fee:

\$35 + _____ =

Signature

I hereby attest that the above information is accurate. I am authorized to and grant permission to the City of Ypsilanti staff to be on the subject property for the purposes of preparing staff reports and/or evaluating this application.

I further affirm that this property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.

Signature:

Date:

9.20.19

Print Name:

Dorothy S. Smith

If you have questions about what the HDC generally permits or does not permit, or what they need to see in an application to render a decision, please call the office at 734-483-9646, email us at ckochanek@cityofypsilanti.com, or view our factsheets at cityofypsilanti.com/hd.

All other necessary approvals and permits must be acquired before beginning work.



STORE # 3322 ANAR
6405 Jackson Road
Ann Arbor, MI 48103

PHONE: (734) 997-0603
FAX: (734) 205-3938

PH06 19-0120

ANAR 74930

PICKING LIST - GUEST COPY



PAGE 1 OF 1

SOLD BY: DAVE C.
DATE: 06/02/19

GUEST NAME - ADDRESS - PHONE

Ph: () -
JOB DESC:

QUANTITY	DESCRIPTION	SKU NUMBER
34 EACH	4X4-10' AC2 GREEN TREATEDGROUND CONTACT	111-2227
31 EACH	6'X8' TRTD DOGEAR PANEL 5/8"X5-5/8" PKT	173-1145
45 EACH	CONCRETE MIX 60 LBS BAG	189-1030
2 EACH	3" CEDARTONE DECK SCREW M6LD003-CT-5LB	230-0330

**TO AVOID PRODUCT NOT BEING AVAILABLE ON A LATER DATE
PLEASE PICK UP ALL MERCHANDISE TODAY. THANK YOU.**

This is a quote valid today. Upon payment this quote becomes a yard picking list subject to the terms and conditions below. Quantities listed above may exceed quantities available for immediate pick-up. Product is not held for a specific guest, but instead is available to the buying public on a first come, first serve basis. Please pickup all purchases made on this picking list immediately. Failure to pick up products on this picking list today will result in additional charge to you if, on the day of pick up, the retail price of the products are higher than on the day purchased. Menards liability to you is limited to refunding your original purchase price for any product not picked up.

Guest Instructions:

1. Take this picking list to a cashier to pay for the merchandise.
2. Enter the outside yard to pick up your merchandise. (All vehicles are subject to inspection.)
3. Load your merchandise. (Menards Team Members will gladly help you load your materials but cannot be held liable for damage to your vehicle.)
4. When exiting the yard, present this list to the Gate Attendant. (The Gate Attendant will record the items you are taking with you.)
5. Sign the Gate Attendant's signature pad verifying you've received the merchandise.

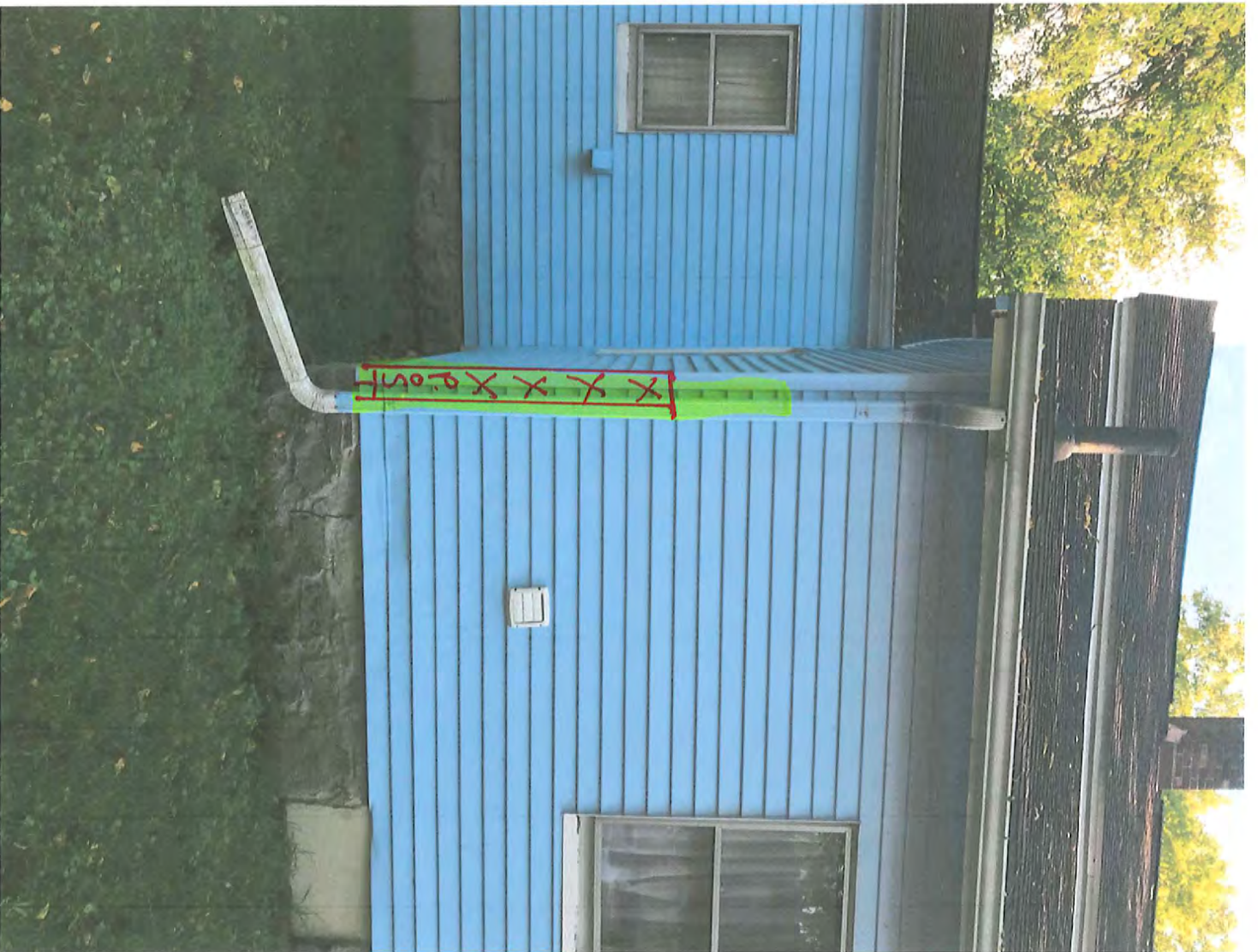
PRE-TAX TOTAL: 2,080.93

Our insurance does not allow us to tie down or secure your load, trunk lid, etc. For your convenience, we supply twine, but you will have to decide whether or not your load is secure and if the twine supplied is strong enough. If you do not believe the twine will suffice, stronger material can be purchased inside the store.

READ THE TERMS AND CONDITIONS CAREFULLY. All returns are subject to Menards' posted return policy. In consideration for Menards low prices you agree that if any merchandise purchased by you is defective, Menards will agree to exchange the merchandise or refund the purchase price based on the form of original payment. You agree that there shall be no other remedy available to you. If there is a warranty provided by the manufacturer, that warranty shall govern your rights and Menards shall be selling the product "AS IS." Oral statements do not constitute warranties, and are not a part of this contract. The guest agrees to inspect all merchandise prior to installing or using it. **UNDER NO CIRCUMSTANCES SHALL MENARDS BE LIABLE FOR ANY SPECIAL, INCIDENTAL, OR CONSEQUENTIAL DAMAGES. MENARDS MAKES NO WARRANTIES, EXPRESS OR IMPLIED, AS TO MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE OF THE MERCHANDISE.** Any controversy or claim arising out of or relating to this contract, or the breach thereof, shall be settled by arbitration administered by the American Arbitration Association under its applicable Consumer or Commercial Arbitration Rules, and judgments on the award rendered by the arbitrator(s) may be entered in any court having jurisdiction thereof. The guest agrees to these terms and conditions through purchase of merchandise contained on this document.

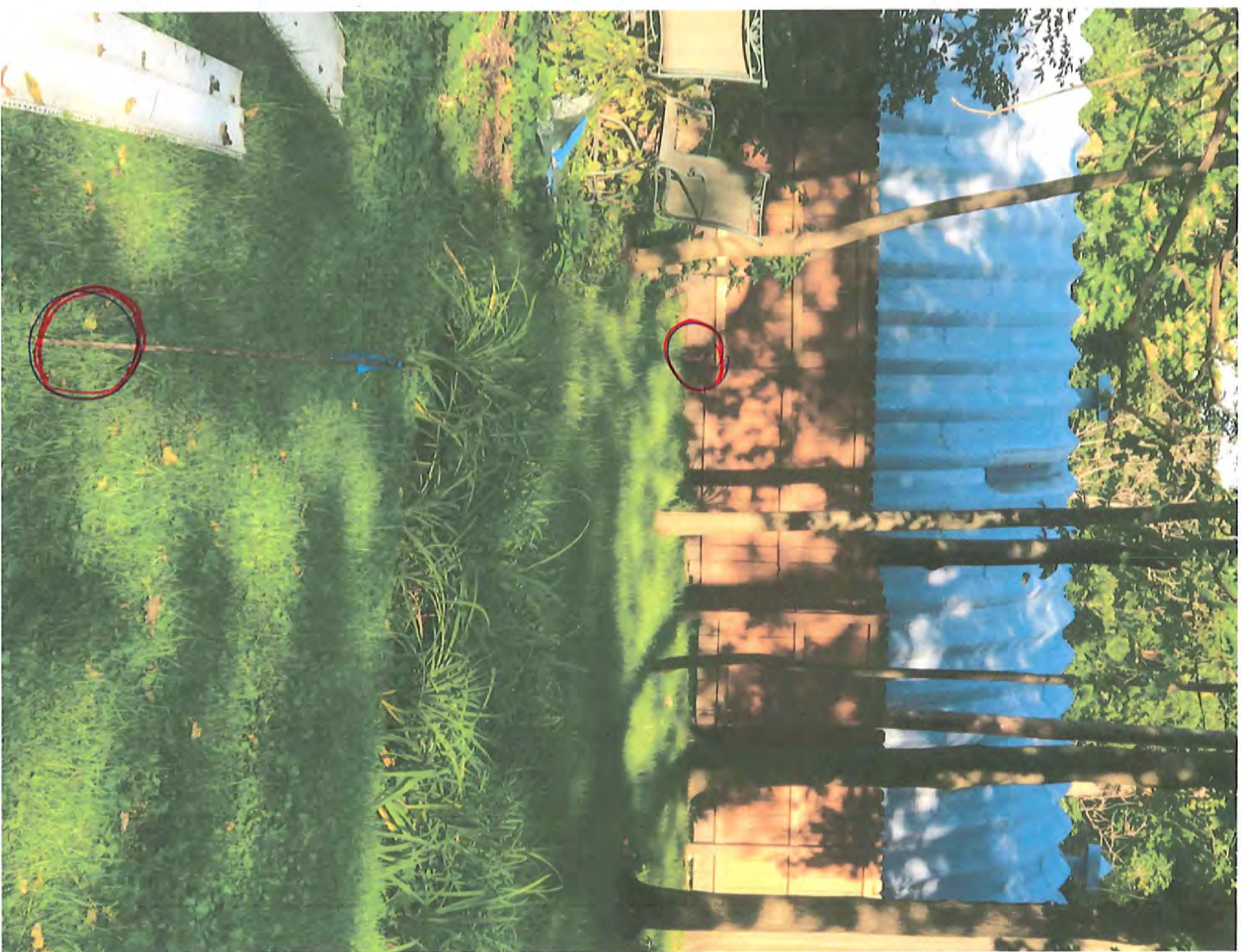
THIS IS NOT A RECEIPT GATE ATTENDANT-SCAN HERE ==>





North side of
house 514 N. Huron St

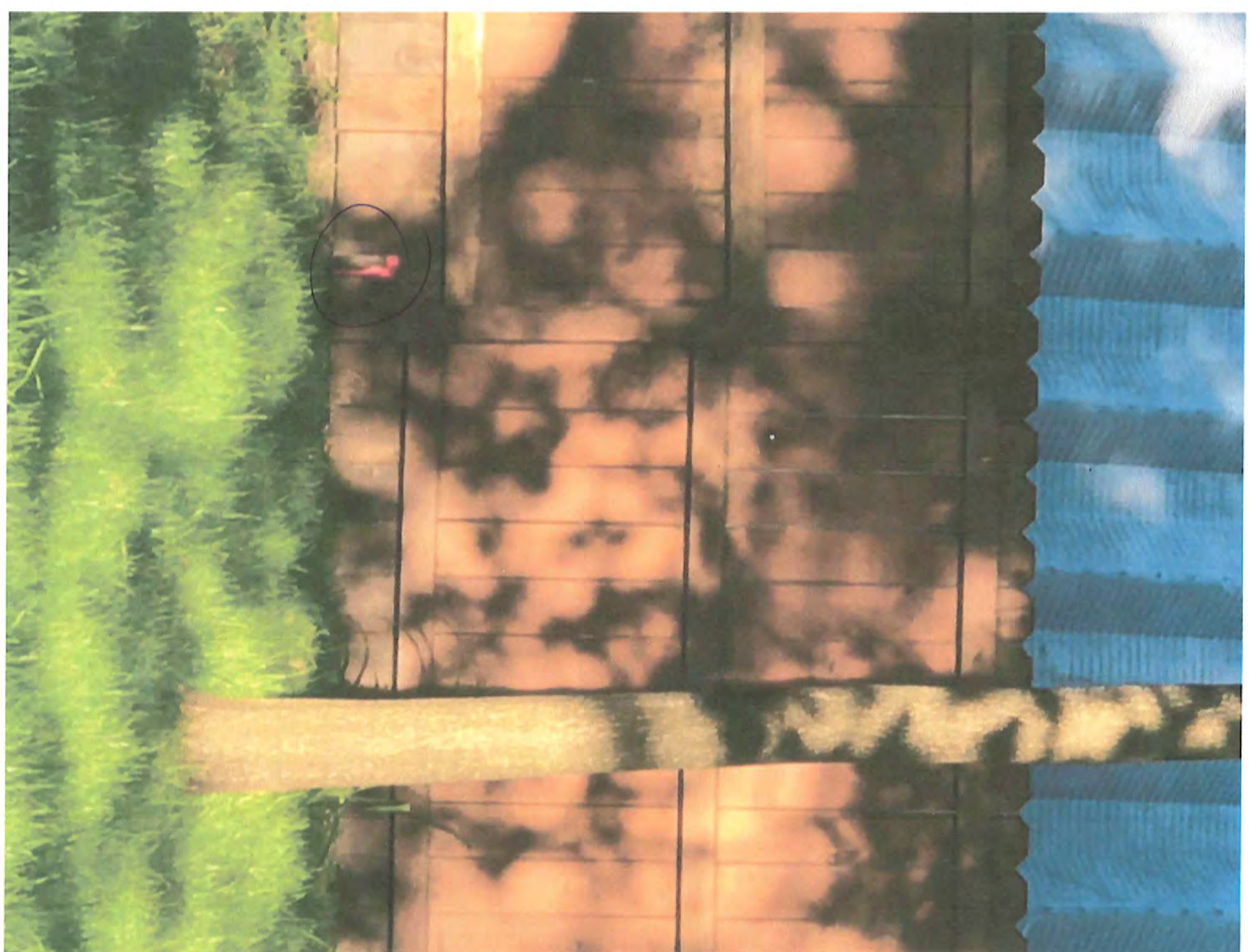
North side of
backyard
514 N. Huron
Survey stakes are
circled.



IMG-1767.JPG

9/17/2019

enlarged view
of survey stake at
end of backyard,
northside of property
514 N. Haven St.





South side of house
514 N. Huon St



South side of
backyard
514 N. Huron St
Survey stakes circled



Transparent

Highlight the natural beauty of wood with penetrating protection. Available in 4 colors.

Transparente

Resalta la belleza natural de la madera con protección que penetra. Disponible en 4 colores.



Honey Gold



Canyon Brown



Redwood Naturaltone



Cedar Naturaltone



Semi-Transparent

Freshen up the look of wood with a wash of subtle color. Available in 50 nature-inspired shades.

Semitransparente

Refresca la apariencia de la madera con un lavado de color sutil. Disponible en 50 tonos inspirados en la naturaleza.



Rusticana



Redwood Naturaltone*



Quiet Chamois



Ferret



Badlands Red



Cedar Naturaltone*



Simply Cedar



Monticello Tan



Potato Skin



Pinebark



Mixed Nuts



Cottage Gray



October Brown



Chocolate Chips



Hot Chocolate

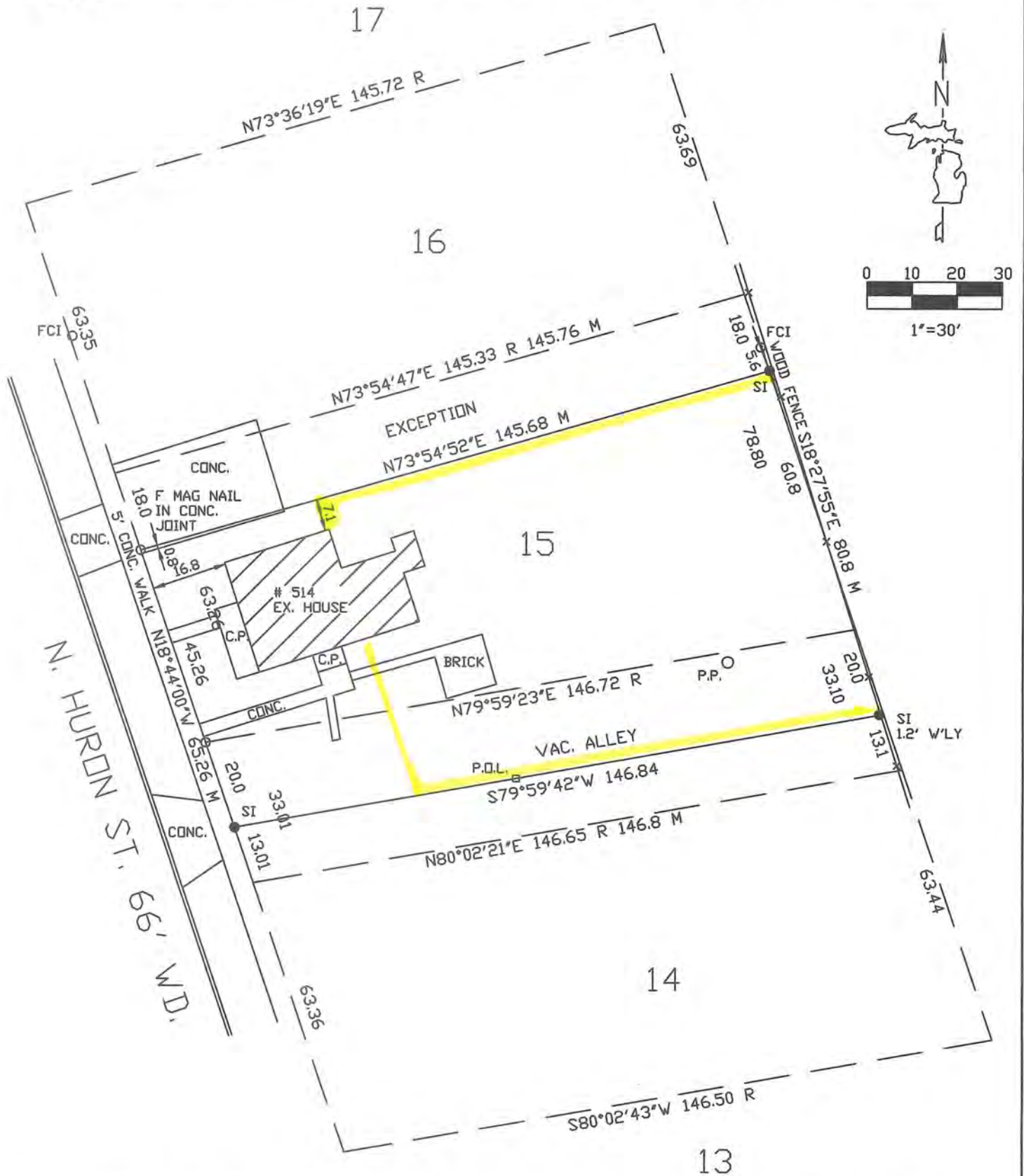


Found Fossil

*Find these popular colors on the shelf and ready to go. No tinting required.

LOT SURVEY

LOT 15, EXCEPT THE NORTH 18 FEET, ALSO THE NORTH 20 FEET OF THE VACATED ALLEY BETWEEN LOTS 14 AND 15 "ASSESSOR'S PLAT NO. 3" - CITY OF YPSILANTI, BEING PART OF FRENCH CLAIM 691, WASHTENAW COUNTY, MICHIGAN, AS RECORDED IN LIBER 9 OF PLATS, PAGE 31, WASHTENAW COUNTY RECORDS.



SURVEYOR'S CERTIFICATE - I HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED BY ME, OR UNDER MY DIRECT SUPERVISION, THAT I AM A PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF MICHIGAN.



LEGEND

- O = FI = Found Iron
- = SCI = Set Capped Iron
- ⊙ = FCI = Fnd. Capped Iron
- (R) = Recorded
- (M) = Measured

JOHN S. BLANCHARD P.S. #27446

S. SMITH

CLIENT:

APEX SURVEY
36554 GRANDON
LIVONIA MICHIGAN 48150
LAND SURVEYOR # 27446
(734) 634-3591
FAX (734) 421-1036

JOB #18-143	1"=30'
DATE 10-15-18	SCALE
DWG. BY MWD	BK PG
SHEET 1 OF 1	



City of Ypsilanti

Community and Economic Development

September 27, 2019

SMITH, STEPHEN M-DOROTHY S
514 N. HURON ST
YPSILANTI, MI 48197

CERTIFICATE OF APPROPRIATENESS

RE: Work Permit Application (PHDC-19-0102) for a Fence at 514 N HURON

Dear SMITH, STEPHEN M-DOROTHY S,

Staff has reviewed the Historic District Work Permit Application for the above named address. Your application to construct a fence has been **approved**. Specifically, approved work includes construction of a 6' tall dog-eared wood fence at the location specified in the application. The new fence may include a gate of the same style at the driveway. The fence shall be stained opaque in "Simply Cedar."

The following Secretary of Interior Standards were considered in approving your application:

- #9 – Contemporary designs shall be compatible and not destroy significant original material.
- #10 – New work shall be removable.

This detailed letter takes the place of your presence at a Historic District Commission (HDC) meeting. Therefore, it is important that you read carefully and follow **all** guidelines. This approval is for a fence installation only, which according to your application is the only work being performed at this time. Any additional work on the exterior of the property must be reviewed by the HDC. If you have any questions regarding this information please contact me at (734) 483-9646. **Approval by the Historic District Commission does not exempt you from nor can it be substituted for zoning or building department approval.**

Sincerely,


Scott E. Slagor, Preservation Planner
Community & Economic Development Department

CC: Property Owner - SMITH, STEPHEN M-DOROTHY S 514 N. HURON ST YPSILANTI MI 48197
File
Building Department



MINUTES

City of Ypsilanti
HISTORIC DISTRICT COMMISSION MEETING
Ypsilanti Historical Society – 220 N Huron Street
Ypsilanti, Michigan 48197

Tuesday, September 24, 2019
7:00 P.M.

CALL TO ORDER AND ROLL CALL

Alex Pettit Interim Chair 7:01 PM

Commissioners Present: Alex Pettit, Hank Prebys, Anne Stevenson, Erika Lindsay, Ron Rupert

Commissioners Absent: Jane Schmiedeke

Staff Present: Scott Slagor, Preservation Planner
Nancy Hare-Dickerson, Commission Recording Secretary

APPROVAL OF AGENDA

Slagor: Staff request to add 428 N Hamilton as an action item under New Business.
Staff request to add 311 W Cross as a study item.

Motion: Stevenson (second: Prebys) moved to approve the agenda as amended to add 428 N Hamilton as an action item under New Business and to add 311 W Cross as a study item.

Approval: Unanimous. Motion carried.

PUBLIC COMMENT ON AGENDA ITEMS

Re: 406 E Forest, 504 N Huron, 504 N River

Cameron Getto expressed support for the solar installation proposals.

PUBLIC HEARING—none

OLD BUSINESS

133 W Michigan

**The application for window replacement was moved to the end of the agenda as the applicant was not present.*

NEW BUSINESS

410-412 Maple

** Balcony/Porch reconstruction.*

Applicant: Gary Turner, contractor- present.

Discussion: Pettit: Indicated that applicant was before the Historic District Commission as a study item at the September 10th meeting. Asked applicant to briefly update the Commission on what is proposed.

Turner: Stated that it is an existing side porch on the existing residence. Stated that the southeast corner is dilapidated from water damage and that drastic repairs are needed. Stated that the proposal is to fix any structural problems, replace any damaged trim and restore as is, same-for-same. Stated that the only change would be the roofing. Stated that it is a walk-out balcony and that a polyurethane pedestrian walkway system is proposed that is not visible from anywhere but on the balcony itself. Stated that it is well described in the drawings, full plans, elevations, notes and details.

[Commissioners reviewed/discussed materials]

Motion: Prebys (second: Rupert) moved to approve and issue a certificate of appropriateness for the work at 410-412 Maple as specified in the application, dated September 5, 2019, for the repair and reconstruction of components to the east porch. The repairs shall be made to specifications, and the new exterior components painted to match the house.

Secretary of the Interior Standards:

#6 – Repair, don't replace, replacements shall match the original.

Approval: Unanimous. Motion carried.

102 N Hamilton

**Vinyl porch enclosure.*

Applicant: Sharonda Simmons, Ozone House representative; Jan Culbertson, architect- present.

Discussion: Pettit: Asked applicant to walk the Commission through what is being proposed.

Culbertson: Indicated that they were present as a study item at the August 27th meeting.

Simmons: *[Reiterated the reasons for the proposed enclosure as indicated at the August 27th HDC meeting; i.e., expansion, safety]*

Culbertson: Stated that they met with Marygrove Awning and discussed how to do it simply and economically. Stated that the proposal is to do four panels on the inside of the porch. Stated that there would be a two-by-two mill finish frame around it. Stated that some of them might be one-by-two. Stated that it would be the clear on the top and that it would be seamed *[reference materials]*. Stated that the rail and below would be the yellow and that the yellow is slightly brighter than the siding. Stated that she took a photo of the sample behind the rail and that it would actually be a couple of inches further back than it is in the photograph *[photograph passed]*

to commissioners for review]. Stated that the reason for having that vinyl on the lower part is because it is much sturdier than the clear vinyl.

Rupert: Asked if that is a metal *[reference diagram]*.

Culbertson: Confirmed. Stated that they do have to put a metal in the center. Stated that the idea would be to align that with one of the rails below *[reference diagram]*.

Motion: Prebys (second: Stevenson) moved to approve the issuance of a certificate of appropriateness for work at 102 N. Hamilton for installation of a vinyl weather barrier, with the understanding that the weather barrier is a removable feature of the building and increases usability in the winter.

Secretary of the Interior Standards:

#3 – Do not imitate earlier styles.

#9 – Contemporary designs shall be compatible and shall not destroy significant original materials.

#10 – New work shall be removable.

Approval: Unanimous. Motion carried

406 E Forest

**Solar panel installation.*

Applicant: Kelly McRae, owner; Amy Strutz, contractor- present.

Discussion: Pettit: Indicated that applicant was before the Historic District Commission as a study item at the September 10th meeting. Asked applicant to briefly update the Commission on what is proposed.

Strutz: Stated that the plan is for roof-mounted panels on the east, west and also on the south. Stated that they will be surface mounted. Stated that they will be all black. Stated that they will all be facing the rear of the house and that none will be visible from the front. Stated that it is highly likely that these rails *[reference materials]* will need to become more structural to provide some lateral support.

Pettit: Asked what is meant by “more structural”.

Strutz: Stated that it would be possibly a two-by-six. Stated that possibly the homeowner will decide to put actual rails there. Stated that, minimally, it would need to be attached to the house and to the post. Stated that the rails that are currently there do not attach but that they exist. Stated that the material may not be sound enough to reuse. Stated that the plan would be to mimic the existing.

[Review and discussion of materials]

Stevenson: Asked if it would just be replacing with in-kind materials.

Strutz: Confirmed. Stated that it would need to be very nominally longer so that it attaches to the house and to the post.

[Continued review and discussion of materials]

Lindsay: Asked that a Porch Fact Sheet be given to applicant in case a decision is made to add more. *[Staff complied]*

Strutz: Acknowledged.

Motion: Stevenson (second: Rupert) moved to approve and issue a certificate of appropriateness for work at 406 E Forest Street for the installation of solar panels as presented in the application, noting that there will be some in-kind repair on the back-porch railings, with a small extension so the panels can attach to the house and posts.

Secretary of the Interior Standards:

#3 – Do not imitate earlier styles.

#9 – Contemporary designs shall be compatible and shall not destroy significant original materials.

Approval: Unanimous. Motion carried.

504 N Huron

**Solar panel installation.*

Applicant: Amy Strutz, contractor- present.

Discussion: Pettit: Asked applicant to walk the Commission through the application.

Strutz: Stated that it is a carport in the rear of the house. Stated that it is surface mount in the same plane as the carport. Stated – all black solar panels.

Prebys: Asked if they go on the carport.

Strutz: Confirmed.

[Review and discussion of materials]

Motion: Prebys (second: Stevenson) moved to approve and issue a certificate of appropriateness for work at 504 N Huron Street for the installation of solar panels as presented.

Secretary of the Interior Standards:

#3 – Do not imitate earlier styles.

#9 – Contemporary designs shall be compatible and shall not destroy significant original materials.

Approval: Unanimous. Motion carried.

504 N River

**Solar panel installation.*

Applicant: Amy Strutz, contractor- present.

Discussion: Pettit: Asked applicant to walk the Commission through the application.

Strutz: Stated that this is engineered and designed combining both racking engineering and architectural engineering to create a suitable surface and cover for the porch area. Stated that it is not a full cover. Stated that it is permeable along the vertical seams. Stated that the horizontal seam will be sealed with black solar seal. Stated that the frame *[reference sample]* is required to be heavier-duty in order to keep it simplified and not have lots of posts.

Pettit: Stated that there was a fair amount of discussion about the detached arrangement there *[reference materials]*.

[Review and discussion of reference materials]

Rupert: Asked if this is being done because of the positioning of the house *[reference materials]*.

Strutz: Stated that the positioning of the house, the trees in the front and the angle of the house roof make it not adaptable to an east/west. Stated that if it was a shallow pitch, it would be good with east but that it is a really steep pitch. Stated that a microinverter is being used on this one. Stated that it would be panel mounted on the back side of the panel.

[Discussion re: the routing of the wiring]

Motion: Rupert (second: Stevenson) moved to approve and issue a certificate of appropriateness for work at 504 N River to install a semipermeable porch cover with Solar panels 4" x 4" wood posts attached to 2" x 6," wood painted to match the house in SW 7032, Warmstone, concrete pads, galvanized post base and 2" by 6" Simpson LUC 26 Z concealed fact mount hanger.

Secretary of the Interior Standards:

#3 – Do not imitate earlier styles.

#9 – Contemporary designs shall be compatible and shall not destroy significant original materials.

Approval: Unanimous. Motion carried.

302 E Cross

**The demolition by neglect timeline for repair extension was moved to the end of the agenda as the applicant was not present.*

428 N Hamilton

**Fence installation.*

Applicant: Jason Tallant, owner- present.

Discussion: Pettit: Asked applicant to walk the Commission through what is planned.

Tallant: Indicated that he had an unexpected dog move in to the home which necessitated repair

of missing fence panel that was on the back of the house. Stated that he had some left-over materials - cedar post and trim which he used to quickly put up a fence. Stated that the request is for a variance for the materials of a five-foot-wide fence, cedar, with metal corrugated panels.

Pettit: Asked if applicant could discuss the amount of fencing and the location of the fencing.

Tallant: Stated that there is a map below the picture *[reference materials]*. Stated that it is on the alley of the house, not in front of the house. Stated that it is approximately a six-foot-wide section of fence between the neighbor's fence on Olive and the garage in the back of the house.

Lindsay: Asked if it is the blue line *[reference materials]*.

Tallant: Confirmed. Stated that the small blue line *[reference materials]* is the existing new fence. Stated that there is currently a wire fence in the back, in red *[reference materials]*. Stated that he did not remove that. Stated that the picture is what is currently in place. Stated that, if approved, then he would ask to finish the back half of the alley in the same design.

Prebys: Asked if applicant has a Fence Fact Sheet.

Tallant: Confirmed.

[Discussion as to the Fence Fact Sheet, proposed fence location, proposed materials]

Lindsay: Asked if those two end posts are four-by-four posts *[reference materials]* and if they are in the ground.

Tallant: Confirmed.

[Review of materials/discussion continued]

Tallant: Stated that he could remove all of the horizontal structure that is on the front face, keep the existing back horizontal structure and then put traditional five-foot-tall flats as a replacement and then subsequently paint them.

[Discussion as to appropriate alternatives]

Tallant: Stated that he was looking for something that created a bit more of a barrier to the alley. Stated that the horizontal shadow box or vertical slats would be good. Stated that he would prefer the horizontal.

Motion: Lindsay (second: Rupert) moved to approve and issue a certificate of appropriateness for work at 428 N Hamilton as specified in the application dated September 13, 2019, for the installation of a 6' tall cedar fence with the changes discussed, which include horizontal shadow box panels, with the condition that the wood is painted or stained an opaque color.

Secretary of the Interior Standards:
#3 – Do not imitate earlier styles.

#9 – Contemporary designs shall be compatible and shall not destroy significant original materials.

#10 – New work shall be removable.

Approval: Unanimous. Motion carried.

STUDY ITEMS

311 W Cross

**Concrete porch replacement*

Applicant: Mike Eller, owner; John Beverly, contractor; Zachariah Beverly, contractor – present

Discussion: Eller: Stated that he would like to do a replacement of what is there.

Prebys: Asked for clarification of “what is there”.

Eller: Stated that it is an all-cement steps and porch, the full width of the house. Stated that it has been crumbling for some years. Stated that the stairs and porch would be put back in. Stated that the porch would be under thirty inches in order to stay away from having to put in a handrail around the porch. Stated that there are original black pipe handrails going up the middle of the stairwell *[reference photo materials]*.

Rupert: Stated -- which are acceptable.

Eller: Stated that they did hang on to those. Stated that there is about a four/four-and-a-half-inch step-up into each apartment. Indicated that it is his understanding that that is acceptable because they are private entrances into each apartment rather than into a common hall.

Stevenson: Asked if, in terms of the knee walls, for example, they would be put back as they were. Asked if any changes are planned in terms of stair height or appearance.

J. Beverly: Indicated that the plan is to remove the steps, then put them back, and then removing the wall.

Eller: Stated -- these walls along the side *[reference photo materials]*.

Stevenson: Asked if the walls are going to be put back.

J. Beverly: Confirmed. Stated -- with block.

Stevenson: Asked -- so it is going to look like it is.

Eller/ J. Beverly: Confirmed.

Stevenson: Asked -- so right in there, it looks like there has been a demo of the stairs *[reference photo materials]*. Asked if the porch part is going to stay the way it is.

J. Beverly: Confirmed, no.

Z. Beverly: Stated that they are in the process of demolition.

J. Beverly: Indicated that the plan is to drop it down seven inches – four inches from the door, down. Stated that that should give it about twenty-five inches height there *[reference photo materials]*. Stated that when the cap is put on it, it should be just right.

Stevenson: Asked if that will affect the stairs.

J. Beverly: Stated that they will leave out one step.

Rupert: Asked about the posts on the porch.

J. Beverly: Stated that they will extend those.

Rupert: Asked if the same detailing would be used.

J. Beverly: Confirmed.

Rupert: Asked if the side walls are going to be rebuilt.

Eller: Confirmed.

[Discussion re: cement coloring/appropriateness]

Rupert: Asked if on the foundation, if that is going to be block.

J. Beverly: Confirmed. *[Discussion as to work process]*

[Procedural discussion]

Motion: Prebys (second: Stevenson) moved to approve administrative approval for the work at 311 W Cross as discussed in detail on September 24, 2019.

Approval: Unanimous. Motion carried.

OLD BUSINESS

****Returned to Old Business***

133 W Michigan

**Window Replacement.*

Applicant: Randall Faber, owner- not present.

Discussion: Prebys: Suggested tabling discussion for applicant to return with further information regarding other window options, as discussed at the September 10th HDC meeting.

Motion: Prebys (second: Rupert) moved to table the application for 133 W Michigan pending further information.

Approval: Unanimous. Motion carried.

NEW BUSINESS

****Returned to New Business***

302 E Cross

**Demolition by neglect timeline for repair extension.*

Applicant: Maxwell Ziebarth, owner- not present.

Discussion: Slagor: *[Staff provided an update/initiated discussion-expectations]*

[Procedural discussion]

Motion: Stevenson (second: Prebys) moved to extend the timeline for repairs for the house at 302 E Cross, to be presented at the Historic District Commission Meeting on October 8, 2019. The property owner is expected to attend and speak with the Commission.

Approval: Unanimous. Motion carried.

ADMINISTRATIVE APPROVALS

534 N Huron

**Fence replacement*

Motion: Prebys (second: Rupert) moved to accept the administrative approval for 534 N Huron for fence replacement.

Approval: Unanimous. Motion carried.

OTHER BUSINESS

Property Monitoring

100 W Michigan

Rupert: Discussed progress of work.

101 W Michigan

Rupert/Prebys: Discussed progress of work.

401 E Forest

Prebys: Status inquiry.

106 S Huron

Pettit: Discussed appearance.

206 N Huron

Prebys: Discussed appearance.

Commissioner Comments- General discussion of inappropriate doors in the District.

AUDIENCE PARTICIPATION ON NON-AGENDA ITEMS—none

HOUSEKEEPING BUSINESS

Approval of the minutes of September 10, 2019

Motion: Prebys (second: Lindsay) moved to approve the minutes of September 10, 2019 as submitted.

Approval: Unanimous. Motion carried.

ADJOURNMENT

Interim Chairperson Pettit adjourned the meeting, citing the end of the agenda with no further items to discuss.

MEETING ADJOURNED at 8:09 p.m.

Full Minutes Prepared By: Nancy Hare-Dickerson