



AGENDA

Historic District Commission Meeting

7:00 PM - Tuesday, October 25, 2022

Council Chambers

Page

1. CALL TO ORDER

2. ROLL CALL

Alex Pettit, Chair

James Chesnut, Vice Chair

James Ratzlaff

Delrhea Byrge

Stefan Szumko

Ellen Thackery, Staff

3. APPROVAL OF AGENDA

4. PUBLIC COMMENT ON AGENDA ITEMS

5. PUBLIC HEARINGS

6. BUSINESS SESSION

6.1. OLD BUSINESS

3 - 13

[1 410 N Hamilton agenda item](#)

6.2. NEW BUSINESS

15 - 55

[2 218 E Forest agenda item](#)

[3 111 N Huron agenda item](#)

[4 5 S Washington agenda item](#)

6.3. STUDY ITEMS

6.4. ADMINISTRATIVE APPROVALS

329 E Cross Street--repainting porch trim and decks

114 N River--repainting siding

402 E Cross--reroof asphalt to asphalt

410 N Hamilton--roof asphalt to asphalt and paint

6.5. OTHER BUSINESS

1. Property Monitoring

2. Updates from Staff

3. Commissioner Comments

7. AUDIENCE PARTICIPATION ON NON-AGENDA ITEMS

8. HOUSEKEEPING BUSINESS

8.1. Approval of meeting minutes 10/11/2022

57 - 60

[Historic District 10-11-2022 draft](#)

9. ADJOURNMENT



HDC Work Permit Staff Review

Property address: 410 N Hamilton

Property History: This house is a frame foursquare. It contributes to the National Register district and the local historic district.

These new guardrails and handrails first came before the commission in May. There were questions for the applicant and questions about the lower handrail height and whether the guardrail and handrails would meet building code. The applicant was asked to submit drawings to the building department to confirm design and details. The application was postponed and then procedurally denied (60-day deadline on complete applications) without those drawings. The drawing has been submitted with this application. The guardrail and handrails have also been painted white since May.

Date of Application: October 11, 2022

Date of Review: October 19, 2022

Date of Meeting: October 25, 2022

Proposed work: Replace porch railing and handrails on both sides of steps.

Materials: Treated wood top and bottom porch railing painted white with white aluminum spindles between.

Staff review:

1. Applicant has replaced original porch railing with a new porch railing. Original was low and all wood (Figure 1). Existing low, historic porch rails can remain in place as is, but if homeowner wants to make them taller for safety, or if extensive repairs/replacement trigger the railing to meet new building code, a short piece of matching wood trim or a thin pipe can be added to the top of the porch components so that the original railing can be kept and seen but the height is to modern code (booster rail). See examples of booster rails in figures 5-9.

1. Use property for original purpose or provide compatible use with minimal alteration.

2. Do not destroy original character. Do not remove or alter historic material or features.

3. Do not imitate earlier styles.

4. Preserve significant changes acquired over time.

5. Preserve distinctive features.

6. Repair, don't replace. Replacements shall match original.

7. Clean building gently—no sandblasting.

8. Preserve archaeological resources.

9. Contemporary designs shall be compatible and shall not destroy significant original material.

10. New work shall be removable.

2. In this case, however, applicant bought new railings and installed them (Figure 2-4). Applicant explained that the historic railing components suffered from rot and could not be salvaged and that this was an emergency repair.
3. With all-new porch railing, the old height will no longer meet code. (New porch railings can be 36-42" tall.) Standard for Rehabilitation 6 states, "Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials." The Guidelines for Entrances and Porches state, "Not Recommended: Using a substitute material for the replacement parts that does not convey the visual appearance of the surviving parts of the entrance and porch or that is physically or chemically incompatible."
4. In weighing this Standard and these Guidelines, staff does not believe that this new porch railing strictly meets the Standards and Guidelines. There is a material change and a proportion issue.
 - a. New spindle material in the guardrail between the upper and lower rails is aluminum and the spindle proportion is round and very thin, whereas the original spindles between the rails were wood and they were flatter and closer together.
 - b. A new center post has been installed to better support the span of the guardrails. The new center post, however, is much taller than the upper rail and is much thinner, lighter weight in appearance, and proportionally different from the other posts on the porch.
5. With the porch spindles and rails all painted white, the visual difference between the wood and the aluminum is decreased, in staff's opinion.
6. The proportion issue remains, in staff's opinion.
7. Before proceeding with work, applicant must obtain the appropriate building department permits.

*Relevant Secretary of the Interior's Standards:
#5, #6*

Potential Motions:

Move to postpone Application PHDC 22 0095 dated October 11, 2022 for the proposed guardrail and handrails at 410 N Hamilton so that the applicant can revise the newly added center porch post's design to: match the proportions of the 8" x 8" historic porch posts, be made shorter so it stands closer to the top of the railings, and be topped with a simpler and flatter cap, like the capped post to which the handrail connects.

Move to approve Application PHDC 22 0095 dated October 11, 2022 and issue a certificate of appropriateness for the new guardrails and handrails at 410 N Hamilton, with the condition that the new center post be altered to be shorter and closer to the guardrail's height, and be made to match the proportions and cap of the 8" x 8" capped post to which the handrail connects. With this condition met, the new porch guardrails and handrails will substantially meet the Secretary of the Interior's Standard for Rehabilitation, including Standard 6.

Move to deny Application PHDC 22 0095 dated October 11, 2022 for the replacement of the historic porch rail at 410 N Hamilton because the proposed work does not meet the Secretary of the Interior's Standards for Rehabilitation 5 or 6 or the associated Guidelines for Rehabilitation.

Proposed new rails should match the historic railing in design, color, texture, and materials, acknowledging that the new porch railing will be taller to meet homeowner's needs. The spindles should more closely match the original railing in material and design, and a newly added center post should more closely match the historic 8"x8" posts and the simple flat cap on the capped post to which the handrail connects.

Prepared by:
Ellen Thackery, Preservation Planner



Figure 1. Photo from Google June 2021. Original porch railing and handrails.



Figure 2. New porch railing and handrails, staff photo, May 2022.



Figure 3. Photo taken by staff October 18, 2022. New porch railing and handrails, painted white.



Figure 4. Closer-up photo of porch rail and handrails. (Staff, October 18, 2022)

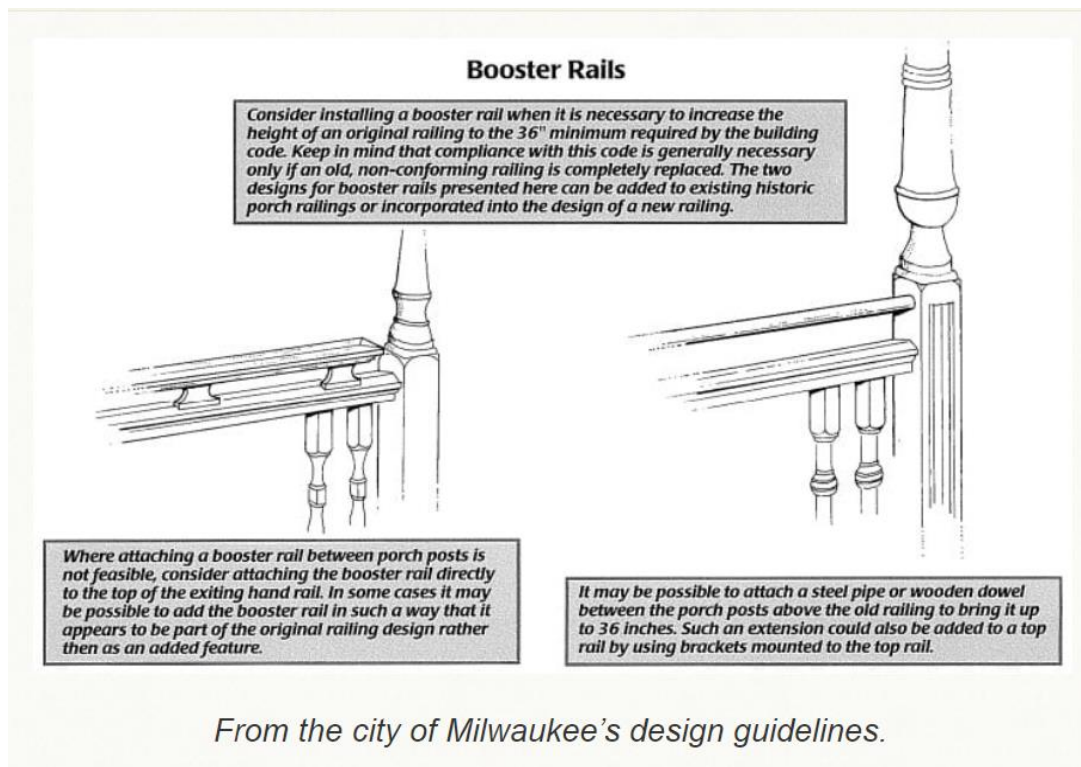


Figure 5.



Figures 6 and 7. Booster rail examples from the internet.





Figures 8 and 9. Booster rail examples from the internet.





**City of Ypsilanti
Historic District Commission
Work Permit Application**
One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646
Fax: (734) 483-7260
www.cityofypsilanti.com

Office Use Only:

Receipt: _____

Method: _____

Action/Study Item

PHDC- 22-0095

To complete this application:

1. Complete this form.
2. Attach the following documents:
 - a. Photo(s) showing an overview of the building and all locations where work is proposed (can be emailed).
 - b. Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components—this includes information from catalogues, professional quotes, or websites (can be emailed).
 - c. Dimensioned drawings of any new construction or modifications to existing structures, including awnings and signs.
 - d. A sketch plan, if proposal is for work on the grounds and not just the main structure (e.g., installing a new driveway, fence, or shed). This can be drawn on a scaled copy of a mortgage survey.
3. Applications and materials must be received by the Building Department **no later** than 4pm on the Friday eleven (11) days prior to the meeting.

INCOMPLETE APPLICATIONS WILL BE REJECTED

Property

Address

410 N Hamilton St Ypsilanti, MI

Applicant

**If applicant is not owner of property, a written statement from the owner authorizing this application must be included.*

Name

Jackson Train

Address

8482 Arthur Ave

City

Ypsilanti

State

MI

Zip

48197

Phone / Fax

E-Mail **Staff will contact you primarily via email*

Contractor

Contractor Name & Contact Info

Property owner Pulling Permit

Type of work

☐ Roofing

☐ Window/Door
Replacement

☒ Porches

☐ Sign

☐ Fence (or other sitework)

☐ Painting

☐ Application Amendment

☐ Other

Complete Description of Proposed Work:

- Existing Porch Railing was severely rotted and failed leading to injuries.
- Proposing new porch railing shown in attached plans.
- All Salvagable items were restored for re-installation on the porch (Posts, steps, columns, trim pieces).
- * See Attached plans.

Materials (for paint include color chips or samples with application):

* See Attached Plans.

Permit Application Fee (action items only)

The fee is \$45 for the first \$3,000 in construction cost plus \$5 for every additional \$1 - \$3,000 of construction cost. There is a flat fee of \$10 for painting only. An additional fee of \$50 applies to HDC work started without the applicable permit.

Construction Cost:	Permit fee:
\$500	\$45 + _____ = \$45

Signature

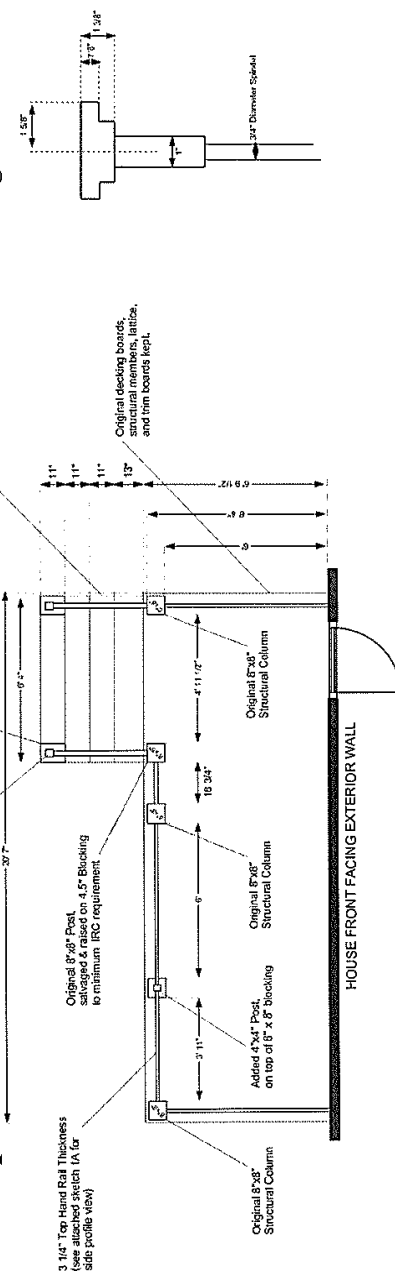
I hereby attest that the above information is accurate. I am authorized to and grant permission to the City of Ypsilanti staff to be on the subject property for the purposes of preparing staff reports and/or evaluating this application.

I further affirm that this property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.

Signature: 	Date: 10/11/2022
Print Name: Jackson Troin	

If you have questions about what the HDC generally permits or does not permit, or what they need to see in an application to render a decision, please call the office at 734-483-9646, email us at ethackery@cityofypsilanti.com, or view our factsheets at cityofypsilanti.com/hd.

All other necessary Building Permits must be acquired before beginning work.





HDC Work Permit Staff Review

Property address: 218 E Forest

Property History: This building was quite new and considered non-contributing to the district when the National Register nomination was written in the early 1980s. It is not contributing to the local historic district.

Date of Application: 10/13/22

Date of Review: 10/19/22

Date of Meeting: 10/25/22

Proposed work: Reroof a small portion of the roof—the high roof over the front entrance. This portion of the roof is flat. Two options are estimated—one slightly changes the building's appearance, one doesn't at all.

Materials: insulation (either 1" or 3.5"), new 60-mil (1.52 mm) EPDM roof membrane, flashing, a 24-gauge Thru-Wall sleeve at conductor box drain, and 24-gauge sheet metal edge/coping (either to match existing or made larger depending on which insulation is selected). If the 3.5" of insulation is chosen, fascia will be extended about 4", 3.5" wood blocking will be added to the roof's edge, rooftop curbs for mechanicals will be raised to a minimum of 4", and more work around the conductor box will be necessary.

Staff review:

1. This is a non-contributing building to the historic district.
2. This work will only affect the small area of the roof directly over the front (main) entrance.
3. If the 1" insulation is selected, that is simply a like-for-like replacement and the exterior features of the building won't be changed, and new metal coping will be installed to match the existing.
4. If the 3.5" insulation is selected, 3.5" wood blocking will be installed at the edge of the roof, the fascia will be extended, and all the rooftop mechanicals will be

1. Use property for original purpose or provide compatible use with minimal alteration.

2. Do not destroy original character. Do not remove or alter historic material or features.

3. Do not imitate earlier styles.

4. Preserve significant changes acquired over time.

5. Preserve distinctive features.

6. Repair, don't replace. Replacements shall match original.

7. Clean building gently—no sandblasting.

8. Preserve archaeological resources.

9. Contemporary designs shall be compatible and shall not destroy significant original material.

10. New work shall be removable.

- disconnected, raised up on higher curbs, and reconnected.
5. The property owner would rather do the 1" insulation and not alter the building's exterior.
 6. Building code might require that the 3.5" insulation be installed instead.
 7. Neither scope of work will negatively impact the building or the larger district.
 8. Staff believes either scope of work meets Secretary of the Interior's Standard for Rehabilitation #9 because the new work will be compatible with the Church's environment—the historic district.
 9. Before proceeding with work, applicant must seek the appropriate building department permits.

Relevant Secretary of the Interior's Standards:
#9

Recommended Motion:

Move to approve Application PHDC 22-0093 dated October 11, 2022 and issue a certificate of appropriateness for installing new insulation, a new EPDM roof membrane, new sheet metal coping, a new thru-wall sleeve at the conductor box drain, and properly flashing rooftop units and penetrations and conduit and pipe penetrations on the high roof over the front, main entrance at 218 E Forest Ave. Also included in this certificate of appropriateness is additional work required if the 3.5" insulation is selected, including 3.5" wood blocking at the roof's edge, extending the fascia, altering the conductor box and drain as necessary, and raising the curbs under all the mechanical units. All of this work is compatible with the district and will not impact any historic materials or features, meeting Secretary of the Interior's Standard #9.

Prepared by:
Ellen Thackery, Preservation Planner

PHDC-22-0093



OCT 11 2022

RECEIVED

**City of Ypsilanti
Historic District Commission
Work Permit Application**
One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646 • Fax: (734) 483-7260
www.cityofypsilanti.com

OFFICE USE ONLY

Date Filed:

Meeting Date:

Action Item/Study Item

To complete this application:

1. Complete this form.
2. Attach the following documents:
 - a. Photo(s) showing all locations where work is proposed (can be emailed).
 - b. Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components—this includes information from catalogues, professional quotes, or websites (can be emailed).
 - c. Dimensioned drawings of any new construction or modifications to existing structures, including awnings and signs.
 - d. A sketch plan, if proposal is for work on the grounds and not just the main structure (e.g., installing a new driveway, fence, or shed). This can be drawn on a scaled copy of a mortgage survey.
3. Applications and materials must be received by the Building Department **no later** than 4pm on the Tuesday one week prior to the meeting.

INCOMPLETE APPLICATIONS WILL NOT BE PLACED ON THE AGENDA

Property

Address

218 E Forest Ave, Ypsilanti, MI 48198

Applicant

** If applicant is not owner of property, a written statement from the owner authorizing this application must be included.*

Name

HighScope Educational Research Foundation

Address

600 N River Street

City
Ypsilanti

State
MI

Zip
48198

Phone / Fax

E-Mail

Contractor

Contractor Name & Contact Info

ROYAL ROOFING - MIKE TACOMA - mtacoma@royal-roofing.com

Type of work

- ☒ Roofing
☐ Window/Door Replacement

- ☐ Porches
☐ Sign
☐ Fence (or other sitework)

- ☐ Painting
☐ Other
☐ Application Amendment

Complete Description of Proposed Work:

SEE ATTACHED SCOPE OF WORK

Materials (for paint include color chips or samples with application):

Permit Application Fee (action items only)

The fee is \$45 for the first \$3,000 in construction cost plus \$5 for every additional \$3,000 of construction cost. There is a flat fee of \$10 for painting only. *An additional fee of \$50 applies to HDC work started without the applicable permit.*

Construction Cost:

\$38,600 for Option A or \$43,900 for Option B

Permit fee:

\$45 + 60 = \$105 or \$115

Signature

I hereby attest that the above information is accurate. I am authorized to and grant permission to the City of Ypsilanti staff to be on the subject property for the purposes of preparing staff reports and/or evaluating this application.

I further affirm that this property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.

Signature:



Date:

10/5/22

Print Name:

Jennilyn Campos

If you have questions about what the HDC generally permits or does not permit, or what they need to see in an application to render a decision, please call the office at 734-483-9646 or view our factsheets online at cityofypsilanti.com/hd.

All other necessary approvals and permits must be acquired before beginning work.

P#DC-22-0093

RECEIVED
OCT 11 2022



High Scope Church
218 East Forest Ave
Ypsilanti, MI.

Subject: Re-roofing at Section 1 – Front Entrance high roof.

OPTION (A)

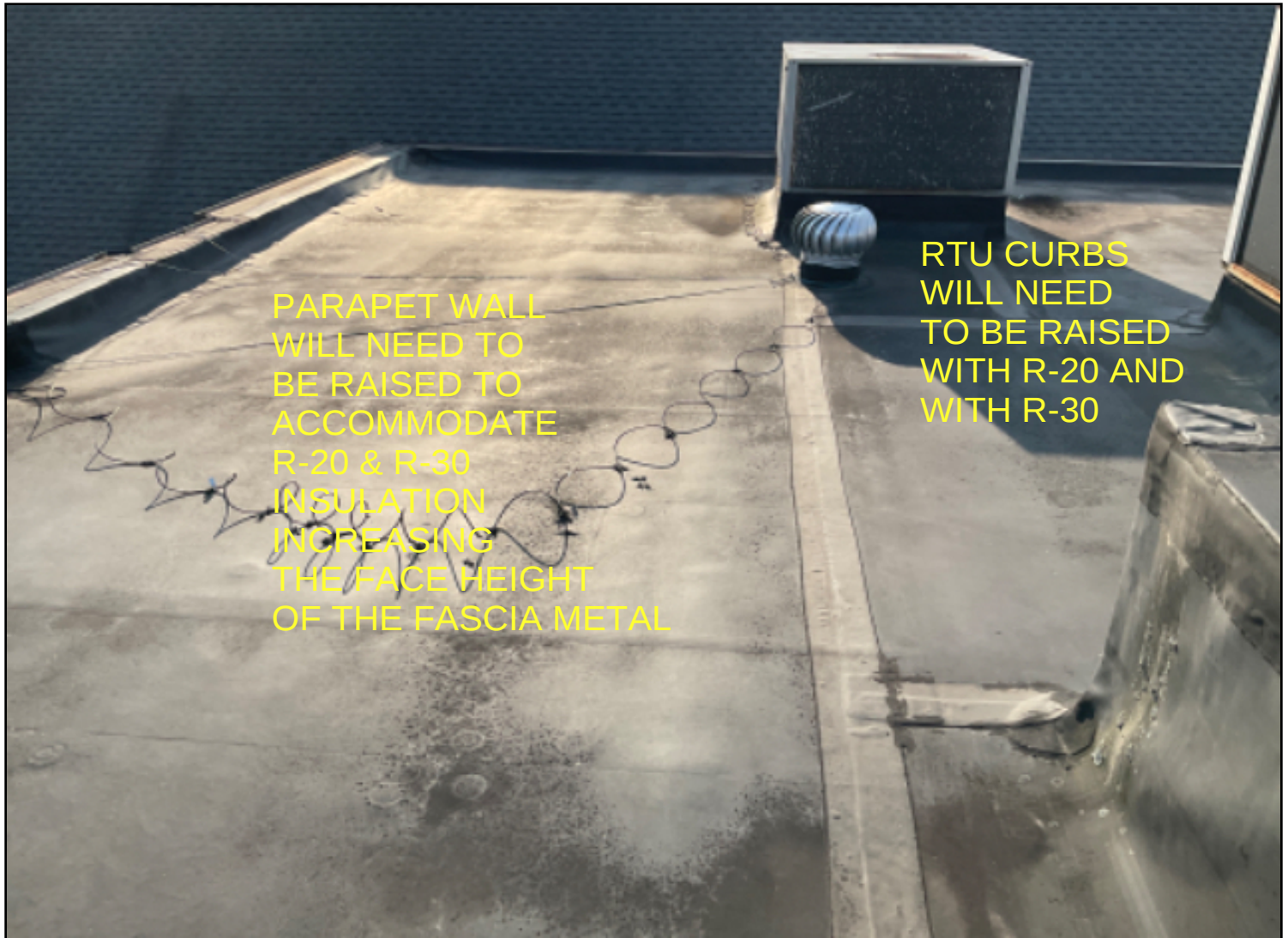
- We will remove and dispose of the existing roofing membrane down to the existing wood deck. Any damaged wood will be repaired on a time and material basis on the approval of the owner .
- We will install (1) layer of 1" polyisocyanurate insulation to the existing wood deck
- We will install new 60 mil EPDM roof membrane
- We will flash the roof top units and penetrations
- We will fabricate and install new 24 gauge Thru-Wall sleeve at the Conductor box drain
- We will install new 24 gauge shop fabricated sheet metal edge / coping to match the existing as close as possible as to not change the face or appearance of the building.
- We will properly flash conduit and pipe penetrations
- We will clean up all related debris
- We will provide a 20 year NDL manufactures warranty covering workmanship and material.

OPTION (B)

- We will remove and dispose of the existing roofing membrane down to the existing wood deck. Any damaged wood will be repaired on a time and material basis on the approval of the owner.
- We will install new (3.5") wood blocking at the roof edge
- We will use our mechanical contractor to disconnect the existing roof top units and lift them in order to raise the curb height a minimum of (4") four inches.
- We will reconnect all mechanical units
- We will remove the exterior conductor box to extend the height of the opening lost to the (3.5") insulation addition
- We will remove masonry for Conductor box drain
- We will install (1) layer of 3.5" insulation over the existing deck
- We will install new 60 mil EPDM roof membrane
- We will flash the roof top units and penetrations
- We will fabricate and install Thru-Wall sleeve at the Conductor box drain
- We will install new 24 gauge shop fabricated sheet metal edge / coping with a Fascia Extender of approximately 4" .
- We will properly flash conduits and pipe penetrations
- We will clean up all related debris
- We will provide a 20 year NDL manufactures warranty covering workmanship and material.

2445 Brown Road ▲ Orion, MI 48359
Phone: (248) 276-7663 ▲ Fax: (248) 276-9170
www.royal-roofing.com





PARAPET WALL
WILL NEED TO
BE RAISED TO
ACCOMMODATE
R-20 & R-30
INSULATION
INCREASING
THE FACE HEIGHT
OF THE FASCIA METAL

RTU CURBS
WILL NEED
TO BE RAISED
WITH R-20 AND
WITH R-30

FASCIA WILL NEED TO BE EXTENDED
AT EXTERIOR IF R-20 OR R-30 IS REQUIRED

CURB HEIGHT WILL NOT
ACCOMMODATE R-20
OR R-30 WITHOUT BEING
RAISED WITH NEW CURB



VENT PIPE WILL NEED
TO BE RAISED FOR
R-20 OR R-30

TECHNICAL INFORMATION SHEET

Low Slope Fire Retardant (LSFR) RubberGard™ EPDM Membrane

Item Description
1 Roll

Item Number
Various

TYPICAL ROOFING MEMBRANE



Product Information

Description:

Firestone LSFR RubberGard EPDM is a non-reinforced, cured, single-ply roofing membrane that can be used in ballasted, fully adhered and mechanically attached systems.

Preparation of Substrate:

- Substrates must be clean, dry, smooth, and free of sharp edges, fins, loose or foreign materials, oil, grease, and other materials that may damage the membrane.
- All roughened surfaces that can damage the membrane shall be repaired as specified to offer a smooth substrate.
- All surface voids greater than ¼" (6.3 mm) wide shall be properly filled with an acceptable fill material.

Product Packaging

Membrane Thickness	Width	Length	Weight
0.045" (1.14 mm)	7.5' (2.3 m)	100' (30.5 m)	0.31 lb/ft² (1.5 kg/m²)
	10' (3.05 m)	100' (30.5 m)	
	16.7' (5.09 m)	100' (30.5 m)	
	20' (6.10 m)	100' (30.5 m)	
	30' (9.14 m)	100' (30.5 m)	
	40' (12.19 m)	100' (30.5 m)	
	50' (15.24 m)	100' (30.5 m)	
0.060" (1.52 mm)	7.5' (2.3 m)	100' (30.5 m)	0.43 lb/ft² (2.1 kg/m²)
	10' (3.05 m)	100' (30.5 m)	
	16.7' (5.09 m)	100' (30.5 m)	
	20' (6.10 m)	100' (30.5 m)	
	30' (9.14 m)	100' (30.5 m)	
	40' (12.19 m)	100' (30.5 m)	
	50' (15.24 m)	100' (30.5 m)	
NOTE: Available sizes vary by product. Contact your Firestone Customer Service Representative for availability and packaging information.			

Method of Application:

RubberGard Non-Reinforced LSFR EPDM Membrane must be installed in accordance with current RubberGard specifications, details and workmanship requirements.

Storage:

- Store away from sources of punctures and physical damage.
- Assure that structural decking will support the loads incurred by material when stored on rooftop. The deck load limitations should be specified by the project designer.
- Store away from ignition sources as membrane will burn when exposed to open flame.

Precautions:

- Take care when moving, transporting, handling, etc. to avoid sources of punctures and physical damage.
- Isolate waste products, such as petroleum products, greases, oils (mineral and vegetable) and animal fats from the RubberGard membrane.
- Refer to Safety Data Sheets (SDS) for safety information.

TECHNICAL INFORMATION SHEET

Low Slope Fire Retardant (LSFR) RubberGard™ EPDM Membrane

LEED® Information:

Post-Consumer Recycled Content: 0%
Post Industrial Recycled Content: 0%
Manufacturing Location: Prescott, AR

*NOTE: LEED® is a registered trademark of the U.S. Green Building Council.



CCMC 13266-L

Typical Properties (Meets or exceeds ASTM D 4637, Type I non-reinforced EPDM Single-Ply roofing membranes)

Property	ASTM Standard	Performance Minimum	Typ. Values 45 mil	Typ. Values 60 mil
Thickness, minimum, Sheet-overall	D 412	45 mil - 0.040" (1.016 mm) 60 mil - 0.050" (1.372 mm)	0.0405 (1.092)	0.059 (1.499)
Tensile Strength, min.	D 412 (Die C)	1305 psi (9.0 MPa)	1435 (9.9)	1450 (10.0)
Dynamic Puncture Resistance	D 5635 / D 5635M	5 J min @ 73.4 ± 4 °Flow slop	pass	pass
Static Puncture Resistance	D 5602 / D 5602M	44.1 lbf (20 kg)	pass	pass
Elongation, Ultimate, min.	D 412 (Die C)	300%	430	475
Tensile set, max.	D 412, Method A (Die C)	10%	2.5	2.0
Tear Resistance, min.	D 624 (Die C)	150 lbf/in (26.27 kN/m)	190 (33.2)	195 (34.1)
Brittleness point, max.	D 2137	-49 °F (-45 °C)	-49 (-45)	-49 (-45)
Ozone resistance, no cracks	D 1149	pass	pass	pass
Heat Aging: Tensile Strength, min. Elongation, ultimate, min. Tear resistance, min. Linear dimensional change, max.	D 573 D 412 (Die C) D 412 D 624 D 1204	1205 (8.3) 200% 125 lbf/in (21.9 kN/m) ±1.0%	1425 (9.8) 240 180 (31.5) -0.5	1490 (10.3) 320 179 (31.3) -0.3
Water absorption, max., mass	D 471	+8%, -2%	+1.8	+1.5
Factory Seam Strength, min.	D 816 Method B (modified)	50 lbf/in (8.8 kN/m) or Sheet Failure	Sheet Failure	Sheet Failure
Weather Resistance: Visual inspection PRFSE, min. Elongation, ultimate, min.	G 151 / D 518 G 151 / D 518 G 155 / D 412 (Die C)	No cracks or crazing 30 200	Pass 52 240	Pass 53 255
Air Permeance (Material)	E2178*	<0.004 (0.02)	pass	pass

*1. The ASTM 2178 values listed above are for the air permeance of the RubberGard EPDM Membrane component only.

2. When system design includes an air barrier, please consult your Firestone Technical Services Advisor for additional roof system securement enhancements.

3. Consult the Designer / Architect, Code Agency or Authority having Jurisdiction (AHJ) for requirements regarding the selection and use of an appropriate air barrier material, and its installation into the building envelope.

Please contact Firestone Technical Services Department at 1-800-428-4511 for further information.

This sheet is meant to highlight Firestone products and specifications and is subject to change without notice. Firestone takes responsibility for furnishing quality materials which meet published Firestone product specifications or other technical documents, subject to normal roof manufacturing tolerances. Neither Firestone nor its representatives practice architecture. Firestone offers no opinion on and expressly disclaims any responsibility for the soundness of any structure. Firestone accepts no liability for structural failure or resultant damages. Consult a competent structural engineer prior to installation if the structural soundness or structural ability to properly support a planned installation is in question. No Firestone representative is authorized to vary this disclaimer.

TECHNICAL INFORMATION SHEET

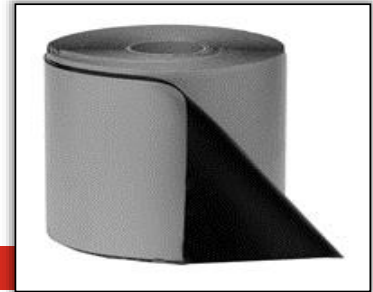
RubberGard™ EPDM FormFlash™ Flashing

Item Description

6" x 100' (152 mm x 30.5 m)
9" x 100' (229 mm) x 30.5 m)
12" x 100' (305 mm x 30.5 m)
18" x 100' (457 mm x 30.5 m)
24" x 100' (609 mm x 30.5 m)
36" x 100' (914 mm x 30.5 m)
48" x 100' (1219 mm x 30.5 m)

Item Number

W563581508
W563581509
W563581510
W563581511
W563581512
W563581514
W563581515



Product Information

Description:

Firestone RubberGard EPDM FormFlash Flashing is an uncured EPDM flashing membrane that cures in place after installation.

TYPICAL FLASHING MEMBRANE

Product Packaging

Rolls per Carton:	2	1
Roll Size:	6" x 100' (152 mm x 30.5 m) 9" x 100' (229 mm) X 30.5 m) 12" x 100' (305 mm X 30.5 m)	18" x 100' (457 mm X 30.5 m) 24" x 100' (609 mm x 30.5 m) 36" x 100' (914 mm x 30.5 m) 48" x 100' (1219 mm x 30.5 m)
Weight per Carton:	0.35 lb/sf (1.7 kg/m²)	

Method of Application:

RubberGard EPDM FormFlash Flashing must be installed in accordance with current RubberGard specifications, details and workmanship requirements.

Storage:

- Store in original unopened cartons at temperatures between 60 °F (15.6 °C) and 80 °F (26.7 °C) until ready for use.
- During hot weather, do not expose to sunlight or elevated temperatures until use as curing will begin.
- Rotate stock to ensure stored material will not extend beyond the shelf life of twelve months from date of manufacture.
- A shelf life of twelve months from date of manufacture can be expected when stored at temperatures between 60 °F (15.6 °C) and 80 °F (26.7 °C).

TECHNICAL INFORMATION SHEET

RubberGard™ EPDM FormFlash™ Flashing

Precautions:

- Take care when moving, transporting, handling, etc. to avoid sources of punctures and physical damage.
- Use of heat guns during cold weather will improve workability of flashing, but a wide nozzle should be used and care should be taken not to localize heat, as a hole in the flashing can result.
- Isolate waste products, such as petroleum products, greases, oils (mineral and vegetable) and animal fats from the RubberGard EPDM FormFlash.
- Refer to Safety Data Sheets (SDS) for safety information.

LEED® Information:

Post Consumer Recycled Content: 0%

Post Industrial Recycled Content: 0%

Manufacturing Location: Prescott, AR

*NOTE: LEED® is a registered trademark of the U.S. Green Building Council.



Typical Properties

Property	ASTM Standard	Performance Minimum	Typical Performance 60 mil
Vulcanization, at 320 °F (160 °C)		20 ± 2	
Thickness, minimum	Practice D 3182	0.055 (1.4)	20 ± 2
Thickness, minimum	D 412	0.055 (1.4)	0.055 (1.4)
Tensile Strength, minimum	D 412	1205 (8.3)	1800 (12.4)
Elongation, minimum	D 412 (Die C)	250	425
Tear Resistance, minimum	D 624 (Die C)	125 (22)	195 (35)
Brittleness Point, maximum	D 2137	-31 (-35)	-34 (-37)
Tensile Set, maximum	D 412	10	10
Ozone Resistance, (7X)	D 1149	No Cracks	No Cracks
Heat Aging, Air Oven	D 573		
Tensile Strength, minimum	D 412 (Die C)	1205 (8.3)	1600 (11.0)
Elongation, minimum	D 412 (Die C)	200	210
Tear Resistance, minimum	D 624 (Die C)	125 (22)	160 (28)
Water Absorption, weight change, range	D 471	+8, -2	+2
Linear Dimensional Change, maximum	D 1204	± 2	-1.0
Weatherability, no cracks or crazing	D 518	Pass	Pass

^a Specimens to be prepared from coating rubber compound, vulcanized in a similar method to the reinforced products.

Please contact Firestone Technical Services Department at 1-800-428-4511 for further information.

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TECHNICAL INFORMATION SHEET

EPDM Bonding Adhesive BA-2004(T)

Item Description
Bonding Adhesive

Item Number
W563587052

MEMBRANE ADHESIVE



Product Information

Description:

Firestone EPDM Bonding Adhesive BA-2004 (T) is a solvent based contact adhesive designed specifically for bonding Firestone RubberGard™ membranes and flashings to ISO 95+™ GL / ISOGARD™ insulations, wood, metal, masonry and other acceptable substrates.

Method of Application:

1. Surfaces to receive EPDM Bonding Adhesive BA-2004 (T) shall be clean, smooth, dry, free of sharp edges, loose and foreign materials, oil, grease, and other contaminants. Sweep the mating surface of the membrane with a stiff broom to remove excess dusting agent, if present, or other contaminants from the mating surface.
2. Stir the adhesive thoroughly before and during use, achieving a uniform mix with no sediment on the bottom and no marbling evident.
3. Apply adhesive at about the same time to both the exposed underside of the sheet and the substrate to allow approximately the same flash-off time.
4. EPDM Bonding Adhesive BA-2004(T) may be applied with a solvent-resistant paint roller or mechanical equipment designed to apply flammable solvent based adhesives.
5. Apply by rolling the adhesive on both mating surfaces. EPDM Bonding Adhesive BA-2004(T) should be applied evenly so as to avoid globs or puddles.
6. As an option, spray EPDM Bonding Adhesive BA-2004(T) and back-roll the adhesive uniformly and evenly with a solvent-resistant paint roller. **Care must be taken not to apply EPDM Bonding Adhesive BA-2004(T) over any area that will later be cleaned and spliced to another sheet or flashing.**
7. Allow EPDM Bonding Adhesive BA-2004(T) to flash off until tacky. Touch the EPDM Bonding Adhesive BA-2004(T) surface with a clean, dry finger to be certain that the adhesive is dry and does not stick or string. While pushing straight down to check for stringing, also push forward on the adhesive at an angle to ensure that the adhesive is ready (flushed off) throughout its thickness. If either motion exposes wet or stringy adhesive when the finger is lifted, then it is not ready for mating. Flash-off time will vary depending on ambient air conditions.
8. Starting at the fold, roll the previously coated portion of the sheet into the coated substrate slowly and evenly so as to maintain position and minimize wrinkles.
9. To ensure proper contact, compress the bonded half of the sheet to the substrate with a stiff push broom using heavy pressure.

Storage:

- Store in original unopened containers at temperatures between 60 °F (16 °C) and 80 °F (27 °C) until ready for use.
- For optimum results, rotate stock to ensure stored material has not exceeded the shelf life of one year.
- Shelf life of one year can be expected if stored in original sealed container at temperatures between 60 °F (16 °C) and 80 °F (27 °C). If exposed to lower temperatures, restore to room temperature prior to use.
- Shelf life will be shortened if exposed to elevated temperatures.

TECHNICAL INFORMATION SHEET

EPDM Bonding Adhesive BA-2004(T)

Precautions:

- Flammable. Keep away from fire and open flame and other possible ignition sources during storage and use. Do not smoke when using.
- Harmful or fatal if swallowed.
- Avoid prolonged inhalation.
- Avoid prolonged contact with skin. Gloves should be worn (OSHA approved).
- Avoid eye contact by wearing safety glasses with side shields or safety goggles.
- For professional use only.
- Keep out of reach of children.
- Thinning is not allowed.
- Do not use for splicing.
- Do not use with TPO or TPO XR membranes.
- Use only in well ventilated areas.
- Cover tightly when not in use.
- Review Safety Data Sheet specified on the Bonding Adhesive container label.
- Recommended cleaner is Firestone Splice Wash SW-100 Cleaner.

LEED® Information:

Post-Consumer Recycled Content: 0%

Post Industrial Recycled Content: 0%

Manufacturing Location: South Bend, IN

*NOTE: LEED® is a registered trademark of the U.S. Green Building Council.



Typical Properties

Base	A blend of Polychloroprene and SBR rubbers
Color	Yellow
Solvents	A blend of Acetone, Hexane, Toluene and Xylene
Solids	≥ 23
Viscosity	3,300-3,800 cps. with R.V.F. #3 spindle @ 10 rpm
Weight/Gallon	6.7 - 7.4 lb/gal
Specific Gravity	0.803 – 0.887
V.O.C. Content	5.282 lb/gal (633 g/L)

Packaging Data

Pail	5 gal (18.9 L)
Weight	41 lb (18.6 kg)
Coverage	A coverage rate of 45 - 60 ft²/gal (1.10 – 1.47 m²/L) may be obtained depending on the substrate. Some insulation surfaces are more uneven and porous and will result in a lower coverage rate while smooth non-porous substrates will result in higher coverage rates. Rates are based on roller application to both mating surfaces. Very porous substrates (rough wood, concrete block) may require <u>two</u> coats of EPDM Bonding Adhesive BA-2004(T), to ensure proper adhesion. This can be determined by adhering a small piece of membrane to the porous substrate to verify the bonding strength. Some insulation surfaces are more uneven and porous and will result in a lower coverage rate while smooth non-porous substrates will result in higher coverage rates. Rates are based on roller application to both mating surfaces. Very porous substrates (rough wood, concrete block) may require <u>two</u> coats of Bonding Adhesive, to ensure proper adhesion. This can be determined by testing a small area. Check by adhering a small piece of membrane to the porous substrate to verify the bonding strength.
Units per Pallet	45 – 5 gal pails

TECHNICAL INFORMATION SHEET

EPDM Bonding Adhesive BA-2004(T)

Approved Power Application Equipment:

Garlock 25ST Roller Boss Power Roller

4 hp Honda Engine, 4 CFM Compressor, 25 gal pressurized supply tank (20 gal for material; 60-80 psi), up to 100 psi rating, 2 – ¾" x 30' supply hoses with swivels, 2 – 18" roller head assemblies



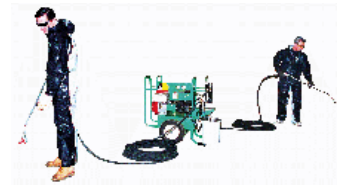
Garlock 2120 Commander Sprayer

18 hp Kohler Engine, 4500 psi Rating, 5 gallon per minute flow, 1200 psi pressure (minimum), Pump Displacement 45:1, GPM Rating: up to 5 GPM, ½" x 100' hose, 2" Intake pipe with screen, 5 or 55 gal drum containers, Graco Spray Tips: .023 to .031 diameter hose



Garlock Twin Gun Airless Sprayer

6.5 hp Honda Engine, 3000 psi Rating, Pump Displacement 30:1, GPM Rating: up to 1 gpm, Up to 400' of single ½" diameter hose, Up to 200' of dual ½" diameter hose, ¾" Intake pipe with screen, 5 or 55 gal drum containers, Bulk tank containers, Graco Spray Tip: .019 to .025 diameter hose (1850 psi operating pressure)



Graco Spray Equipment:

P70EC4-70 – 70:1 Xtreme Sprayer Package w/Heavy Duty car, Hopper package, w/NXT motor and Data Track, Xtreme-Duty high pressure hose, ¾" x 50', 7250 psi, with ¼" x 6' whip hose, XTR-7 applicator with XHD821-825 tip.



Please contact Firestone Technical Services Department at 1-800-428-4511 for further information.

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TECHNICAL INFORMATION SHEET



Pre-Assembled Heavy-Duty Fastener and Insulation Plate

Item Number:

3" W56RAC4003
4" W56RAC4004
5" W56RAC4005
6" W56RAC4006
7" W56RAC4007
8" W56RAC4008
10" W56RAC4010

INSULATION ATTACHMENT



Product Information

Description:

The Firestone Pre-Assembled Heavy-Duty Fastener and Insulation Plate is specifically designed to be used in all Firestone roof systems to pre-attach insulation or base sheets to steel, wood decks, and 3000 psi structural concrete.

Product Packaging

<u>Screw Length</u>	<u>Thread Length</u>	<u>Pieces per Plastic Pail</u>	<u>Pails per Pallet</u>
3" (76.2 mm)	Full	250	40
4" (101.6 mm)	3" (76.2 mm)	250	40
5" (127.0 mm)	4" (101.6)	250	24
6" (152.4 mm)	4" (101.6)	250	24
7" (177.8 mm)	4" (101.6)	250	24
8" (203.2mm)	4" (101.6)	250	24

Method of Application:

1. Position assembly over roof insulation or base sheet as specified in current Firestone Technical Specifications and Details by hand or by using Firestone's SETTER TOOL (W563582035).
2. Using Firestone's STAND-UP TOOL (W563582039), drive the fastener into the deck the appropriate depth, being careful not to over or under drive (conventional drills may be used to drive the fasteners). One (1) #3 Phillips drive bit is included in every four cartons.

Note: Structural concrete requires pre-drilling using a hammer drill in impact mode with a 7/32" (5.56 mm) carbide drill bit. Install fasteners by using a variable speed drill at a maximum of 1,500 rpm.

Steel Decks: Select fastener length to penetrate through the deck a minimum of ¾" (19.1 mm).

Wood Decks: Select fastener length to penetrate into or through deck a minimum of 1" (25.4 mm).

Storage:

Store in original, unopened packaging protected from the weather.

Precautions:

Eye protection must be worn during the installation of the fasteners and during any drilling operation.

TECHNICAL INFORMATION SHEET



Pre-Assembled Heavy-Duty Fastener and Insulation Plate

LEED® Information:

Postconsumer Recycled Content: 0%
Preconsumer Recycled Content: 24-27%
Manufacturing Locations: Bensenville, IL
*NOTE: LEED® is a registered trademark of the U.S. Green Building Council.



Physical Properties

<u>Property: Metal Insulation Plate</u>	<u>Typical Performance</u>
Material:	AZ50 min Galvalume® Sheet Steel
Thickness:	0.017" (.43 mm)-0.023" (.58mm)
Diameter:	3" (76 mm) Round Plate
Corrosion Resistant:	Meets requirements of FM 4470.
Pull Through Resistance:	Min. 400 lb (181.4 kg)
<u>Property: Fastener</u>	
Material:	SAE 1022 heat treated steel
Thread Diameter:	Nominal 0.2135" (5.42 mm) Major dia., 13 Threads/Inch
Thread Type:	Buttress
Point Style:	Drill Point
Screw Pullout:	
New 22 ga. (.76 mm Steel) Deck	
Grade C (33 ksi)	595 lb (270 kg) min.
Grade E (80 ksi)	650 lb (295 kg) min.
New ½" (12.7 mm) Plywood	Min. 375 lb (170.1 kg)
New Structural Concrete	700 lb (317 kg) min.
Corrosion Resistant Coating:	Electrocoating of Firestone's fasteners exhibit 15% or less red rust after 30 cycles of Kesternich and exceed requirements of FM 4470.
Color:	Red (PMS 485)

Galvalume® is a registered trademark of BIEC International, Inc

Please contact your Firestone Roof Systems Advisor at 1-800-428-4511 for further information.

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Firestone Building Products | Sales: (800) 428-4442 | Technical (800) 428-4511 | www.firestonebpco.com

TIS # 1004

9/22/2015

Page 2 of 2

TECHNICAL INFORMATION SHEET

QuickSeam™ Splice Tape

Item Description

3" X 100' (76.2 mm x 30.5 m)
4" X 100' (101.6 mm x 30.5 m)
6" X 100' (152.4 mm x 30.5 m)
7" X 100' (177.8 mm x 30.5 m)

Item Number

W56RAC1603
W56RAC160A
W56RAC1626
W56RAC1617

JOINING MEMBRANE SHEETS



Product Information

Description:

Firestone 3" (76.2 mm), 4" (101.6 mm) 6" (152.4 mm) and 7" (177.8 mm) QuickSeam Splice Tape is designed for field splicing of RubberGard™ EPDM membrane panels and flashing.

Method of Application:

1. Use QuickPrime™ Plus, QuickPrime Plus LVOC, Single-Ply QuickPrime Primer or Single-Ply QuickPrime LVOC and a QuickScrubber™ or QuickScrubber Plus pad and handle to clean and prime mating surfaces.
2. Refer to Firestone Specifications and Details.
3. Refer to application instructions for specifics: www.firestonebpco.com.

Storage:

- Store in original unopened containers indoors at temperatures between 60 °F (15.6 °C) and 80 °F (26.7 °C).
- Do not store on roof in direct sunlight or at temperatures above 80 °F (26.7 °C).
- When exposed to lower temperatures; restore to room temperature prior to use.

Shelf Life:

- Shelf life of one year can be expected when stored in original container at temperatures between 60 °F (15.6 °C) and 80 °F (26.7 °C).
- Shelf life will be shortened if exposed to elevated temperatures.

Precautions:

Refer to Safety Data Sheet (SDS) for further information.

LEED® Information:

Post-Consumer Recycled Content: 0%
Post Industrial Recycled Content: 0%
Manufacturing Location: Prescott, AR
*NOTE: LEED® is a registered trademark of the U.S. Green Building Council.



TECHNICAL INFORMATION SHEET

QuickSeam™ Splice Tape

Typical Properties

Property	Value
Base	Rubber Polymers
Color	Black
Solvents	None
Solids	100%
Cured State	Cured
Thickness	0.025" (0.63 mm) ± 0.003" (0.076 mm)
Roll	3" (76.3 mm) x 100' (30.5 m) roll, 6 rolls per carton 4" (101.6 mm) x 100' (30.5 m) roll, 4 rolls per carton 6" (152.4 mm) x 100' (30.5 m) roll, 2 rolls per carton 7" (177.8 mm) x 100' (30.5 m) roll, 2 rolls per carton
Pallet	40 cartons per pallet

NOTE: QuickScrubber and/or QuickScrubber Plus pads and handles are included in each carton. Quantities vary depending on the QuickSeam product.

Please contact Firestone Technical Services at 1-800-428-4511 for further information.

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TECHNICAL INFORMATION SHEET

Una-Clad Kynar 500®/Hylar 5000® Pre-Finished Galvanized Steel Architectural Sheet & Coil

Item Description

22, 24, and 26 gauge

SHOP FABRICATED METAL

Product Information



Description:

Firestone UNA-CLAD PVDF Coated Galvanized Steel Architectural Sheet & Coil is AISI-G90 extra smooth, minimum spangle, tension leveled, hot-dipped galvanized steel that is primed and coated on one side with UNA-CLAD full strength Hylar 5000 / Kynar 500 (contains a minimum of 70% Hylar/Kynar polyvinylidene fluoride (PVDF) resins) premium fluoropolymer coating system of 1.0 (±0.1) mil total dry film thickness. This coating is AAMA 621-02 compliant. For additional protection a wash coat of 0.3 – 0.4 mil dry film thickness is applied to the reverse side. An optional strippable protection film is applied for protection during fabrication and installation. Firestone UNA-CLAD PVDF Coated Galvanized Steel Architectural Sheet & Coil is for general sheet metal use in building applications and can be utilized for fascia panels, soffits, gravel stops, copings, and roofing such as flat seam, standing seam, batten seam, and mansards.

Method of Application:

1. Install in accordance with recognized sheet metal practices.
2. UNA-CLAD can be cut, formed, and fastened using conventional hand or power tools.
3. For best results cutting tool edges should be kept sharp, clean, properly dressed, and closely aligned.
4. Fabrication and erection can be accomplished with strippable plastic film in place. Film should be removed from areas of concealed or joined pieces.

NOTE: Vintage, Print Colors and Metallics are batched controlled and could display color variation if mixed.

Storage:

- Firestone metal sheet and coil should be stored in a well ventilated, dry place where no moisture can contact them. Moisture (from rain, snow, condensation, etc.) trapped between layers of material may cause water stains or white rust, which can affect the service life of the material and will detract from its appearance.
- If outdoor storage cannot be avoided, protect the sheet and coil with a ventilated canvas or waterproof paper cover. Do not use plastic, which can cause condensation. Keep the material off the ground in an inclined position with an insulator such as wood.
- Maximum 2,000 lb of sheets per pallet.

LEED® Information:

Post-Consumer Recycled Content: 7.3%
Post Industrial Recycled Content: 23%
Kynar 500/Hylar 5000 Paint Finish: AAMA 621-02
Manufacturing Location: Anoka, MN

*NOTE: LEED® is a registered trademark of the U.S. Green Building Council.



TECHNICAL INFORMATION SHEET

Una-Clad Kynar 500®/Hylar 5000® Pre-Finished Galvanized Steel Architectural Sheet & Coil

Precautions:

- Protective film may degrade or become brittle with exposure to direct sunlight. Therefore, it must be removed immediately.
 - The performance of this material in the field depends substantially on the integrity of the paint film and on the underlying coating of zinc being intact. Therefore, this UNA-CLAD product should not be used in areas of high abrasion or where it is subject to mechanical damage.
- Product is pre-finished material; care must be exercised during fabrication and erection to avoid surface damage.
- Firestone recommends a minimum bend radius of 2T. Anything less than a 2T bend radius can cause crazing to the material.
- Attention should be paid to good house-keeping practices.
- Tools must be clean and properly dressed.
- Avoid dragging sheets over surfaces which may scratch or mar the finish.
- For general sheet metal use in building applications.
- Do not cut with power saws or abrasive blades.

NOTE: Vintage, Print Colors and Metallics are batched controlled and could display color variation if mixed.

Product Data

Property	Value	
Color	Standard Colors and Premium Print Colors available; See current UNA-CLAD color chart	
Finish	Extra Smooth Matte, Low to Medium Gloss	
Optional Finish	Extra Low Gloss*, High Gloss* and Stucco Embossed (Mechanical Finish)*	
Wash Coat	Polyester	
Gauge	Weight lb/ft ²	Weight kg/m ²
26 ga	0.775	3.78
24 ga	1.000	4.89
22 ga	1.406	6.87
Gauge	Split Coil Dimensions	Sheet Dimensions
26 ga	4.0" (0.1 m) – 48" (1.2 m)*	48" (1.2 m) x 96" (2.4 m), 120" (3.1 m) & 144" (3.7 m)*
24 ga	4.0" (0.1 m) – 48" (1.2 m)*	48" (1.2 m) x 96" (2.4 m), 120" (3.1 m) & 144" (3.7 m)*
22 ga	4.0" (0.1 m) – 48" (1.2 m)*	48" (1.2 m) x 96" (2.4 m), 120" (3.1 m) & 144" (3.7 m)*
NOTE: *May not be available in all colors, gauges, or widths. Additional lead times may apply. Contact your Firestone Building System Advisor for additional information.		

Typical Properties of Base Material

Property	Value
Base Metal	AISI G90 – Hot dipped galvanized steel sheet, commercial weight, meeting ASTM A653/A653M-10 CS Type B for Zinc coated (galvanized) steel sheets & coil
Minimum Yield	33 to 45 KSI (227 to 310 MPa)
Co-efficient of Thermal Expansion	06.7×10^{-6} in/in/F° (13.9 m/m.K x 10^{-6})
Modules of Elasticity	29.0×10^6 x KSI (200 GPa)
Specification	ASTM E111-4

TECHNICAL INFORMATION SHEET

Una-Clad Kynar 500®/Hylar 5000® Pre-Finished Galvanized Steel Architectural Sheet & Coil

Typical Properties of Fluoropolymer Coating

Property	ASTM Standard	Value
Abrasion Resistance	ASTM D 968, Method A	Coefficient of sand abrasion 65±10 Liters
Accelerated Weathering	ASTM D 4587 Condition B or ASTM G 23 Method 1 or 2, type EH apparatus Hours: 5000 ASTM D 4587 Condition B or ASTM G 53, Method 1 or 2, type EH apparatus or ASTM G154 Hours: 5000 ASTM D 4587 Condition B or ASTM G 23 Method 1 or 2, type EH apparatus or ASTM G151 Hours: 2000 ASTM D 3361 Hours: 1000	Chalk: Rating of 8 or better per ASTM D 4214 Color: ≤2ΔE color change per ASTM D 2244 Chalk: Rating of 8 or better per ASTM D 4214 Color: ≤2ΔE color change per ASTM D 2244 Chalk: Rating of 8 or better per ASTM D 4214 Color: ≤2ΔE color change per ASTM D 2244 Acceptable – No cracking, peeling, blistering, loss of adhesion of the protective coating, or corrosion of the base metal Chalk: Rating of 8 or better per ASTM D 4214, Method A (ASTM D 659) Color: <5ΔE Hunter Units per ASTM D 2244
Adhesion	ASTM D 3359, Method B	No loss of adhesion
Chalk Resistance	ASTM D 659	No Chalk; Rating 9-10
Chemical/Acid Pollution Resistance	ASTM D 1308, Procedure 7.2	Pass; No color change
Cyclic Salt Fog	ASTM D 5894 Hours: 3000	Scribe: Rating of 8, 1/32" creepage from scribe per ASTM D 1654, procedure A Field: Rating of 10, no blistering per ASTM D 1654, Procedure B
Formability	ASTM D 522	No cracking, no loss of adhesion to the point of metal Rupture
Specular Gloss	ASTM D 523	25-35 at 60 degrees
Hardness	ASTM D 3363	HB to 2H
Humidity Resistance	ASTM D 2247 Hours: 2000 ASTM D 1735 Hours: 1000	Rating of 10; No blistering No blistering, no loss of adhesion
Impact Resistance	ASTM D 2794	Reverse & Direct Impact: No cracking & no loss of adhesion
Salt Spray Resistance	ASTM B 117 Hours: 2000	Scribe: Rating of 7, 1/16" creepage Field: Rating of 10
Tunnel Test	ASTM E84	Class A Coating
UV Exposure	ASTM G 154 Hours: 2016	Chalk: Rating of 8 or better per ASTM D 4214, Method A (ASTM D 659) Color: <5ΔE Hunter Units per ASTM D 2244
Wet Adhesion	Water Immersion Hours: 1500	No loss of adhesion

Please contact Firestone Technical Services Department at 1-800-428-4511 for further information.

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HDC Work Permit Staff Review

Property address: 111 N Huron

Property History: This building was built after the National Register nomination was written in the early 1980s. It is not contributing.

Date of Application: 10/11/22

Date of Review: 10/18/22

Date of Meeting: 10/25/22

Proposed work: Reface existing wall sign with a new routed-out aluminum face with acrylic push-through letters.

Materials: Aluminum sheets, clear acrylic, white acrylic, vinyl

Staff review:

1. This is a continuation of the rebranding effort that the commission saw begin with the signage on the east side of the building. Refacing the monument sign by the Huron entrance was approved.
2. This existing sign to be refaced is on the parking lot side (west side) of the building and hangs on the wall just below the cornice.
3. Current sign face is gray, maroon, and white. New face will be white aluminum with a purple and lime logo and purple letters that say "Trinity Health" on the left, and the right side will be faced with purple and have white letters that say "Haab Health Building."
4. At night, much like the monument sign that was approved, only the "Trinity Health" letters and logo and only the "Haab Health Building" letters will be lit. There will not be a white wash of light from this sign at night, because the white surface is an aluminum mask and the light-up letters are pushed through.
5. Before proceeding with work, applicant must seek the appropriate building and planning department permits.

1. Use property for original purpose or provide compatible use with minimal alteration.

2. Do not destroy original character. Do not remove or alter historic material or features.

3. Do not imitate earlier styles.

4. Preserve significant changes acquired over time.

5. Preserve distinctive features.

6. Repair, don't replace. Replacements shall match original.

7. Clean building gently—no sandblasting.

8. Preserve archaeological resources.

9. Contemporary designs shall be compatible and shall not destroy significant original material.

10. New work shall be removable.

Relevant Secretary of the Interior's Standards:
#9, #10

Recommended Motion:

Move to issue a certificate of appropriateness for Application PHDC 22-0092 dated October 11, 2022 for refacing an existing wall sign measuring 22 feet long x 27" high at 111 N Huron because the sign:

- is similar to the existing,
- does not destroy historic materials or spatial relationships,
- has a masked background so that only the words (not the background) light at night,
- is compatible in scale and proportion to the nearby historic resources,
- and is removable without impact to historic resources, meeting Standards 9 and 10.

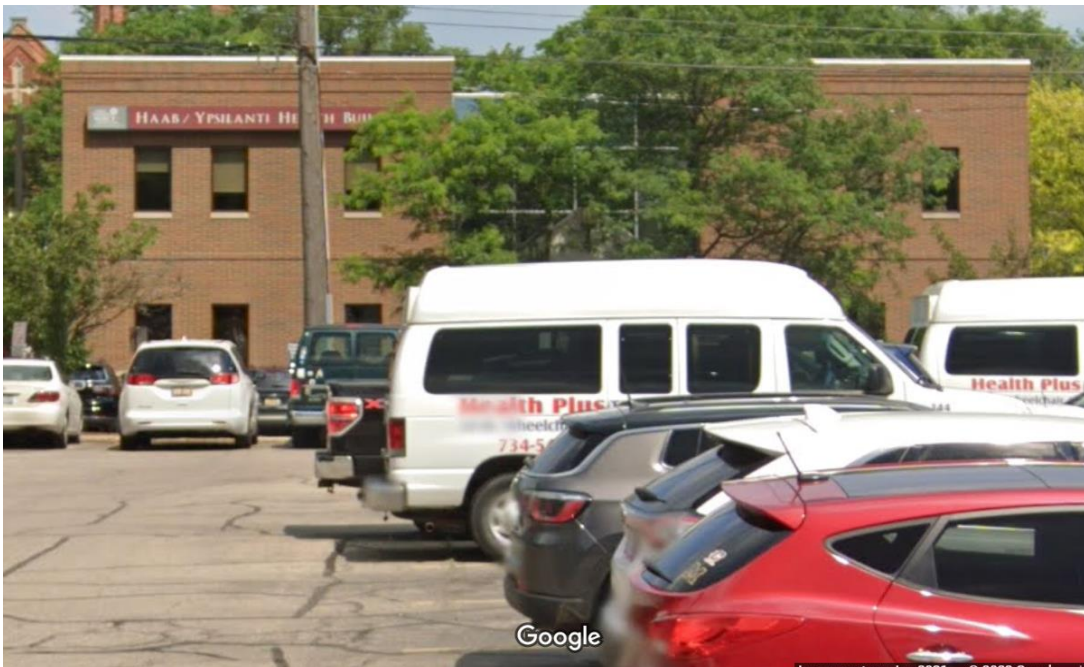
This sign will still need to be reviewed by the Planning and Building Departments, and will need to meet their requirements. Any amendments to the sign's design will need to be reviewed by the historic district commission.

Prepared by:
Ellen Thackery, Preservation Planner

Images showing 111 N Huron:



Above, east elevation, 111 N Huron, from Google streetview, 2021.



Above, west elevation, 111 N Huron, sign shown that will be refaced, Google streetview, 2021.



**City of Ypsilanti
Historic District Commission
Work Permit Application**

One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646
Fax: (734) 483-7260
www.cityofypsilanti.com

Office Use Only:

Receipt: _____

Method: _____

Action/Study Item

PHDC: 22-0092

To complete this application:

1. Complete this form.
2. Attach the following documents:
 - a. Photo(s) showing an overview of the building and all locations where work is proposed (can be emailed).
 - b. Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components—this includes information from catalogues, professional quotes, or websites (can be emailed).
 - c. Dimensioned drawings of any new construction or modifications to existing structures, including awnings and signs.
 - d. A sketch plan, if proposal is for work on the grounds and not just the main structure (e.g., installing a new driveway, fence, or shed). This can be drawn on a scaled copy of a mortgage survey.
3. Applications and materials must be received by the Building Department **no later** than 4pm on the Friday eleven (11) days prior to the meeting.

INCOMPLETE APPLICATIONS WILL BE REJECTED

Property

Address

111 N Huron St, Ypsilanti, MI 48197

Applicant

**If applicant is not owner of property, a written statement from the owner authorizing this application must be included.*

Name

Johnson Sign Company

Address

2240 Lansing Ave

City

Jackson

State

MI

Zip

49202

Phone / Fax

E-Mail **Staff will contact you primarily via email*

Contractor

Contractor Name & Contact Info

James Johnson, 734-483-2000

Type of work

- ☐ Roofing
☐ Window/Door
Replacement

- ☐ Porches
☒ Sign
☐ Fence (or other sitework)

- ☐ Painting
☐ Application Amendment
☐ Other

Complete Description of Proposed Work:

Reface existing wall sign with new routed out aluminum face with acrylic push thru

Materials (for paint include color chips or samples with application):

FACE: .090 aluminum with routed out copy
LOGO: 1/4" proud push thru acrylic with Miratec vinyl
HAAB HEALTH: backed with white 3/16" 7328 acrylic
PAINT: Trinity Health colors

Permit Application Fee (action items only)

The fee is \$45 for the first \$3,000 in construction cost plus \$5 for every additional \$1 - \$3,000 of construction cost. There is a flat fee of \$10 for painting only. *An additional fee of \$50 applies to HDC work started without the applicable permit.*

Construction Cost:

\$6,000

Permit fee:

\$45 + 5 = \$ 50.00

Signature

I hereby attest that the above information is accurate. I am authorized to and grant permission to the City of Ypsilanti staff to be on the subject property for the purposes of preparing staff reports and/or evaluating this application.

I further affirm that this property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.

Signature:

Date:

10/5/2022

Print Name:

James Johnson

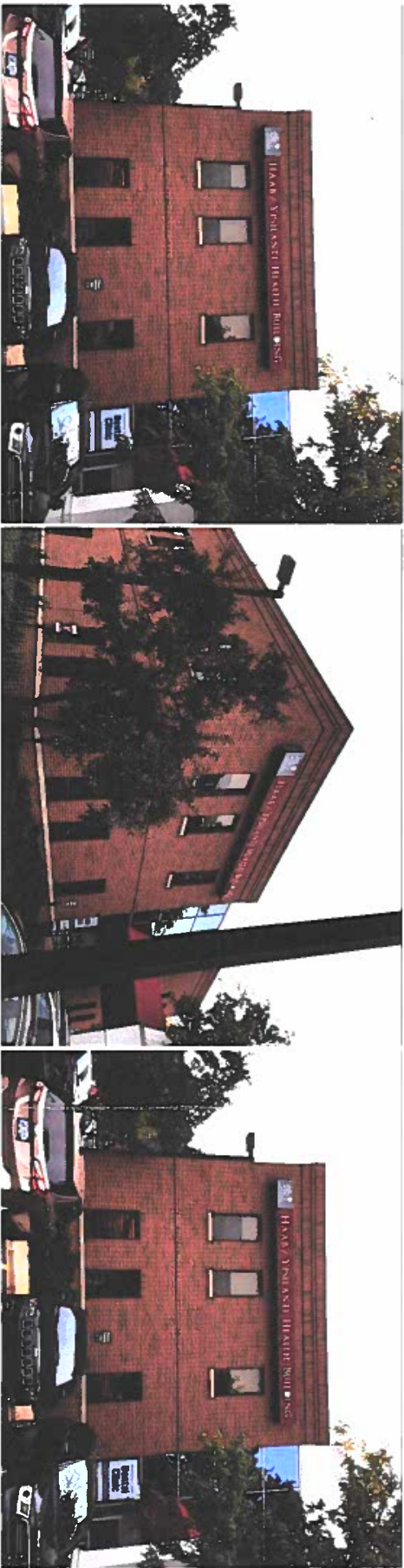
If you have questions about what the HDC generally permits or does not permit, or what they need to see in an application to render a decision, please call the office at 734-483-9646, email us at ethackery@cityofypsilanti.com, or view our factsheets at cityofypsilanti.com/hd.

All other necessary Building Permits must be acquired before beginning work.

PHD-22-0092

Site: SJAA-HC 111 N Huron St, Ypsilanti, MI

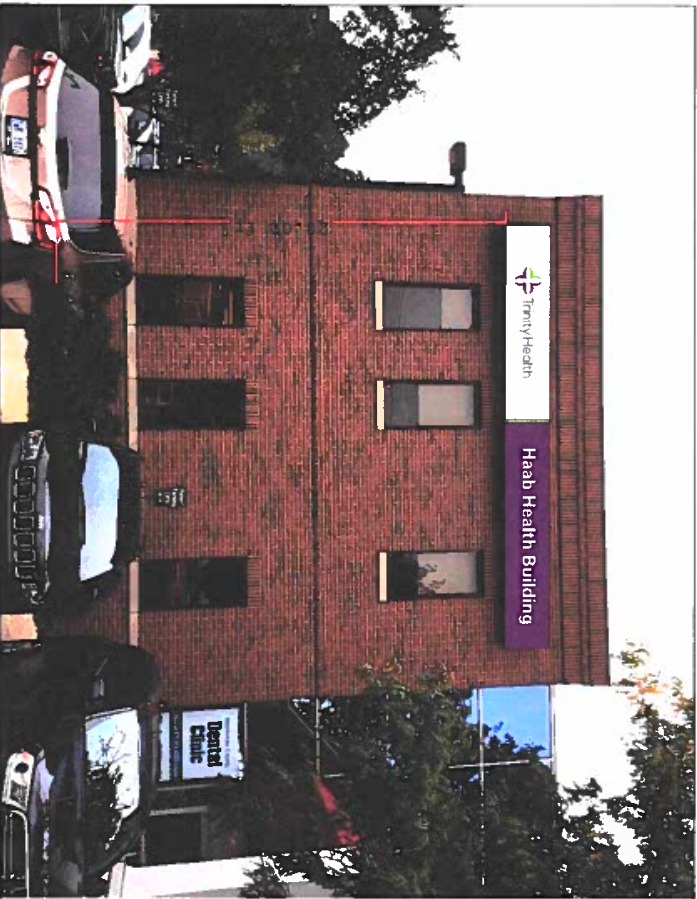
Context Recommendation Notes
Location: Main Entrance



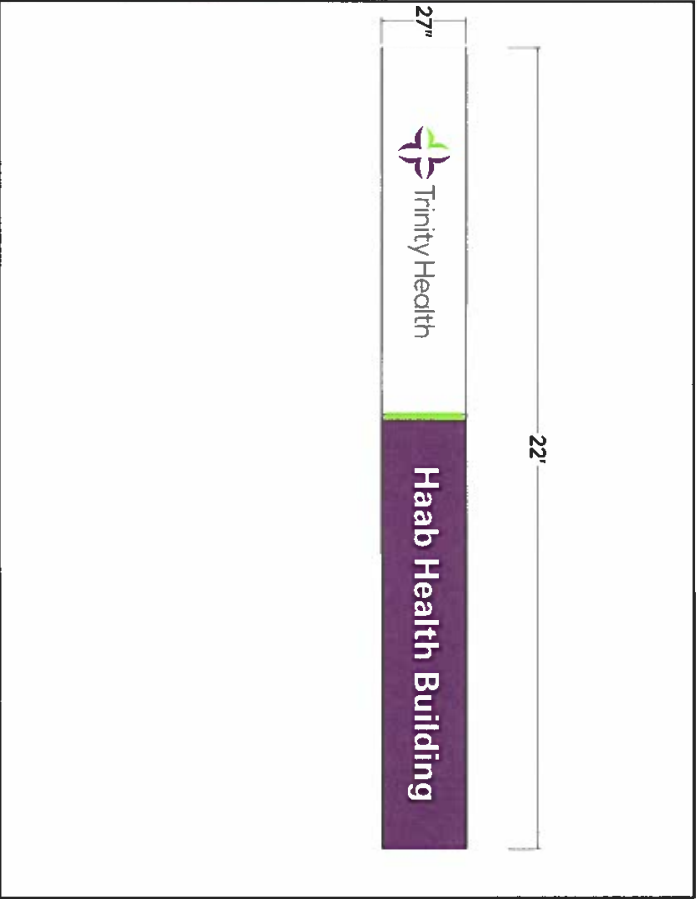
Existing - Image 1

Existing - Image 2

Existing - Image 3



Concept Rendering



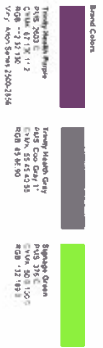
Sign Artwork

Existing

Type: Wall Sign
Quantity: 1
Illumination: Internal
Attachment: blind fasteners
Overall Height: -
Overall Width: -
Height: 27"
Width: 22'
Sign Depth: -
Mounting Height: -
Existing Notes: -

Recommended Action:

Action: REPLACE FACE ON EXISTING WALL SIGN W NEW FACE



New

Type: Wall Sign
Quantity: 1
Illumination: Internal
Attachment: blind fasteners
Height: 27"
Width: 22'
Notes:



Site:
SJAA-HC 111 N Huron St, Ypsilanti, MI

RECOMMENDATION BOOK

Site map





HDC Work Permit Staff Review

Property address: 5 S Washington

Property History: The National Register nomination for this historic district describes 5-11 S Washington as a "2-story, 4-storefront long, brick Italianate commercial block." It is intact and contributes to both the National Register and local historic districts.

Date of Application: 10/20/22

Date of Review: 10/21/22

Date of Meeting: 10/25/22

Proposed work: new illuminated round sign

Materials: Steel, LED lights, Plastic facing

Staff review:

1. New illuminated, 4' round sign will have a dark background and white letters so that only the letters and logo will glow at night.
2. The Historic District Fact Sheet, included with this agenda item, discourages backlit signs, but allows for the exception if only letters are illuminated, as here.
3. The Fact Sheet also requires that all installation devices and hardware be corrosion-resistant and that mounting happens in mortar joints wherever possible.
4. The Fact Sheet also requires that standoffs shall be used with panel signs and that any holes caused by the installation will be caulked with an exterior grade, high-performance sealant.
5. Applicant proposes to meet these requirements and plans to install a 4' round illuminated sign from the brick building at the corner of the building close to an alleyway and an iron fence.
6. As long as these requirements are met, staff believes that the proposed work meets the Secretary of the Interior's Standards 9 and 10.

1. Use property for original purpose or provide compatible use with minimal alteration.

2. Do not destroy original character. Do not remove or alter historic material or features.

3. Do not imitate earlier styles.

4. Preserve significant changes acquired over time.

5. Preserve distinctive features.

6. Repair, don't replace. Replacements shall match original.

7. Clean building gently—no sandblasting.

8. Preserve archaeological resources.

9. Contemporary designs shall be compatible and shall not destroy significant original material.

10. New work shall be removable.

7. Staff believes that as long as the sign is properly installed, it will not destroy historic materials or features, it will be compatible with the historic building in size, scale, and proportion, and if removed in the future, the essential form and integrity of the historic building will be unimpaired.
8. Before proceeding with work, applicant must obtain the appropriate zoning and building department permits.

Relevant Secretary of the Interior's Standards:
#9, #10

Recommended Motions:

Move to approve Application PHDC 22-0097 dated October 20, 2022 and issue a certificate of appropriateness for the new internally lit sign proposed at 5 S Washington, with the conditions that the sign is mounted in the mortar joints wherever possible, that the hardware used to mount the sign will be corrosion-resistant, that any holes created by the sign installation will be sealed with a high-performance exterior caulk, that the sign will have a dark background that allows for the light letters to be illuminated, and that all necessary zoning and building approvals will be obtained. If these conditions are met, the proposed work meets Secretary of the Interior's Standards for Rehabilitation #9 and 10.

Prepared by:
Ellen Thackery, Preservation Planner



CITY OF

Ypsilanti

PRIDE | DIVERSITY | HERITAGE

Historic District Fact Sheet

Signs and Awnings

This Fact Sheet is not a substitute for the ordinance, but addresses common questions about City ordinances. For further information, please call the Building Department.

All permit applications are available from the Building Department and at cityofypsilanti.com/permits.

Completed applications may be dropped off at the Building Department.

City Hall

One South Huron
Ypsilanti, MI 48197

Building
3rd Floor, City Hall
Phone: (734) 482-1025
cityofypsilanti.com/157

Planning
3rd Floor, City Hall
Phone: (734) 483-9646
cityofypsilanti.com/planning

Historic District
3rd Floor, City Hall
Phone: (734) 483-9646
cityofypsilanti.com/hd

All permits, fees, and factsheets can be found at cityofypsilanti.com/permits.

SIGNS

In general, signs should not be designed as a permanent feature, as the life of a given building normally exceeds the life of any business located in that building. Animated signs and roof billboards are prohibited by the zoning ordinance and will not be approved.

Back-lit Signs: Back-lit signs are strongly discouraged within the Historic District. When a back-lit sign is approved, only the letters may emit light, the background shall be opaque.

Wall Signs: Signs which are attached to the façade of a building, such as just above storefront windows, are normally constructed of aluminum, wood or MDO (medium density overlay). Signs shall be weatherproof and thus not constructed of any materials which cannot withstand the elements. Signs of this "board" type shall have trim around all edges to protect the sign from water damage.

Neon Signs: Pre-existing neon signs may be restored. The use of new neon signs must be appropriate to the character of the building.

Installation Methods:

- Signs must always be installed without causing undue damage to the fabric of the building.
- All installation devices (screws, nails, bolts, anchors, etc.) shall be corrosion-resistant and of a material that will not react adversely with adjacent materials. In most instances, stainless steel will be the metal of choice.
- Signs may be attached to wood surfaces with nails or screws.
- Signs that must be affixed to a brick or stone wall shall be attached with installation devices located at the mortar joints wherever possible.
- Standoffs shall be used when installing a panel sign to a building in order to provide air circulation between the sign and the surface of the building.
- Holes created to allow the insertion of installation devices shall be caulked with an exterior grade, high performance sealant to prevent water from entering the structure and causing damage to the fabric of the building.

AWNINGS

Varying styles of awnings may be used within the Historic District. The style and type that is acceptable for a particular location depends on the style of the building on which it will be installed. Owners should consider matching the profile of awnings on adjacent structures.

Materials for Awnings:

- Awnings with the Historic District shall NOT be translucent.
- Awnings may be constructed of many different materials. Canvas awnings are preferred but vinyl, acrylic and other materials may be considered.
- Lights under awnings may be approved provided light does not show through the awning.
- Metal, fiberglass and unpainted aluminum awnings are generally not in keeping with the style of buildings within the Historic District and are not likely to be approved but are reviewed on a case-by-case basis.

Lettering for Awnings:

- Awnings should not, in general, serve as the primary sign for a business.
- If an awning is intended to serve as a sign, lettering may be added to the valance only. Any other proposed uses of lettering will be examined on a case-by-case basis.

Last updated: January 2019



RECEIVED
OCT 20 2022

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Phone: (734) 483-9646
Fax: (734) 483-7260
www.cityofypsilanti.com

Office Use Only:	
Receipt:	30585
Method:	MC
Action/Study Item	
PHDC-	22-0097

To complete this application:

1. Complete this form.
2. Attach the following documents:
 - a. Photo(s) showing an overview of the building and all locations where work is proposed (can be emailed).
 - b. Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components—this includes information from catalogues, professional quotes, or websites (can be emailed).
 - c. Dimensioned drawings of any new construction or modifications to existing structures, including awnings and signs.
 - d. A sketch plan, if proposal is for work on the grounds and not just the main structure (e.g., installing a new driveway, fence, or shed). This can be drawn on a scaled copy of a mortgage survey.
3. Applications and materials must be received by the Building Department **no later** than 4pm on the Friday eleven (11) days prior to the meeting.

INCOMPLETE APPLICATIONS WILL BE REJECTED

Property

Address	5 S Washington St, Ypsilanti MI 48197
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Applicant

**If applicant is not owner of property, a written statement from the owner authorizing this application must be included.*

Name Paint and Pour, LLC		
Address 5 S Washington St		
City Ypsilanti	State MI	Zip 48197
Phone / Fax [REDACTED]		E-Mail *Staff will contact you primarily via email [REDACTED]

Contractor

Contractor Name & Contact Info Still TBD, evaluating estimates. Likely Signarama of Ann Arbor.

Type of work

- | | | |
|--|--|--|
| ☐ Roofing | ☐ Porches | ☐ Painting |
| ☐ Window/Door Replacement | ☒ Sign | ☐ Application Amendment |
| | ☐ Fence (or other sitework) | ☐ Other |

Complete Description of Proposed Work:

See Attached

Materials (for paint include color chips or samples with application):

See Attached

Permit Application Fee (action items only)

The fee is \$45 for the first \$3,000 in construction cost plus \$5 for every additional \$1 - \$3,000 of construction cost. There is a flat fee of \$10 for painting only. *An additional fee of \$50 applies to HDC work started without the applicable permit.*

Construction Cost:

Estimated 2,500-4,000

Permit fee:

 $\$45 + 5 = \50.00 **Signature**

I hereby attest that the above information is accurate. I am authorized to and grant permission to the City of Ypsilanti staff to be on the subject property for the purposes of preparing staff reports and/or evaluating this application.

I further affirm that this property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.

Signature:

Date:

10/20/2022

Print Name:

Michael H Patino

If you have questions about what the HDC generally permits or does not permit, or what they need to see in an application to render a decision, please call the office at 734-483-9646, email us at ethackery@cityofypsilanti.com, or view our factsheets at cityofypsilanti.com/hd.

All other necessary Building Permits must be acquired before beginning work.

Complete Description of Work:

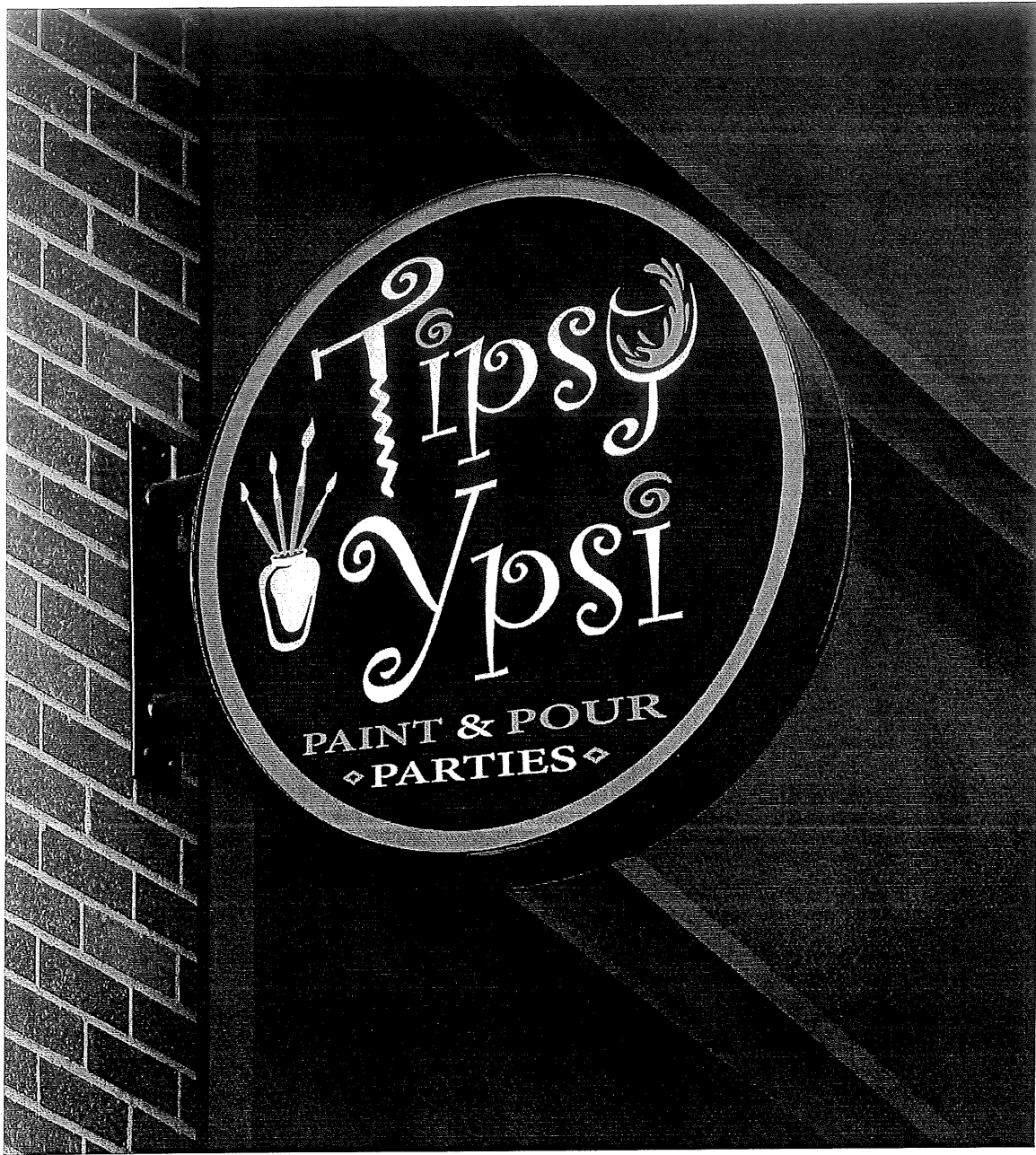
Installation of a Blade Projecting sign (similar to Ypsi Alehouse, Tap Room, Terry's Bakery, Go Ice Cream, & Wok Mandu) to increase visibility from Michigan Ave and the South Huron Parking Lot. The sign is likely to be mounted to the corner wall, as shown in the included mock up, but we are evaluating mounting it to the black iron fence frame next to our building as well.



The sign will be installed by mortar joints wherever possible, with standoffs to provide air circulation between the building and panel sign. Any holes created to allow the insertion of installation devices shall be caulked with an exterior grade, high performance sealant to prevent water from entering the structure and causing damage to the fabric of the building.

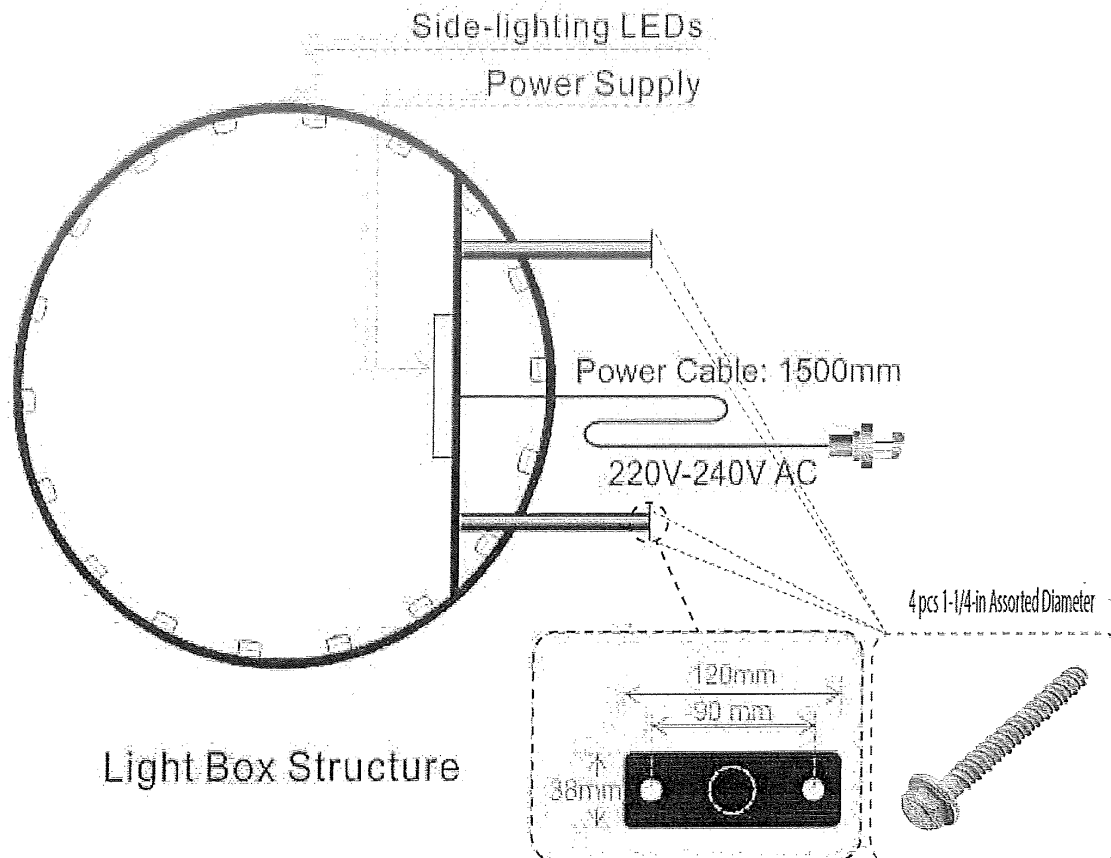
The actual design of the sign is still in the creative process, but the structure will be a 4 foot radius illuminated circle with our logo on the plastic facing. The facing will be black with just our logo and by line showing, as included in the mock ups below. This allows potential future tenants to replace the sign facing for a reduced cost.





Material:

Plastic, Steel, LED Lights, connecting to existing power source on exterior of the building, as shown in the mock ups.





MINUTES

City of Ypsilanti
HISTORIC DISTRICT COMMISSION
Meeting held in person at Ypsilanti City Hall, Council Chambers

Tuesday, October 11, 2022
7:00 P.M.

CALL TO ORDER AND ROLL CALL

Chair called meeting to order at 7:05 pm.

ROLL CALL

Commissioners Present:

James Chesnut – Washtenaw County, City of Ypsilanti
Stefan Szumko – Washtenaw County, City of Ypsilanti
James Ratzlaff – Washtenaw County, City of Ypsilanti
Delrhea Byrge—Washtenaw County, City of Ypsilanti

Commissioners Absent: Alex Pettit – Washtenaw County, City of Ypsilanti

Staff Present: Ellen Thackery, Preservation Planner

APPROVAL OF AGENDA

Motion: Szumko (second: Ratzlaff) moved to approve the agenda with the amendment that staff suggested that there are actually five administrative approvals staff left off the agenda.

Approval: Roll call vote. Unanimous. Motion carried.

PUBLIC COMMENT ON AGENDA ITEMS—attendee/homeowner noted that the study item address on the agenda is listed as 311 N River but it should be 311 E Forest.

APPROVAL OF AMENDED AGENDA

Motion: Ratzlaff (second: Szumko) moved to approve the agenda with the amendment that the agenda's study item is actually 311 E Forest, instead of 311 N River.

Approval: Roll call vote. Unanimous. Motion carried.

PUBLIC HEARING—none

OLD BUSINESS—none

NEW BUSINESS

47 N Huron

** New mural on non-historic portion of the building, where the concrete block is*

Applicant: Applicants present.

Staff Report: This application is for a mural on the south side of the building toward the west end, along the parking lot, on the concrete block portion of the building. The whole structure has been painted in the past, and this mural will use all vapor-permeable paint and sealer. The brand names are being added here to the minutes and staff has confirmed that both products are breathable/vapor permeable: PPG Permanizer paint and VandlGuard Anti-Graffiti Coating. With the paint, the flatter the finish, the more permeable the paint is.

Discussion: There were three applicants/presenters. The first applicant explained that she is an educator and works with youth and she has been involved with this youth project and she mentioned that some of the feedback that they have gotten from youth is that they are deeply affected by gun violence. The interim director of the Corner Health clinic explained that they are honored to host this mural for the community. The third presenter was an artist and youth mentor Curtis Wallace and he explained that this is not his mural, but his role is to teach the young people how to plan and paint murals like these. The materials used here are the same as the materials used on a mural on S Washington. Commissioner asked if there would likely need to be ongoing maintenance of the mural; group agreed that this art is a fixed piece when it is complete and they should not add names after it is sealed. Staff clarified, however, that if the group does decide to maintain some paint or sealer on the mural over time, that can be considered maintenance and only needs staff approval instead of whole commission approval. Staff also clarified that in the letter they receive as their certificate of approval, staff will include contact information for the staff they'll need to work with to close part of the parking lot while they work.

Motion: Szumko (second: Byrge) moved to issue a certificate of appropriateness for Application PHDC 22-0085 for a new mural to be painted on the south side of the building at 47 N Huron toward the west end with all vapor-permeable products. Because the work is not on a historic portion of the building, and because breathable products will be used, the work meets Secretary of the Interior's Standard for Rehabilitation #9.

Approval: Roll call vote. Unanimous. Motion carried.

218 N River

**Chimney partial rebuild and complete repointing*

Applicant: Not present.

Staff Report: This application is for the removal and rebuild of a couple courses of bricks and then a complete repointing of the chimney using soft mortar. The owner and contractor will skip a seal coat that had been mentioned on the application.

Discussion:

Motion: Ratzlaff moved (Byrge seconded) to issue a certificate of appropriateness for Application PHDC-22-0089 for the partial rebuilding of the chimney at 218 N River and the repointing of entire chimney, with the conditions that a soft mortar appropriate for historic bricks is used in the work and that a seal coat is not applied to the chimney. Relevant Secretary of the Interior's Standards for Rehabilitation include #2 and #6.

Approval: Roll call vote. Unanimous. Motion carried.

STUDY ITEMS

311 E Forest Ave

Contractor: Homeowner Nikki Nabozny present.

Discussion: Homeowner would eventually like to install a patio, possibly a paver patio, and would like a sliding door and step to access this patio. As she envisions it now, the sliding door would replace a window at the rear of the house. Since the house is non contributing and there is no historic material to preserve (the siding is aluminum and the windows are vinyl) and since this is the rear of the property, commissioners agreed that they would not be opposed to the idea of changing a window to a sliding door, but they did express that they would be hesitant about a vinyl door and would be interested in the idea of reviewing a fiberglass or aluminum-clad wood door as opposed to a vinyl one. They also suggested that it would be good if the whole project was included in the application (door, step, patio), even if the work will be phased, so that the commission could understand the whole vision and how the parts will work together. Staff stated that an HDC approval requires that work begin in 6 months, but doesn't have an expiration date, whereas building permits have expiration dates and can be extended. Commissioner thanked the applicant for bringing the study item and invited her back as a future study item if she wanted to discuss further or could bring an application for action when she's ready.

ADMINISTRATIVE APPROVALS

508 N River—replace gutters and downspouts

40 E Cross—restore 3 sets of paired wood windows and install wood storms

115 Maple—paint

118-120 Maple—reroof

218 N River—reroof

OTHER BUSINESS

1. Property Monitoring

- a. Commissioners/Staff discussed property concerns and property issues under review.

2. Updates from Staff

3. Commissioner Comments

- a. mentioned that they would be interested in hosting some workshops, like wood window demonstrations or a home maintenance talk, and staff agreed that would be possible.
- b. Staff also mentioned that she has reserved the freighthouse for a **Historic Home Expo Sunday May 7** and envisions timed demonstrations and vendors, as well.

AUDIENCE PARTICIPATION ON NON-AGENDA ITEMS-none

HOUSEKEEPING BUSINESS

Approval of the Minutes of September 27, 2022

Motion: Ratzlaff (second: Byrge) moved to approve the minutes of September 27, 2022, as submitted.

Approval: Roll call vote. Unanimous.
Motion carried.

ADJOURNMENT

Chair adjourned the meeting, citing the end of the agenda with no further items to discuss.

MEETING ADJOURNED at 8:17 p.m.