

1. Packet

Documents: [PACKET_3-19-14 .PDF](#)

Agenda
Planning Commission
Council Chambers
Wednesday, March 19, 2014 - 7:00 P.M.

I. Call to Order

II. Roll Call

Roderick Johnson, Chair	P	A
Anthony Bedogne	P	A
Mark Bullard	P	A
Gary Clark	P	A
Phil Hollifield	P	A
Heidi Jugenitz	P	A
Brett Lenart	P	A
Richard Murphy	P	A
Cheryl Zuellig	P	A

III. Approval of Minutes

- February 19, 2014

IV. Audience Participation

Open for general public comment to Planning Commission on items for which a public hearing is not scheduled.

V. Public Hearing Items

- 301 S Hamilton: special use permit/site plan - church expansion (BW)

VI. Old Business

- 1715 Washtenaw: revised site plan (BW)
- Zoning Presentation (Minock/Gillotti)
- Water Street Update (Gillotti)

VII. New Business

- Consideration of bylaws alteration related to attendance (first notification)

VIII. Committee Reports

- Non-Motorized Committee
- Annual Report Committee

IX. Future Business Discussion / Updates

- 1715 Washtenaw
- More zoning

X. Adjournment

**PLANNING COMMISSION
MEETING MINUTES
February 19, 2014
CITY COUNCIL CHAMBER
7:00 P.M.**

I. CALL TO ORDER

The meeting was called to order at 7:00 p.m.

II. ROLL CALL

Present: R. Johnson, G. Clark, B. Lenart, M. Bullard, C. Zuellig,
P. Hollifield, H. Jugenitz, A. Bedogne

Absent: R. Murphy (excused)

Staff: Teresa Gillotti, Community Development Director
Bonnie Wessler, Planner I
Nan Schuette, Executive Secretary

Commissioner Clark moved to amend the agenda reversing items VI and VII (Support: P. Hollifield) and the motion carried unanimously.

III. APPROVAL OF MINUTES – January 15, 2014

Commissioner Clark moved to approve the minutes of January 15, 2014 (Support: A. Bedogne) and the motion carried unanimously.

IV. AUDIENCE PARTICIPATION

None

V. PUBLIC HEARING ITEMS

None

VI. NEW BUSINESS

1. 1715 Washtenaw – Ypsilanti Urgent Care

Ms. Wessler presented the staff report noting that this is a request for site plan approval for an existing 2,000 square foot building with an eight space parking lot on the corner of Marion and Washtenaw. It is a very small site and has had many uses in the past. The applicant is proposing a change of use from business offices to a medical clinic. The property is zoned B1 Neighborhood Business, which allows medical clinics as a permitted use. In her report, Ms. Wessler incorrectly stated that the parking was adequate. Unfortunately, the maneuvering lane in front is only 10' wide and our zoning code requires substantially larger than that, minimum 22'. There are also some issues with the retaining wall, parking in front, and the visibility triangle. Staff is recommending tabling this item in order to give the owner an opportunity to look at the parking arrangement as well some grading issues.

Several board members asked for clarification on some substantive issues, which were provided by Ms. Wessler and also asked Ms. Wessler to get clarification from the owner on the retaining wall. Also in question was where the property line is now and where it is in relationship to the proposed Washtenaw Avenue recommendations on ROW.

Moe Wilcox – owner – does not understand why there is a need for all the changes since the property in question is pre-existing. It has been used for a medical facility in the past. Chairman Johnson explained that while it had been used in the past for a medical facility, since that time, the use had changed to office and he is now asking that the use be changed again, which requires updates.

After further discussion, Commissioner Lenart moved to table the site plan application for 1715 Washtenaw pending a resolution on the issues identified including the visibility triangle, improvements in the ROW and parking (Support: H. Jugenitz) and the motion carried unanimously.

VII. OLD BUSINESS

1. Zoning Ordinance Presentation: Form-based Code & Building Types

Presentation was made by Ms. Gillotti who stated that we are now drafting a zoning ordinance that will protect all the positive characteristics of the city, using information that was discussed during the Master Plan process. In the Zoning Ordinance, there will be two types of district – Use Based and hybrid use/form-based. She reviewed the proposed zoning plan, noting which districts were to be hybrid use/form districts, generally those more commercial in nature; and the use-based districts, such as the single-family district. Included in the presentation were draft dimensional standards for residential structure types, such as single-family cottages, houses, and estates; multifamily dwellings and dwelling types; and information that will pertain to both multi-family and single-family residences, such as porches, stoops, and other appurtenant structures that face the street.

The consensus from the commission members was that staff should try to have information accessible for the public with explanations in more laymen terms in order to have a better

understanding of form based codes. Ms. Gillotti asked that the board members get back to her within the next two weeks with comments, suggestions, etc.

2. Water Street Update

Ms. Gillotti stated that there will be a work session with city council which will be open to the public to be held on Tuesday, February 25th at 7:00 p.m. to discuss the Water Street Flats proposal. Several council members have been on a road trip to visit some other properties owned by Herman and Kittle and Ms. Gillotti is planning to visit Indianapolis with Police Chief DeGiusti and Building Supervisor, Frank Daniels, on Friday, February 21st. They had originally planned for 76 units but have now increased to 90 units; it will be multi-family housing, and will be a four storey brick/siding product. She reviewed the layout stating that the complex will be L-shaped fronting on River Street. Staff is asking for more architectural details – types of windows, etc.

A public meeting will be held on March 4th to present a purchase agreement for the Water Street Flats; the East Side Recreation Center and the OPRA for the Thompson Block. Ms. Gillotti added that the idea is to have more opportunity for feedback; discuss affordable housing and what that means; taxable value, and what this development would bring to the city. Hopefully this will help the public and council members have a better understanding and also to answer as many questions as possible that anyone may have.

VIII. COMMITTEE REPORTS

- **Non-Motorized Committee**
Ms. Wessler stated that included in the packet were meeting minutes of the December, January and February meetings as well as the Annual Report listing all of the many issues that were discussed, recommended and completed, i.e. new County bicycle maps, exploration of non-motorized improvements to the University campus, I-94 & Huron Street Crossing, etc. as well as actions they would like to take in the coming year. Also included were letters with recommendations on Cross Street pedestrian Safety, West Michigan Avenue and Prospect Avenue Reconstruction.
- **Annual Report Committee**
Commissioner Lenart moved to approve the annual report (Support: P. Hollifield) and the motion carried unanimously.

VII. FUTURE BUSINESS DISCUSSION/UPDATES

301 S Hamilton – Baptist Church
Updated Site Plans – 1715 Washtenaw

VIII. ADJOURNMENT

Since there was no further business, Commissioner Lenart moved to adjourn the meeting (Support: P. Hollifield) and the motion carried unanimously. The meeting adjourned at 9:50 p.m.



12 March 2014

Staff Review of Site Plan & Special Use Expansion Application
Second Baptist: Restrooms
301 S Hamilton / 308 S Adams

GENERAL INFORMATION

Applicant: William Meier, MEIER Architects
for Second Baptist Church
301 S Hamilton
Ypsilanti, MI 48197

Project: Second Baptist: Restrooms

Application Date: 19 February 2014

Location: South-east corner of Catherine and S Hamilton, north of Buffalo

Zoning: R2, One- and Two-Family Residential

Action Requested: Site plan & special use permit approval for expansion of building footprint.

Staff Recommendation: Approval with special use conditions.

PROJECT AND SITE DESCRIPTION

The parcel is slightly more than 2 acres in size, fronting on South Hamilton Street. There is an existing ~12,500 square foot church building, a 1200 square foot clergy house, a 500 square foot shed, and 123-space parking lot (per 2010 aerial); the applicant is proposing to add a 395 square foot expansion on the north-west corner of the church building for accessible restrooms.

The property is zoned **R2 – One- and Two-Family Residential**, which allows religious facilities as a Special Use, subject to the specific requirements in §122-780. This use received a conditional use permit (now equivalent to a use permit) in 1973; the application is for an expansion of that special use, as the building footprint is being expanded.

The proposed renovations comprise a new accessible restroom off the sanctuary level on the north-west corner of the church building. The remainder of the site will be largely undisturbed. A variance was granted in November 2013 to permit encroachment into the north (street side) yard setback and into the front yard setback; it was later discovered that a variance to permit a 0' front yard setback had been granted in June 1973.

Figure 1: Subject Site Location

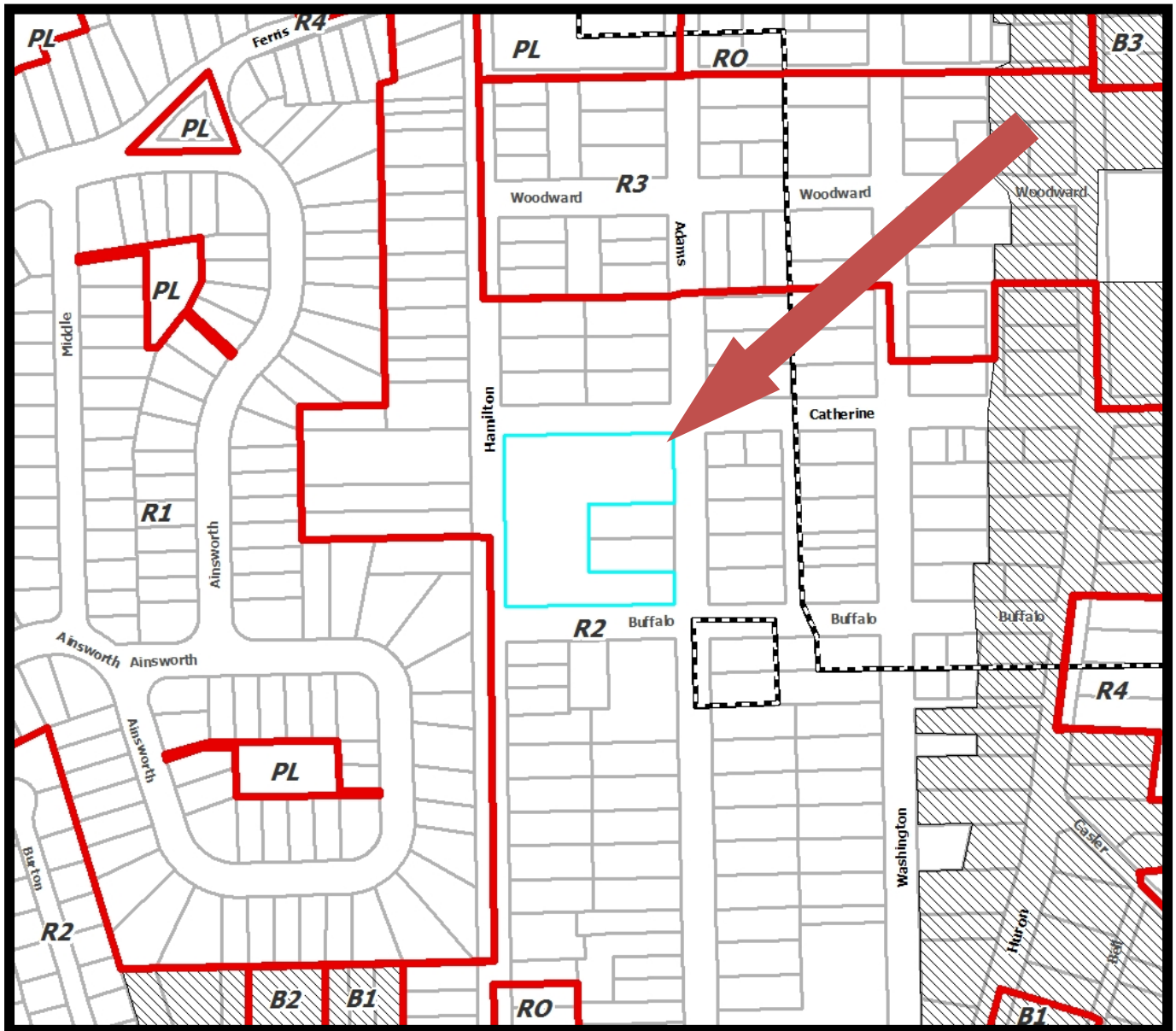


Figure 2: Site Aerial (2010)

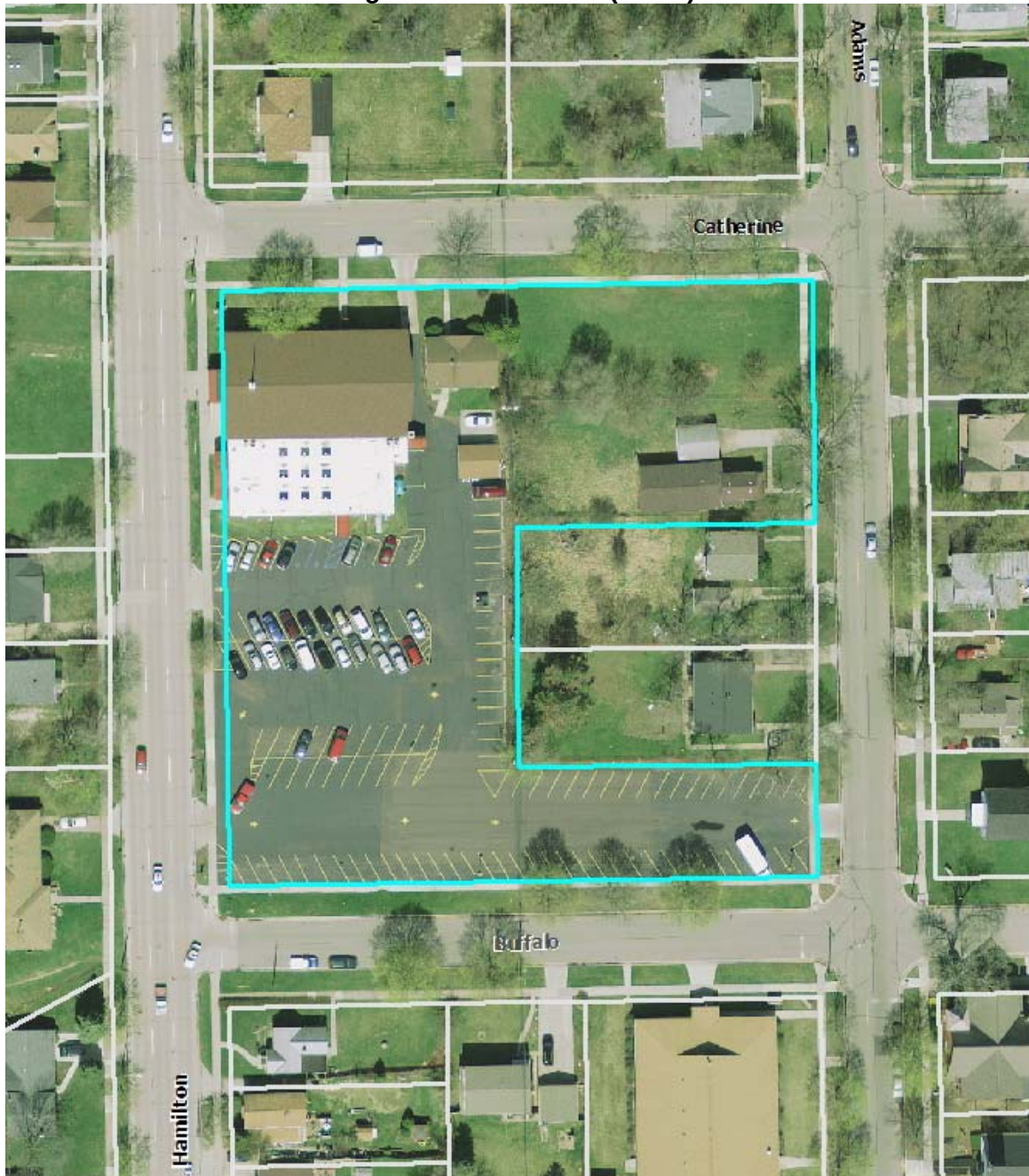


Figure 3: Land Use and Zoning of Surrounding Area

	LAND USE	ZONING
NORTH	single-family	R2
EAST	Single-family and two-family	R2
SOUTH	Single-family, church	R2
WEST	Single-family, vacant parcels	R2

SPECIAL USE: CRITERIA AND REVIEW

§122-165(b)

- (1) *The location, scale, and intensity of the proposed use shall be compatible with adjacent uses and the zoning of the land.*

COMMENTS: The Second Baptist Church has been a fixture of the neighborhood for decades, and has grown quite a bit over that time to its current physical size and attendance. The overall footprint of the church and its environs is much larger than other nearby uses, out of scale with the neighborhood. However, the planned expansion is small and geared towards retaining the existing churchmembers, rather than expanding or growing. Note, however, that a recent lot combination expanded the property by adding two parcels at the north end of South Adams, to enable a church garden, but also has resulted in the church owning the majority of the block. The church also owns two parcels across South Hamilton. Staff requests that the church coordinate with neighboring residents and property owners prior to future uses of these sites.

- (2) *The proposed use shall promote the use of land in a socially and economically desirable manner and shall not be detrimental, hazardous, or disturbing to existing or future neighboring uses, persons, property, or public welfare.*

COMMENTS: The expansion of the existing church use would not be detrimental, hazardous, or disturbing to existing or future neighboring uses.

- (3) *The proposed special land use shall be designed, constructed, operated, and maintained to assure long-term compatibility with surrounding land uses. Consideration shall be given to the placement, bulk, and height of structures; materials used in construction; location and screening of parking areas, driveways, outdoor storage areas, outdoor activity areas, and mechanical equipment; nature of landscaping and fencing; and hours of operation.*

COMMENTS: The proposed expansion will be architecturally compatible with the existing building. No new outdoor storage, activity, or mechanical areas are proposed, nor any other alterations to the outward appearance of the building or its grounds.

- (4) *The proposed special land use shall not present unreasonable adverse impacts on traffic circulation. Consideration shall be given to the estimated traffic generated by such use, proximity to major thoroughfares, and proximity to intersections, required vehicular turning movements, and provisions for pedestrian traffic.*

COMMENTS: It is not anticipated that this expansion will generate additional traffic, as it is likely to serve existing churchmembers; it is likely that those churchmembers will travel to the church with family members or friends, or attend via the bus ministry.

- (5) *The proposed use shall not create additional requirements at public cost for public facilities and services that will be detrimental to the economic welfare of the community.*

COMMENTS: The expansion is unlikely to create an additional demand for public services.

- (6) *The location of the proposed use shall not result in a small residential area being substantially surrounded by nonresidential development, nor a small nonresidential area being substantially surrounded by incompatible uses.*

COMMENTS: The expansion of the current use via this small footprint expansion will not substantially alter the existing character of the neighborhood.

Items to be addressed: This residential neighborhood is substantially fractured by the presence of the MDOT trunklines (Hamilton and Huron); high concentration of land-intense special uses, including churches, funeral homes, and their parking areas; nonconforming land uses such as roominghouses; and vacant lots. In particular, this site is nonconforming with regards to setbacks, stormwater, landscaping/screening, lighting, and so on, particularly in regards to its parking area. A dimensional variance has been granted to permit the

expansion of the building footprint along the north and west of the building for the construction of accessible restrooms. As such, the expansion not constitute an expansion of a nonconforming structure under §122-206. Nor is this project an expansion of a nonconforming use under §122-205, as a Special Use Permit has been issued and is being sought.

However, Planning Commission may require reasonable conditions as a condition of an approval. Per §122-167, these conditions may be placed to accommodate increased service and facility loads, to conserve or preserve natural resources, to ensure compatibility with adjacent land uses, and to promote the use of land in a socially and economically desirable manner. Such conditions must do all of the following:

- Be designed to protect natural resource, the health, safety, and welfare, as well as the social and economic well-being;
- Be related to a valid exercise of police power and purposes which are affected by the proposed use or activity;
- Be necessary to meet the intent and purposes of this chapter, be related to standards established in this chapter, and be necessary to ensure compliance with those standards.

Staff does recommend that Planning Commission discuss with the applicant options and conditions to alleviate some of the nonconformities present on the site, particularly as related to provision of a dumpster enclosure, stormwater controls, and landscaping/screening.

SITE PLAN: CRITERIA AND REVIEW

§122-127

STANDING

§122-127(1)

The applicant is legally eligible to apply for site plan review, and all required information has been provided.

REQUIREMENTS

§122-127(2)

Figure 4: Requirements

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
R2: LOT AREA & WIDTH §122-275	n/a for non-residential uses.	±2 acres	unchanged
LOT COVERAGE (buildings or structures)	Not more than 35%	14,200 sqft 16.3%%	14,600 sqft 16.7%
SETBACKS	NOTE: VARIANCE GRANTED 11/2013 from §122-275 to permit an encroachment of 17'-4" into the north (side) setback and 15'-8" into the west (front) setback, for a final setback of 8'-6" in the front and 9'-0" in the side, to construct a barrier-free restroom. In 1973 the church was granted a variance to permit a 0' front setback to Hamilton.		

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
Other yard requirements	For all uses permitted other than single- or two-family residential, all yard setbacks shall equal the height of the structure or the setback required under subsections (2) through (5) of this section, whichever is greater. Height of structure is 26.5'.		
front	25' or as established 26.5' Variance granted for 0'	8.5'	unchanged
street side (Catherine, north)	8' min 26.5' Variance granted for 9'	~24'	9'
street side (Buffalo, south)	8' min 26.5'	~204'	unchanged
rear	25' min 26.5'	~220' - through lot	unchanged
R2: §122-276 HEIGHT	Lesser of 2.5 stories or 30'; exceptions in §122-640	26.5'	26.5' ; cross embellishment exempt per §122-640
§122-647 SIDEWALKS	provide a sidewalk or shared-use path	sidewalk in good condition all sides	unchanged
§122-707 LANDSCAPING	10%	~25,200 sq ft 28.9%	~24,800sq ft 28.4%
§122-836 PARKING	1 per 5 seats (or 1 per 10' pew space) in main room of worship 508 seats 102 spaces 5 of which barrier-free	~123 spaces, 3 of which barrier-free	114 spaces, 4 of which barrier-free Convert / add at least one additional barrier-free space
§122-861 et seq SIGNAGE	- Building Mounted: max of 3 sq ft per ft of frontage - Ground: max of 16 sq ft, 8' tall; must be ≥3' from front property line; ≥10' from side or rear.	one existing ground sign at NW corner, one wall-mounted sign	Ground sign not shown in site plan. Clarify future location of sign, if any.

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
§122-780 USE-SPECIFIC	- Parking: prohibited in front or street-side setback areas; must be screened in accordance with 122-835(11)(b). - If taller than the max height, then increase the front, side, and rear yards by one foot for each foot the building exceeds the maximum. - Related uses, such as social centers, social service centers, child care centers, and rental banquet facilities shall be prohibited unless the planning commission shall find that any adverse impacts on surrounding properties and traffic will be mitigated.	Parking w/in front and street setback area, no screening; existing nonconforming & no alterations proposed. Existing nonconforming: variance granted to permit expansion n/a	Unchanged.

Items to be Addressed:

1. Site plan notes address of site as 308 South Hamilton Street; please correct to either 301 S Hamilton or 308 S Adams.
2. Provide one additional barrier-free parking space.
3. Applicant to update site plan with any current or proposed ground signs.

BUILDING LOCATION AND SITE ARRANGEMENT

§122-127(3)

The site is shaped like a "C". The existing church building is on the north-west corner of the lot and fronts onto South Hamilton, but is also directly accessible from Catherine. The church residence is located directly behind the church, fronting onto Catherine Street, at the north of the "C". Vacant land lies behind the church residence to the east, and connects to South Adams (a house is still present in the 2010 aerial; it has been demolished). At the left (west) and bottom (south) of the "C" is parking for the church. Enclosed in the void of the "C" and not part of the church's property are a privately-owned single-family home and a duplex owned by the Ypsilanti Housing Commission.

The majority of the parking is perpendicular to Hamilton and angled. As the lot has been expanded over time, it does not conform to current stormwater, lighting, barrier-free, landscaping/screening, or striping/dimensional standards. Barrier-free and striping/dimensional changes are proposed in this project, but no expansions or other changes are proposed. The building and site are used seven days a week. There is a dumpster located in the rear of the site, towards the eastern end of the northernmost row of parking, backing onto the void of the "C" shape; no enclosure is proposed, but is recommended.

Items to be Addressed: As discussed in the Special Use section above, the site is nonconforming in several aspects that affect and are affected by site arrangement. The Planning Commission may choose to place conditions upon the Special Use permit for the expansion per §122-167.

SITE ACCESS, TRAFFIC, AND PARKING

§122-127(4)

There is vehicular access to the site from Catherine (a drive between the residence and the church) and two dropoff points near the secondary entrance; two vehicular access points from South Hamilton and a dropoff point in front of the main entrance; and a vehicular exit to Adams. A sidewalk surrounds the block and is generally in good condition. There is no nearby bus service currently; the closest route is the 11, which has a stop on Ferris near Hamilton, Harriet near Hamilton, and one on Chidester near Catherine; this bus has limited Saturday service and no Sunday service. There are no bike parking spaces available. Vehicles primarily enter the parking area from the South Hamilton driveways. Both have pavement markings for entrance-only and the parking is angled to support that traffic pattern. Traffic exits onto South Adams.

115 parking spaces are proposed (approximately 8 fewer than currently available), 4 of which are barrier-free. Note that state building code standards require at least five barrier-free parking spaces be provided when a parking area contains between 101 and 150 spaces. On-street parking is provided on Catherine (including two marked handicapped spaces) 24/7 and on-street parking is available on South Hamilton on Sundays only.

No bicycle parking is proposed. Best practices suggest that an amount approximately equivalent to 5% of otherwise required parking be provided for bicycles. In this case, that would yield six spaces, or three double-sided hoops.

The sanctuary is primarily accessed from the Catherine entrance and the South Hamilton entrance; the community room and classrooms are accessed primarily from the parking lot entrance to the south.

Items to be Addressed:

- 1. Increase the number of on-site barrier-free parking spaces.*
- 2. Consider adding bicycle parking.*

ENGINEERING & STORMWATER

§122-127(5), §122-127(6)

The proposed construction is not in a floodplain or floodway. The plan does propose the addition of approximately 400 sq ft of additional impervious surface, as well as some pavement removals and utility hookups; the engineering review is attached.

Items to be Addressed:

- 1. Review and approval from YCUA will be required.*
- 2. The plans shall clearly show the expected limits of pavement removal of the sidewalk and Catherine Street in plan view.*
- 3. The road replacement cross section shall be a minimum of 5" of 13AHMA on 6" 21AA.*
- 4. The sidewalk around the perimeter of the site shall be inspected for trip hazards. Any identified hazards shall be noted for removal and replacement on the plans. It appears there may be several locations along Buffalo Street that will require replacement.*

SCREENING

§122-127(7)

Figure 5: Screening

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
§122-641 Lighting	• down-directed and shielded • not >0.5 fc @ lot line • not >16'in height • not < 0.3 fc	None shown on site plan. However, at least three pole lights exist in the parking area and several building-mounted lights are present.	Show existing lights; ensure light poles are accounted for when laying out parking.
§122-703 Screening Between Land Uses	visual buffer of at least 80% opacity and 6' height along boundary with conflicting land uses (residential to east)	No screening provided.	Unchanged.
§122-704 Off-Street Parking Landscaping	1 tree per 8 spaces (115/8 = 14)	No landscaping shown.	Unchanged.
	landscape island per 16 continuous spaces	No landscape islands provided.	Unchanged.
	ends of all aisles and corners protected	Not provided	Unchanged.
	minimum distance of 3' from curb backside to landscaping	Not provided	Unchanged.
	must be screened per 122-703 if conflicting land use adjacent	conflicting land use to east; no screening provided	No screening provided.
	must be screened from public ROW	Not provided	Unchanged.
	prevent vehicular encroachment into landscaping, structures	Wheelstops provided adjacent to church building and at rear (east). No curbing adjacent to sidewalks or elsewhere in parking area.	Unchanged.

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
§122-706 Foundation Landscaping	screen buildings from parking areas/ ROWs 1 ornamental tree and 6 shrubs per 30' - rear parking: 40' - o 8 shrubs - o 1 trees - South parking: 95' - o 19 shrubs - o 3 trees - front ROW (Ham): 100' - o 20 shrubs - o 3 trees - north ROW(Cath): 105' - o 21 shrubs - o 3 trees	- rear parking - o 0 shrubs - o 0 trees - South parking - o 0 shrubs - o 0 trees - front ROW - o 0 shrubs - o 0 trees - o *note lack of space due to staircases. - north ROW - o 7 shrubs - o 1 tree	Unchanged. Recommend applicant provide increased foundation landscaping to the north and south of the church building.
§122-650, Refuse Containers §122-709	masonry enclosure 1' taller than dumpster (no less than 6'), in rear yard, 80% opaque swing door, on a concrete pad	Dumpster on site, no enclosure provided	Unchanged. Recommend installation of dumpster enclosure.
§122-712 Maintenance	install underground sprinkler system	None present	None proposed. Recommend waiver.

Items to be Addressed:

1. Applicant to submit further detail regarding parking lot and entrance lighting.
2. Applicant to construct 80% opaque fencing on property line adjacent to residential properties.
3. Applicant to provide off-street parking screening in the form of landscaped islands along the Hamilton and Adams frontages.
4. Applicant to provide wheelstops or curbing as well as off-street parking screening landscaping at south property line.
5. Planning Commission waiver requested to accept proposed foundation landscaping along Catherine and Hamilton rights-of-way; staff recommends that the applicant provide increased landscaping at north and south of church building.
6. Applicant to submit full landscape plan, subject to administrative approval
7. Applicant to provide dumpster enclosure or remove dumpster in accordance with ordinance.
8. Planning Commission waiver required to omit in-ground irrigation.
9. Consider adding street trees.

STAFF RECOMMENDATIONS: SPECIAL USE

Staff recommends the Planning Commission **approve** the Special Use Permit expansion for the Second Baptist Church at 301 S Hamilton with the following findings and conditions:

Findings: The application is substantially in compliance with §122-165(b).

Conditions:

1. Special use approval shall be subject to approval of site plan.
2. Provide street trees along all frontages, spaced appropriately for the conditions, obstacles, and tree species selected. Permits are required from both MDOT and the City.
3. Provide bicycle parking.

STAFF RECOMMENDATIONS: SITE PLAN

Staff recommends the Planning Commission **approve** the Site Plan for the Second Baptist Church at 301 S Hamilton with the following findings, waivers, and conditions:

Findings

1. The application substantially complies with §122-127.

Waivers

1. To omit in-ground irrigation.

Conditions

1. Site plan notes address of site as 308 South Hamilton Street; please correct to either 301 S Hamilton or 308 S Adams.
2. Provide one additional barrier-free parking space.
3. Applicant to update site plan with any current or proposed ground signs.
4. Review and approval from YCUA will be required.
5. The plans shall clearly show the expected limits of pavement removal of the sidewalk and Catherine Street in plan view.
6. The road replacement cross section shall be a minimum of 5" of 13AHMA on 6" 21AA.
7. The sidewalk around the perimeter of the site shall be inspected for trip hazards. Any identified hazards shall be noted for removal and replacement on the plans. It appears there may be several locations along Buffalo Street that will require replacement.
8. Applicant to submit further detail regarding parking lot and entrance lighting.
9. Applicant to construct 80% opaque fencing on property line adjacent to residential properties.
10. Applicant to provide off-street parking screening in the form of landscaped islands along the Hamilton and Adams frontages.
11. Applicant to provide wheelstops or curbing as well as off-street parking screening landscaping at south property line.
12. Planning Commission waiver requested to accept proposed foundation landscaping along Catherine and Hamilton rights-of-way; staff recommends that the applicant provide increased landscaping at north and south of church building.
13. Applicant to submit full landscape plan, subject to administrative approval
14. Applicant to provide dumpster enclosure or remove dumpster in accordance with ordinance.

Bonnie Wessler
Planner I, Planning & Development Dept.

ARCHITECTS. ENGINEERS. PLANNERS.



March 12, 2014

City of Ypsilanti
Planning and Development Department
One South Huron Street
Ypsilanti, Michigan 48197

Attention: Ms. Teresa Gillotti

Regarding: Second Baptist Church
308 S. Hamilton
Site Plan Review No. 1
OHM Job No. 0094-14-0011

Dear Ms. Gillotti:

The applicant is requesting site plan approval for a building addition to an exist church at the above address. The site plan is dated February 14, 2014. We have reviewed the plans and recommend site plan approval from an engineering standpoint. The applicant must address the comments below prior to submitting detail engineering plans:

1. Review and approval from YCUA will be required.
2. The plans shall clearly show the expected limits of pavement removal of the sidewalk and Catherine Street in plan view.
3. The road replacement cross section shall be a minimum of 5" of 13A HMA on 6" 21AA.
4. The sidewalk around the perimeter of the site shall be inspected for trip hazards. Any identified hazards shall be noted for removal and replacement on the plans. It appears there may be several locations along Buffalo Street that will require replacement.

If you have any questions please contact me at (734) 522-6711

Sincerely,
OHM Advisors

A handwritten signature in black ink, appearing to read 'Marcus J McNamara', is written over a horizontal line.

Marcus J McNamara

CC: Stan Kirton, Department of Public Works, One South Huron Street, Ypsilanti, MI 48197
Scott Westover, P.E., YCUA, 2777 State Street, Ypsilanti, MI 48198
File

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OHM Advisors
34000 PLYMOUTH ROAD
LIVONIA, MICHIGAN 48150

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PROJECT LOCATION

308 HAMILTON STREET YPSILANTI, MI



VARIANCE REQUIRED

VARIANCES REQUIRED FROM ZONING ORDINANCE -
(granted by ZBA NOVEMBER 2013)

1. ADDITION TO A NON-CONFORMING BUILDING (SETBACK ENCROACHMENTS)

2. VARIANCE FROM NORTH YARD SETBACK

3. VARIANCE FROM WEST YARD SETBACK

3. CONTINUATION OF EXISTING WEST PROPERTY SIDE YARD SET BACK.

LEGAL DESCRIPTION

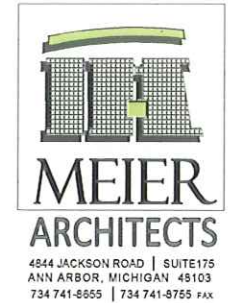
YPC 1-W56A A PARCEL OF LD BOUNDED ON THE NORTH BY CATHERINE STREET, ON THE EAST BY ADAMS STREET, ON THE SOUTH BY BUFFALO STREET, AND ON THE WEST BY HAMILTON STREET, EXCEPTING THE N 132 FT OF THE S 198 FT OF THE E 165 FT THEREOF. COMBINED ON 02/19/2013 FROM 11-11-39-414-007, 11-11-39-414-008, 11-11-39-414-009, 11-11-39-414-010, 11-11-39-414-011;

PARCEL NUMBER: 11-11-39-414-012

ADDRESS: 308 S ADAMS ST

PROJECT DESCRIPTION

- AN ADDITION OF 395 SF TO THE NORTH SIDE OF THE BUILDING.
- FACILITATE ACCESSIBLE TOILET ROOM NEEDS FOR THE ELDERLY AND PHYSICALLY HANDICAPPED MEMBERS OF THE CONGREGATION



ENGINEER



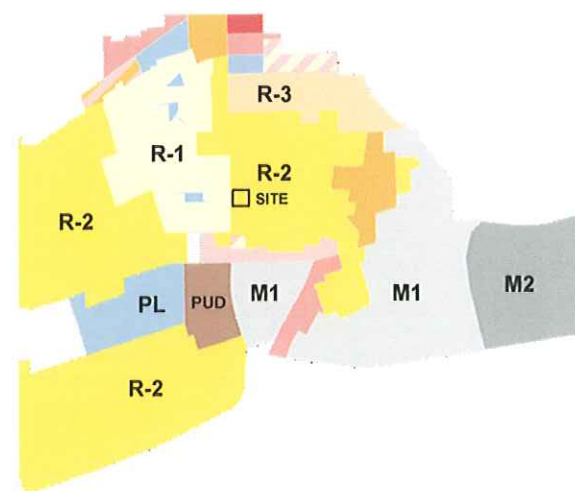
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ACCESSIBLE TOILET ROOM BUILDING ADDITION Second Baptist Church

308 SOUTH HAMILTON STREET YPSILANTI, MICHIGAN

ZONING INFORMATION



SITE DATA

SITE AREA: 2.00 ACRES: 87,206 SF
LOT COVERAGE: 15.98 % - 13,933 SF (10,244 + 2889) / 87,206 SF
FLOOR AREA RATIO: 21% - 18,320 (12,863 + 5457) / 87,206 SF
Hamilton YARD SETBACK: 26' - 6" [actual 8' - 6"]
Catherine YARD SETBACK: 26' - 6" [actual 9'-0"] 26'-
Adams YARD SETBACK: 26' - 6" [actual
Buffalo YARD SETBACK: 26' - 6" [actual 203'-10"]

A-3: CHURCH USE
R-2 ZONING

BUILDING AREA : 29,57012,863

PARKING REQUIRED:
Section 122-836 1 per 5 seats or 10 linear feet of
pew space based on maximum capacity in the
main unit of worship
508 seats / 5 person per parking space
TOTAL: 106 PARKING SPACES REQUIRED

R-2 ZONING

THIS DISTRICT IS INTENDED FOR ONE - TWO FAMILY RESIDENTIAL USES.

CHURCHES ARE PERMITTED AS A SPECIAL EXCEPTION USE.

CIVIL ENGINEER

ENGINEERING TECHNOLOGIES
CORPORATION
3824 CARPENTER ROAD
YPSILANTI, MI, 48197
KENNETH COUSINO, ENGINEER
(734) 904-7440
KCOUSINO@ETCINC.COM

12,468 SF BUILDING
395 SF ADDITION
12,863 SF TOTAL
87,206 SF SITE AREA
15.97 % LOT COVERAGE

ARCHITECT

MEIER ARCHITECTS
4844 JACKSON ROAD
ANN ARBOR, MICHIGAN 48103
WILLIAM MEIER, ARCHITECT
(734) 741-8655
BILL@THEMEIERGROUP.COM

OWNER

SECOND BAPTIST CHURCH
308 SOUTH HAMILTON STREET
YPSILANTI, MICHIGAN 48197
AL ROBINSON
(734) 482-5861
MEWRIGHT_38@YAHOO.COM.COM

DRAWING INDEX

TS TITLE SHEET
C-1 EXISTING SITE PLAN
C-2 SITE PLAN
1 PLANS + ELEVATIONS

SECOND BAPTIST CHURCH
ACCESSIBLE TOILET ROOM ADDITION
308 South Hamilton Street Ypsilanti, Michigan

CONTACT
Al Robinson

OWNER
SECOND BAPTIST CHURCH
308 SOUTH HAMILTON STREET
YPSILANTI, Michigan 48197

SITE PLAN REVIEW 02-14-2014
ISSUED FOR: DATE:

TITLE SHEET

TS

PROJECT NUMBER
700- 2013



SCALE: 1"=20'

LEGAL DESCRIPTION

YPC-1W56A A PARCEL OF LAND BOUNDED ON THE NORTH BY CATHERINE STREET, ON THE EAST BY ADAMS STREET, ON THE SOUTH BY BUFFALO STREET, AND ON THE WEST BY HAMILTON STREET, EXCEPTING THE NORTH 132 FEET OF THE SOUTH 198 FEET OF THE EAST 165 FEET THEREOF COMBINED ON 02/19/2013 FROM 11-11-39-414-007, 11-11-39-414-008, 11-11-39-414-009, 11-11-39-414-010, 11-11-39-414-011;

PARCEL NUMBER: 11-11-39-414-012

ADDRESS: 308 S ADAMS STREET

Construction:

1. Install erosion control Dandy Bag on ex adjacent catch basins & 100LF silt fence
2. Saw cut edges of ex pavements, curbs and walks
3. Provide traffic and pedestrian control measures:
 - a. Two - type III barricades to close Catherine St w/flashers and "Road Closed" signs
 - b. Plastic barrier fence around all open excavations and across closed sidewalk areas. Two - Type II lighted barrels needed for overnight sidewalk closure
4. Remove existing pavements and dispose off-site
5. Excavate and install new sanitary lead w/full granular backfill
6. Install new wye fitting on existing sanitary sewer & provide bypass pumping as needed
7. All work to be performed to meet the requirements of the City of Ypsilanti and the YCUA
8. Restore all damaged or removed improvements & seed and mulch with fertilizer over 4" min topsoil on all green belt lawn areas
9. Clean all areas of debris, excess materials, and dirt
10. Remove traffic and erosion control measures

Bench Mark 1: 737.02
Spike in utility pole on the east side of Hamilton 73'south of Catherine R/W

Bench Mark 2: 734.90
NW corner of Catherine at Adams
SE face of light pole

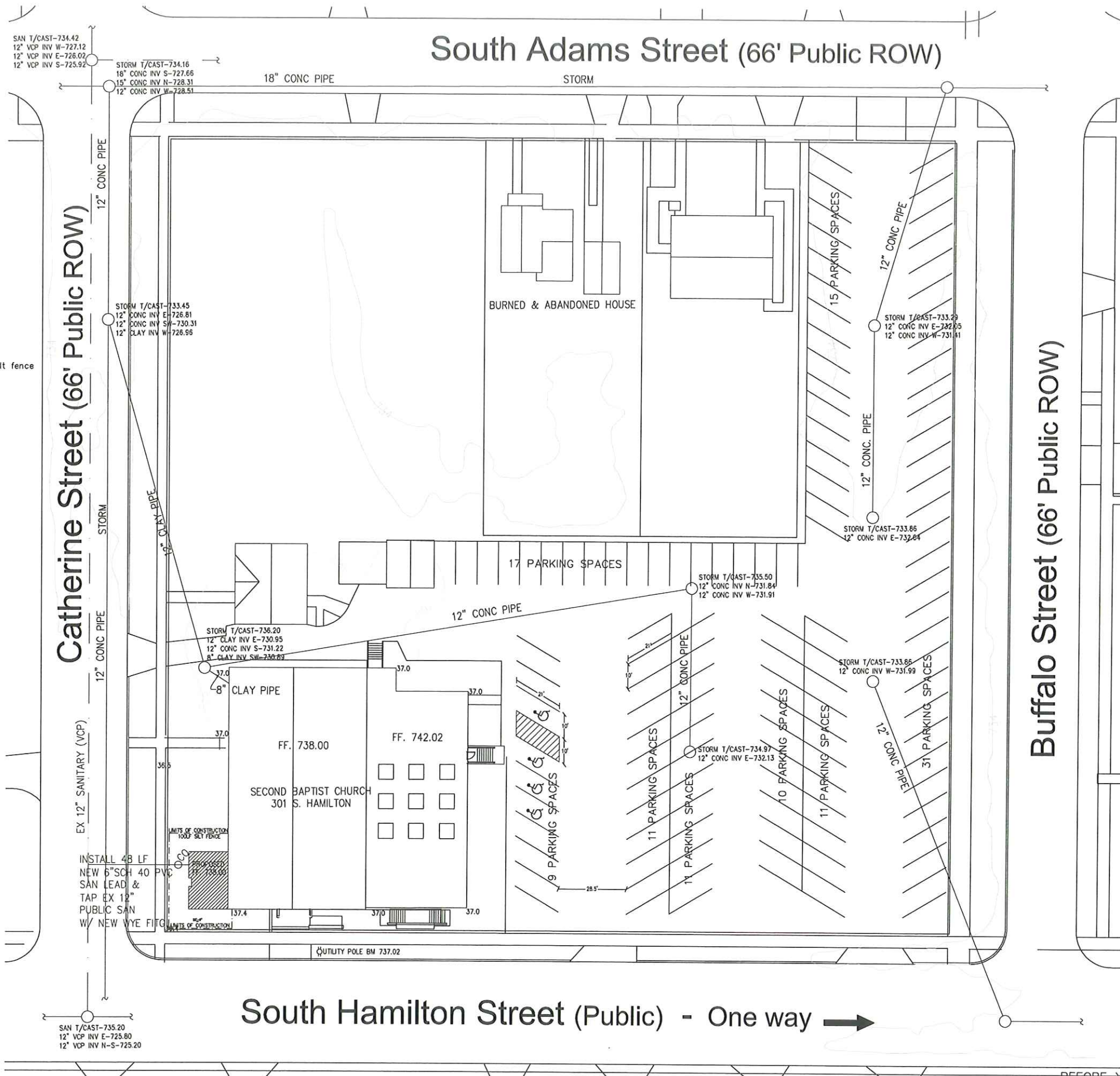
PARKING REQUIREMENTS

Seating Capacity of Second Baptist Church based on Parking Requirement in Sec 122-836:
352 Seats in Worship space + 100 Balcony + 56 Choir
508 TOTAL in Sanctuary

Sec 122-836 Required Parking for Churches:
1 per 5 seats or 10 linear pew space based on maximum capacity in the main unit of worship space.

REQUIRED PROVIDED

102 Spaces 115 Spaces.
Including 4 handicap



SECOND BAPTIST CHURCH

OWNER:
SECOND BAPTIST CHURCH
301 S. HAMILTON
YPSILANTI, MI 48197
AL ROBINSON, PROJ MANAGER

ENGINEER:
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WILLIAM MEIER
4844 JACKSON RD #175
ANN ARBOR, MI 48103
TEL: (734) 741-8655
FAX: (734) 741-8755

DESIGNER: YPC
DRAWN BY: EG/ALC
EP PROJECT: PROJECT DESCRIPTION
PATH\NAME: WaterArch\SecBap\Site.dwg
X-REFS: LIST ALL XREFS Plan--1--2014.dwg

REVISIONS:
NO. DESCRIPTION DATE

DRAWING TITLE:
SITE PLAN

DATE:
10 FEB 2014

SHEET NO.:

C-1

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BEFORE YOU DIG
CALL MISS DIG
800-482-7171

SPECIFICATIONS

1. All work and materials, unless otherwise stated in these plans, shall be in accordance with the construction standards and specifications of the Washtenaw County Road Commission, the Washtenaw County Environmental Health Department, the Washtenaw County Drain Commission, Township, and/or the State of Michigan

GENERAL

1. Contractor to protect existing above ground and below ground facilities including: utilities, poles, trees, shrubs and other vegetation unless noted for removal on the plans; and shall repair or replace damaged facilities at no cost to the Owner. Trees shall be neatly trimmed. It is the responsibility of the Contractor to locate, protect and maintain existing services to existing homes and businesses, including sanitary, water, gas, cable & other utilities including those not specifically identified on the plans.

2. Contractor shall protect all other site features such as mail boxes, fences, landscaping, etc., unless noted for removal on the plans, and restore to original condition, if damaged. No additional payment will be allowed for this work.

3. It is the Owner's intent to preserve the existing trees on the site and no trees will be destroyed without permission from the Owner, or positive field marking by the Engineer.

4. For protection of underground utilities, and in conformance with Public Act 53, the Contractor shall dial 1 (800) 482-7171 a minimum of three (3) full working days, excluding Saturdays, Sundays and Holidays, prior to beginning each excavation in areas where public utilities have not been previously located. Members will thus be routinely notified. This does not relieve the Contractor of the responsibility of notifying utility owners who may not be a part of the "MISS DIG" alert system.

5. No burning or blasting will be allowed on this project.

6. All construction staging areas shall be approved by the project engineer, City/Township, Washtenaw County Road Commission, and land owner prior to start of construction. Any areas beyond construction rights-of-way secured by the Contractor for use as construction staging areas shall be at his/her own expense.

7. The restoration of all staging areas shall be completed prior to final acceptance of the work of this project.

8. Contractor to maintain site grading at all times to prevent ponding of water.

9. Erosion control shall be the responsibility of the Contractor and shall conform to the requirements of the local City/Township and/or Washtenaw County.

10. Contractor shall protect all existing natural drainage ways from silt and dirt during construction; see detail sheet for methods.

11. Delays and additional costs caused by suppliers or subcontractors are not the Owner's responsibility and will not constitute a time extension.

12. At no time may the Contractor trespass on private property outside of designated construction limits (right-of-way).

SITE PREPARATION / REMOVALS / PAVEMENT CONSTRUCTION

1. Fill areas shall be prepared, inspected and tested as follows:

- All topsoil to be stripped prior to any filling,
- Fill shall be placed and graded smooth to drain toward natural drainage courses,
- Topsoil is to be respread, seeded and mulched. Final grades for all fill areas to blend smooth to existing adjacent grades and not allow water to become trapped or pond.

UNDERGROUND UTILITIES

1. Utility main locations on these plans are shown to the best information known for this project. Utility lead locations are unknown at this time. It is the Contractor's responsibility to contact all utility owners for field location of existing utilities prior to any excavation. The Contractor shall notify the City/Township of discovered discrepancies or deficiencies in the utility information prior to incurring any additional costs on this project. Utility owners may choose to perform replacement or improvements to their utilities as part of this project. It is the Contractor's responsibility to coordinate with the utility work on this project and assist in the resolution of any conflicts.

RESTORATION

1. All disturbed greenbelt areas are to receive 4" minimum, unless otherwise noted on plans, topsoil and hydroseed with tack, mulch, and fertilizer. Establishment of lawn is required and area must be reseeded, mulched and fertilized.

2. All final grades shall slope to drain toward catch basins, swales, curbs and drainageways. No water shall be allowed to pond. Ponding areas must be repaired at the Contractor's expense.

NOTE: UTILITY MAIN LOCATIONS ON THESE PLANS ARE SHOWN TO THE BEST INFORMATION KNOWN FOR THIS PROJECT. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION. CALL MISS-DIG AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATION AT 1-800-482-7171.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

SAFETY

1. Safety is essential for all construction operations on this project. It is the responsibility of the Contractor to protect his own workers, and those of any subcontractors, suppliers, Township employees, the project engineer, and anyone else who may be on the construction site. A designated competent person in accordance with O.S.H.A. requirements, knowledgeable in soils, trench safety, sheeting and shoring shall be on the premises at all times during construction operations. Confined space entry and all other safety requirements shall be followed as required by law and/or O.S.H.A. guidelines.

CONSTRUCTION SEQUENCE/ EROSION CONTROL

1. Install temporary erosion control, including silt fence and tracking mat, prior to any grading operation.

2. Strip topsoil and rough grade site, avoiding over exposure of open grade. Stripped topsoil, vegetation, and roots to be stockpiled on site and seeded and mulched, or matted with straw in the non-growing season, immediately after the stripping process is completed to prevent wind and water erosion.

3. Install storm drainage system including riprap, storm sewer system and detention basin standpipe, and all remaining erosion control measures for storm system, including dandy bags, rip rap, and all stabilization measures required per City/Township, County and State agencies.

4. Soil erosion control measures shall be monitored daily by the on-site engineer or contractor, whichever case applies.

5. Maintain erosion and sedimentation control measures, as required.

6. Cut and fill driveway and compact subgrade as required.

7. Cut and grade ditches for proper drainage.

8. Install gravel base and compact as required.

9. Install franchised utilities.

10. Install leveling base / leveling course per plans.

11. Finish grade, redistribute topsoil, seed and mulch to all disturbed areas to ensure proper drainage.

12. Remove any accumulated sediment within the detention basin and replace clean washed stone around standpipe.

13. Complete construction of site.

14. Insure all soil is stabilized. Remove all temporary soil erosion control measures.

TRAFFIC CONTROL

1. The Contractor shall furnish and maintain all signs, devices, barricades, trench protection fencing, and flaggers needed for his operations on the project. Contractor shall also protect all traffic control measures on this project, including those initially installed by the Township. Damaged signage shall be replaced at the Contractor's expense.

2. A minimum of one lane access to driveways and businesses shall be maintained at all times.

3. All excavated areas shall be delineated by Type II barricades with flashers at the close of each day along the entire length of any excavation. Type II barricades with flashers to be placed over all open structures in roadway at close of each day. All Type II's on the project to be plastic drums, furnished and maintained by the Contractor.

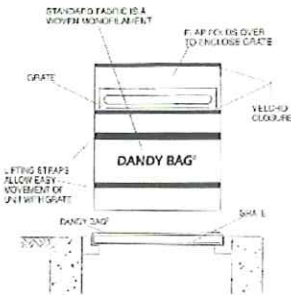
4. Traffic on any street shall not be closed unless otherwise noted on the plans, or approved prior to construction. Two way traffic shall be restored after work hours on all streets.

5. Contractor shall maintain safe, dust free conditions on existing streets, which may require daily removal of earth tracked or spilled on road surfaces, and other dust control measures as required by the project engineer. Excessive dust will not be tolerated at any time during construction.

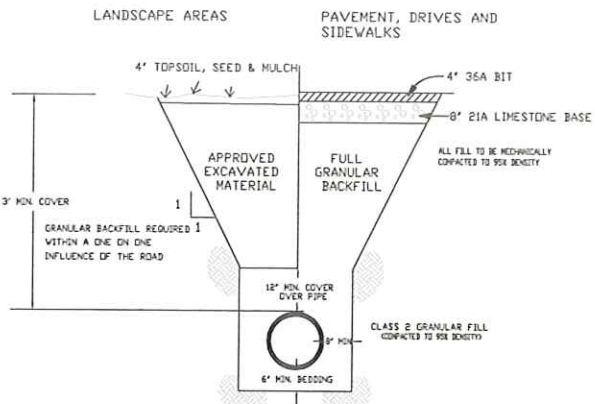
6. In the event that dust or traffic control measures are not adequately maintained to provide safe and clean conditions, the project engineer & owner reserve the right to install or have installed such control measures as he deems necessary, with costs billed to and paid by the Contractor.

CONSTRUCTION STAKING RESPONSIBILITY

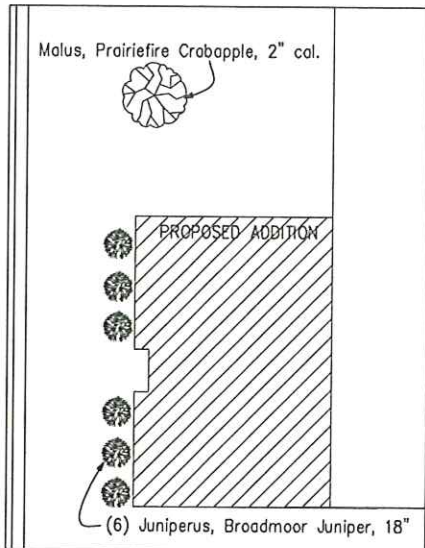
1. The Contractor shall assume full responsibility for preservation and verification or correction of the initial stakeout work prior to utilization, the Surveyor is not responsible for disturbed staking or restaking of initial stakeout work ordered. The Surveyor will be given seven (7) days notice for all stakeout work ordered.



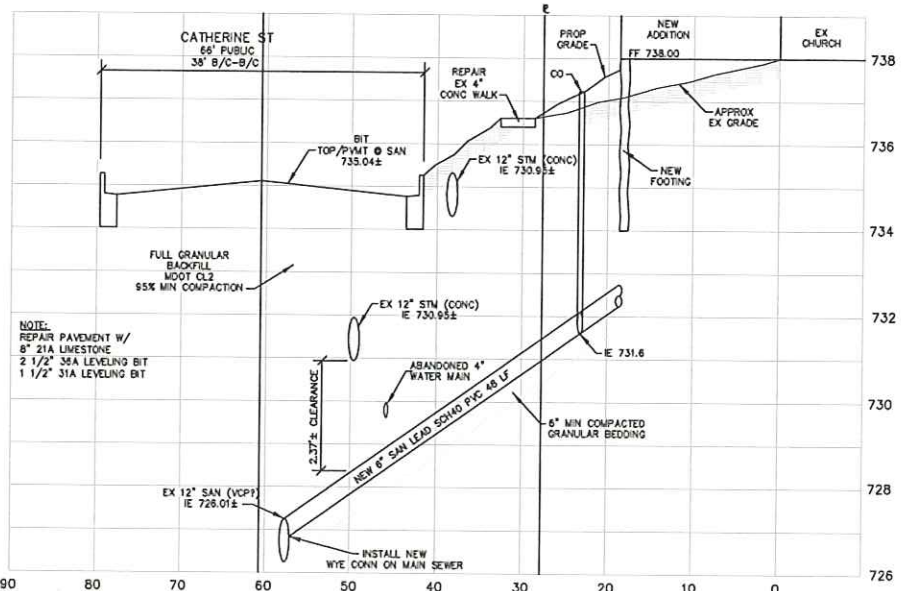
DANDY BAG DETAIL
NO SCALE



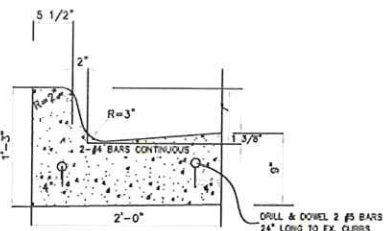
TRENCH DETAIL
NO SCALE



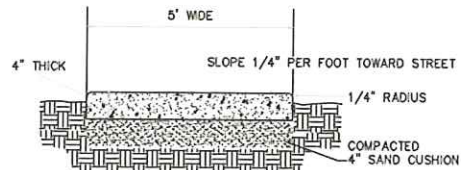
PROPOSED LANDSCAPING
NO SCALE



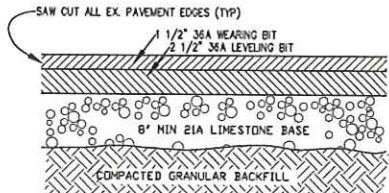
NOTE: ALL WORK TO MEET REQUIREMENTS
OF CITY OF YPSILANTI & YCUA
STANDARDS.



TYPICAL MDOT C4 CURB SECTION
(REINFORCED)
NO SCALE



SIDEWALK DETAIL
NO SCALE



PAVEMENT DETAIL
NO SCALE

SECOND BAPTIST CHURCH

OWNER:
SECOND BAPTIST CHURCH
301 S. HAMILTON
YPSILANTI, MI 48197
AL ROBINSON, PROJ MANAGER

ENGINEER:
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WILLIAM MEIER
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TEL: (734) 741-8655
FAX: (734) 741-8755

DESIGNER: KPC
DRAWN BY: EC/ALC
EP PROJECT: PROJECT DESCRIPTION
PATH(NAME: WaterArch(Sec2)g.dwg)
X-REFS: LIST ALL XREFS FROM 1-2014.dwg

REVISIONS:
NO. DESCRIPTION DATE

DRAWING TITLE:
SITE PLAN

DATE:
10 FEB 2014
SHEET NO.:

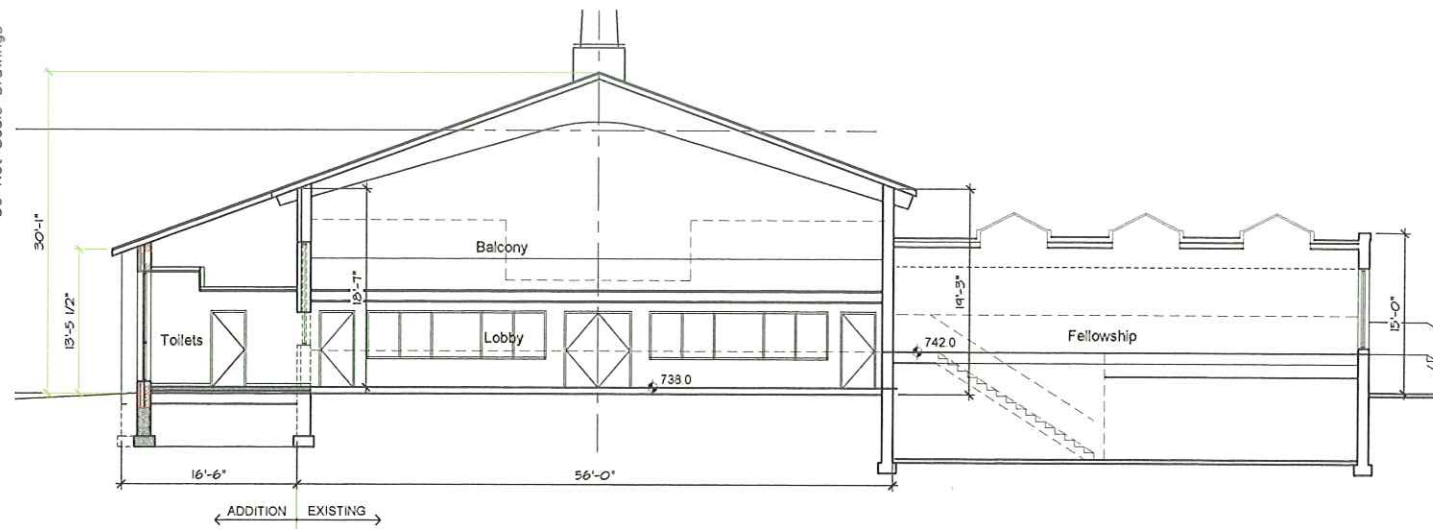
C-2

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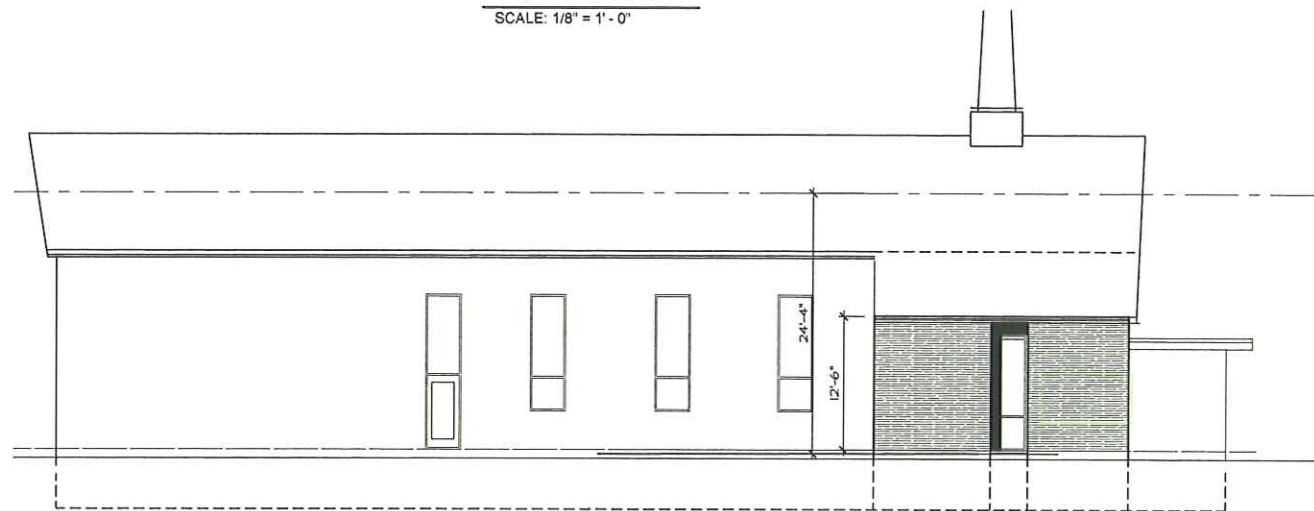
BEFORE YOU DIG
CALL MISS DIG
800-482-7171

Do Not Scale Drawings



Section A

SCALE: 1/8" = 1' - 0"

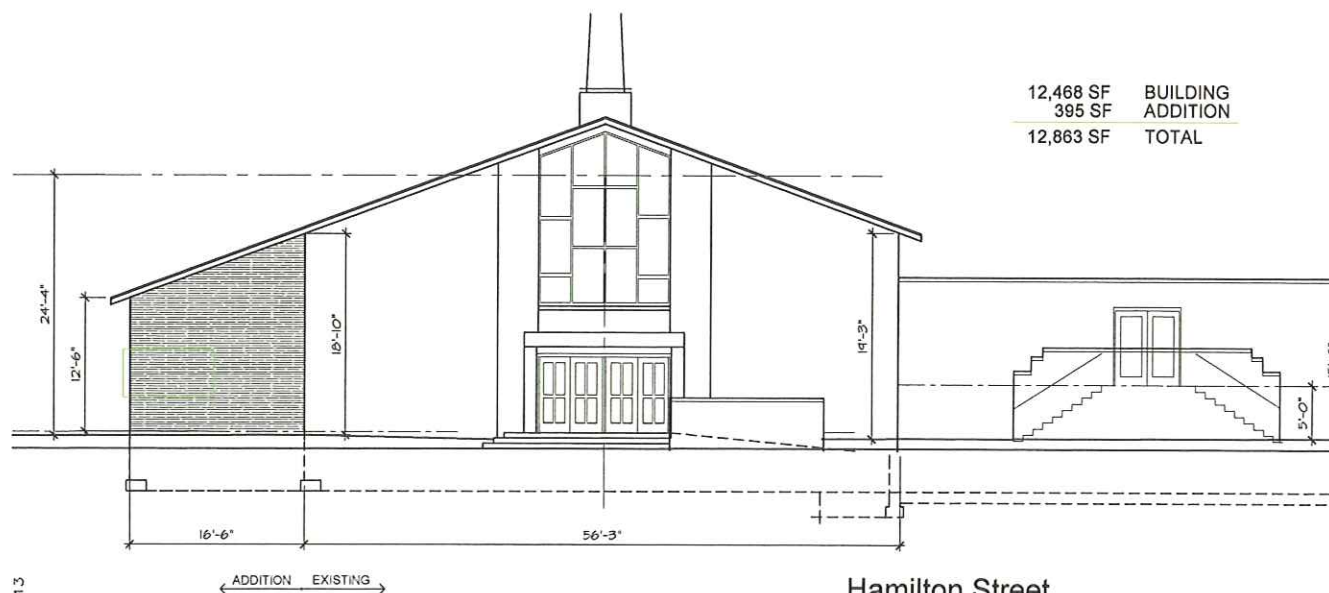


North Elevation

SCALE: 1/8" = 1' - 0"

Catherine Street

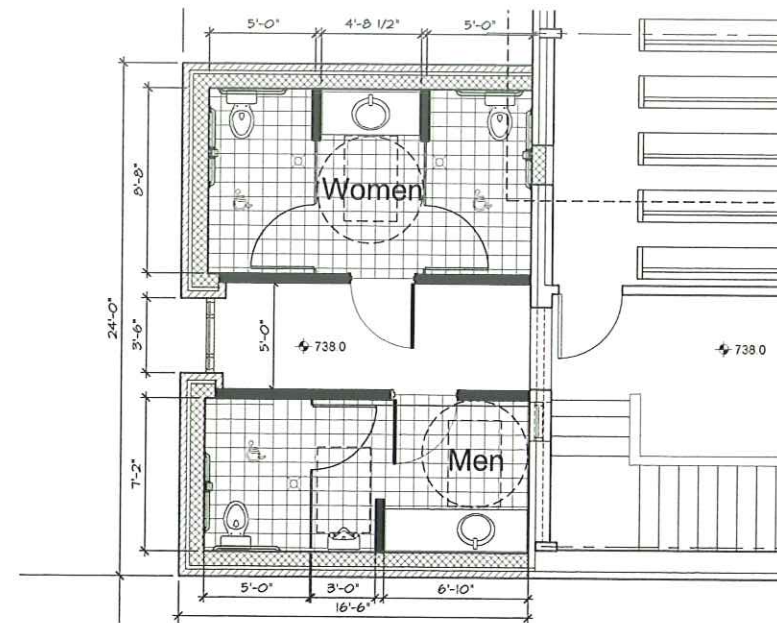
12,468 SF BUILDING
395 SF ADDITION
12,863 SF TOTAL



West Elevation

SCALE: 1/8" = 1' - 0"

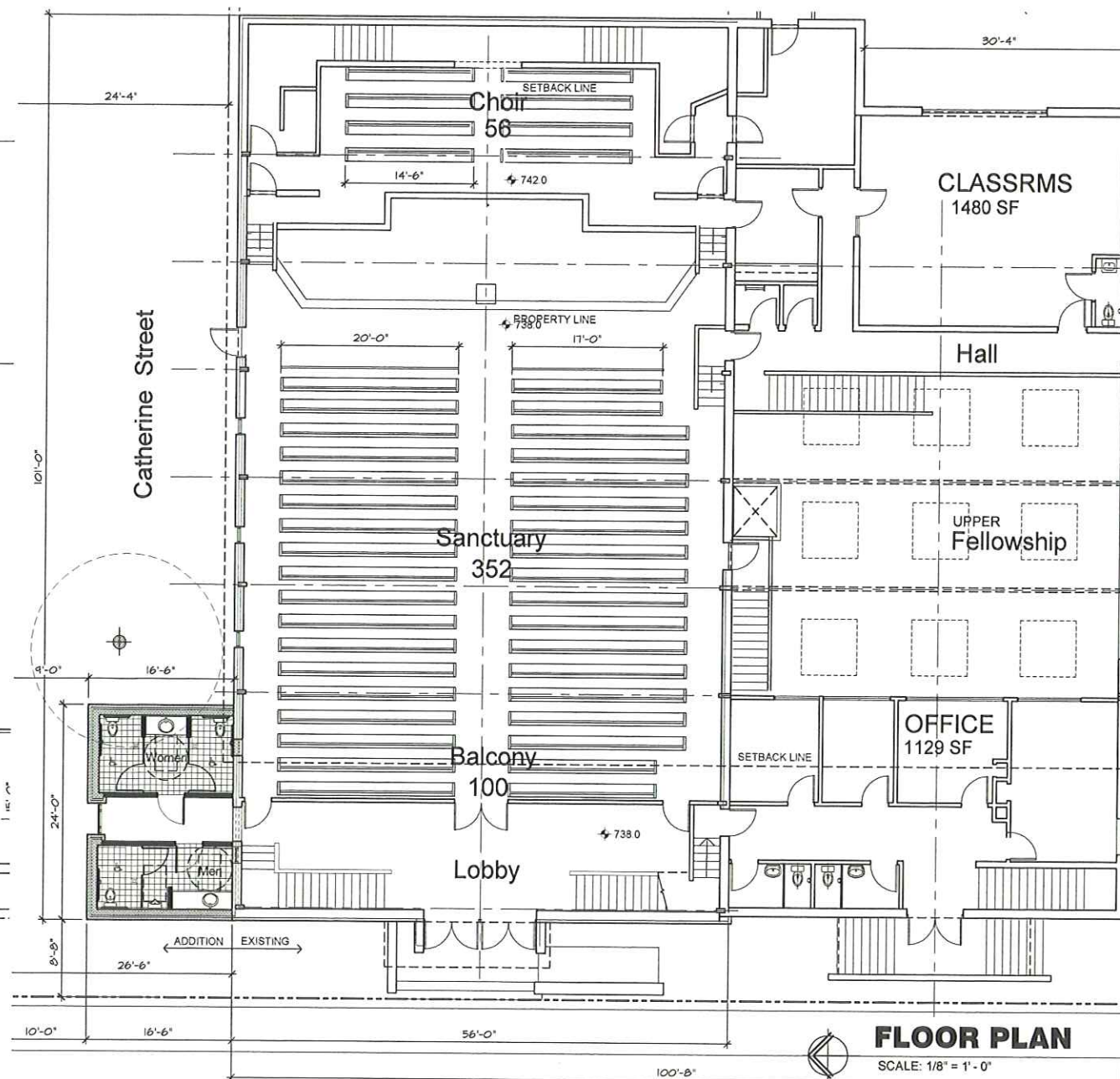
Hamilton Street



**DETAIL
FLOOR PLAN**

SCALE: 1/4" = 1' - 0"

ADDITION
395 SF



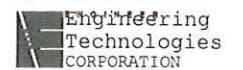
FLOOR PLAN

SCALE: 1/8" = 1' - 0"



MEIER
ARCHITECTS

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SECOND BAPTIST CHURCH

ACCESSIBLE TOILET ROOM ADDITION

308 South Hamilton Street Ypsilanti, Michigan

CONTACT
Al Robinson

OWNER
SECOND BAPTIST CHURCH
308 SOUTH HAMILTON STREET
YPSILANTI, Michigan 48197

SITE PLAN REVIEW 02-14-2014
ISSUED FOR: PLANS - ELEVATIONS
DATE:

1

PROJECT NUMBER
700- 2013



City of Ypsilanti

Community & Economic Development Department

Memo

To: Planning Commission
From: Bonnie Wessler, Planner I
Date: 14 March 2014
Subject: 1715 Washtenaw: Ypsilanti Urgent Care

This office has received updated plans from the Ypsilanti Urgent Care. As you recall, Ypsilanti Urgent Care opened in early 2013, and is currently working through certain code compliance issues (both building and zoning) in the City's Administrative Hearings Bureau. They came before Planning Commission for site plan review this past February, and Planning Commission requested alterations to landscaping, parking, corner visibility (including retention wall alterations), and lighting. Significant progress has been made towards resolving the site plan issues, but after an initial review, it appears that many, such as corner visibility at the retention wall, cannot be fully resolved until a boundary survey has been completed.

Staff requests that Planning Commission postpone review of the revised site plan until April to allow the applicant to complete a boundary survey. Please feel free to contact me with any questions, comments, or concerns at wesslerb@cityofypsilanti.com or 734-483-9646.

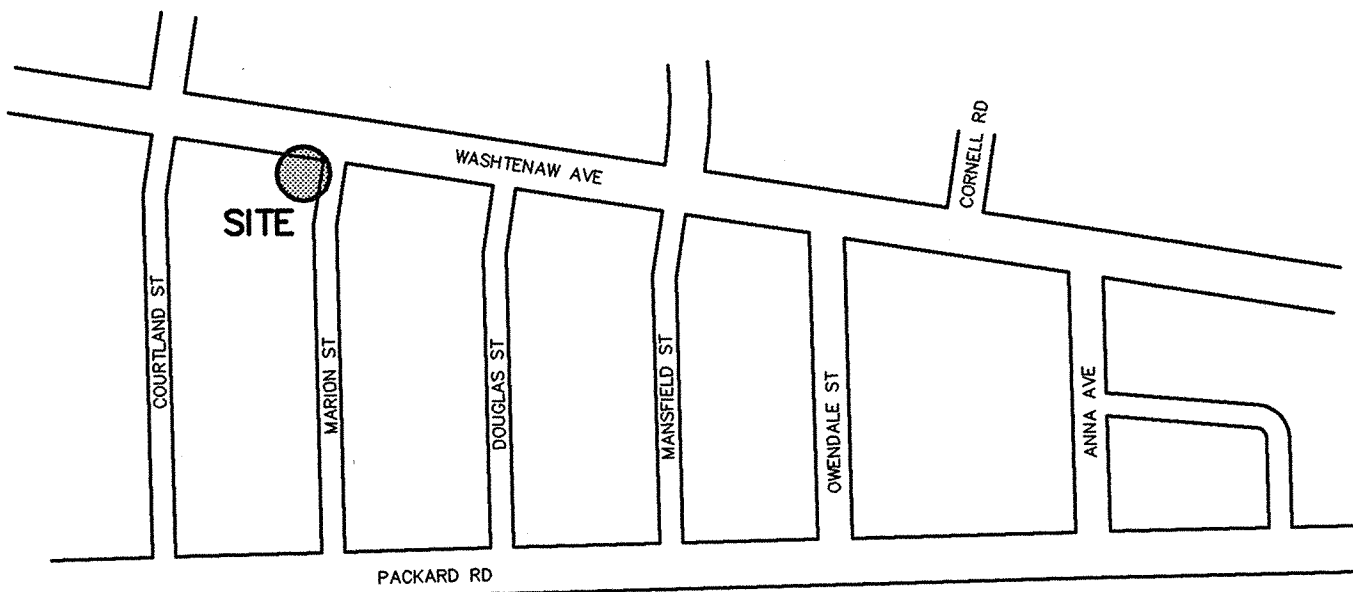
SITE PLAN

YPSILANTI URGENT CARE

A PART OF THE SOUTHWEST 1/4 SECTION 5, T3S, R7E,
CITY OF YPSILANTI, WASHTENAW COUNTY, MICHIGAN

FOR:
YPSILANTI URGENT CARE, PLLC
1715 WASHTENAW AVE
YPSILANTI, MI 48197

JANUARY, 2014

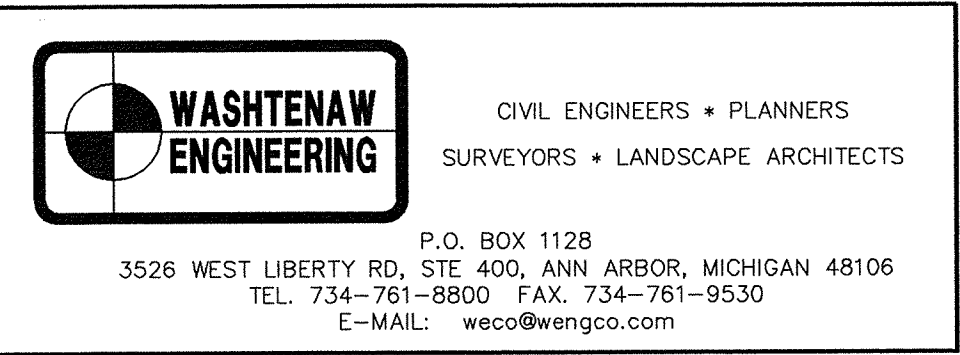


VICINITY MAP
(NO SCALE)

CONSTRUCTION NOTES

1. ALL WORK ON THIS SITE WILL BE IN ACCORDANCE WITH ALL APPLICABLE CURRENT STANDARDS & SPECIFICATIONS OF THE CITY OF YPSILANTI EXCEPT AS HEREIN MODIFIED.
2. IT IS ESSENTIAL THAT THE CONTRACTOR FAMILIARIZE HIMSELF WITH THE SITE PRIOR TO SUBMITTING PROPOSAL.
3. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES WHICH MIGHT AFFECT THIS JOB.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO AND THE REPAIR OF ANY EXISTING UTILITY LINE IN THE CONSTRUCTION ZONE.
5. AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL "MISS DIG" (1-800-482-7171) FOR UTILITY LOCATIONS.
6. LOCATION OF EXISTING UTILITIES WERE TAKEN FROM EXISTING PLANS. LOCATIONS WERE FIELD VERIFIED WHERE POSSIBLE.
7. CONTRACTOR MUST OBTAIN AN EROSION CONTROL PERMIT FROM THE CITY OF YPSILANTI PRIOR TO BEGINNING EARTH MOVING. CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO BEGINNING CONSTRUCTION.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REMOVAL OF ALL TEMPORARY EROSION CONTROL MEASURES PER THIS APPROVED PLAN.
9. ANY CONDITIONS EXISTING ON THE SITE THAT ARE NOT CONSISTENT WITH THE PLANS OR SOIL EROSION SEDIMENTATION PERMIT WILL RESULT IN A STOP WORK ORDER AND REVOCATION OF THE SOIL EROSION SEDIMENTATION CONTROL PERMIT.
10. ALL FILL MATERIAL MUST BE PLACED IN LIFTS NOT EXCEEDING 12 INCHES AND COMPACTED TO 95% OF THE MAXIMUM UNIT WEIGHT.
11. ALL CONSTRUCTION TRAFFIC CONTROL SHALL BE SIGNED PER THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. CONTRACTOR SHALL MAINTAIN ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES.
12. MDOT PERMIT IS REQUIRED FOR WORK WITHIN THE WASHTENAW AVE RIGHT OF WAY.

OWNER:
YPSILANTI URGENT CARE, PLLC
1715 WASHTENAW AVE
YPSILANTI, MI 48197



SITE DATA

Existing Zoning B1 - Neighborhood Business
E-OL - Entry Overlay District
RC - OL - Residential-Commercial Overlay District

	REQUIREMENT		PROVIDED	
	Units	Min/Max	Units	
Lot size	NA		11,508	sf
Lot width	NA		84	ft
Setbacks/Yards				
Front	10 ft	Max ¹	42.5/25.5	ft ³
Side	4.5 ft	Min	6	ft
Rear	35 ft	Max ¹	50	ft
Building Size				
Lot coverage	40%	Max ¹	16.1%	
Floor area			1,854	sf
Height - ft	30 ft	Max		
Height - stories	2 stories	Max	1	story

- 1: Per Entry Overlay District regulations
- 2: Per Residential Commercial Overlay District regulations
- 3: Washtenaw Ave/Marion St front setbacks

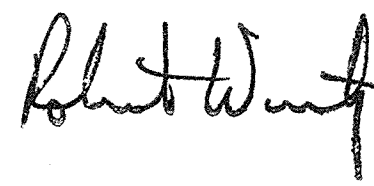
USE: Medical Office

Requirement	REQUIRED		BASIS	# REQUIRED	# PROVIDED
Waiting rooms	1 space per	200 sf usable floor area	230 sf	1 spaces	1 spaces
Examining rooms	1 space per	1 examining room	4 examining rooms	4 spaces	4 spaces
Accessible spaces*	1 space per	25 parking spaces	5 spaces	1 space	1 space

* Included in 5 required spaces

SHEET TITLE SHEET NO.

COVER SHEET.....1
TOPOGRAPHICAL SURVEY.....2
SITE, GRADING AND LANDSCAPE PLANS.....3
DETAILS.....4
MDOT DETAILS.....5
ARCHITECTURAL PLANS.....A-1

PREPARED BY: 
ROBERT J. WANTY P.E., MICH No. 28666



REVISED: 3-4-2014
ORIGINAL: 1-15-2014

YPSILANTI URGENT CARE

THE OWNER SHALL NOT USE OR AUTHORIZE ANY OTHER PERSONS TO USE THE DRAWINGS, SPECIFICATIONS, ELECTRONIC DATA AND OTHER INSTRUMENTS OF SERVICE ON OTHER PROJECTS. FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THE PROJECT BY OTHERS SO LONG AS WASTEWATER ENGINEERING COMPANY (WECO) IS NOT ADJUDGED TO BE IN DEFAULT UNDER THIS AGREEMENT, THE USER WITHOUT WECO'S PROFESSIONAL INVOLVEMENT WILL BE AT THE OWNER'S SOLE RISK AND WITHOUT LIABILITY TO WECO. THE OWNER SHALL INDEMNIFY AND HOLD HARMLESS WECO, WECO'S CONSULTANTS AND AGENTS AND EMPLOYEES OF ANY OF THEM FROM AND AGAINST ALL SUCH CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM ANY SUCH USE OF THE DRAWINGS, SPECIFICATIONS, ELECTRONIC DATA OR OTHER INSTRUMENTS OF SERVICE.

BENCHMARK TOP NUT ON HYDRANT SOUTH OF WASHTENAW AVE & WEST OF MARION ST,
ELEV=101.59 (ASSUMED DATUM).

REVISIONS 1-30-14 PER CITY REVIEW, 3-5-14 PER CITY REVIEW

SCALE 20



0 5 10

SCALE: 1"=10'

PREPARED BY ROBERT J. WANTY P.E., MICH No. 28666

SECTION <u>5</u>	TOWN <u>3</u>	SOUTH	RANGE <u>7</u>	EAST
CITY OF <u>YPSILANTI</u> WASHENAW COUNTY • MICHIGAN				
DATE <u>1-15-14</u>		JOB NO. <u>31788</u>		
		DWG NO. <u>788-T0P0</u>		
		FIELD BOOK —		
		FILE NO. <u>10053</u>		

MOE WILCOX
1000 E. STADIUM BLVD
ANN ARBOR, MI 48104

TOPOGRAPHICAL SURVEY

YPSILANTI
URGENT CARE

CLIENT

SHEET

PROJECT

SECTION 5 TOWN 3 SOUTH RANGE 7 EAST

CITY OF YPSILANTI

DATE 1-15-14		JOB NO. 31788
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2	DWG NO. 788-TOPO
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2
ET

FIELD BOOK -
FILE NO. 10053



**WASHTENAW
ENGINEERING**

CIVIL ENGINEERS
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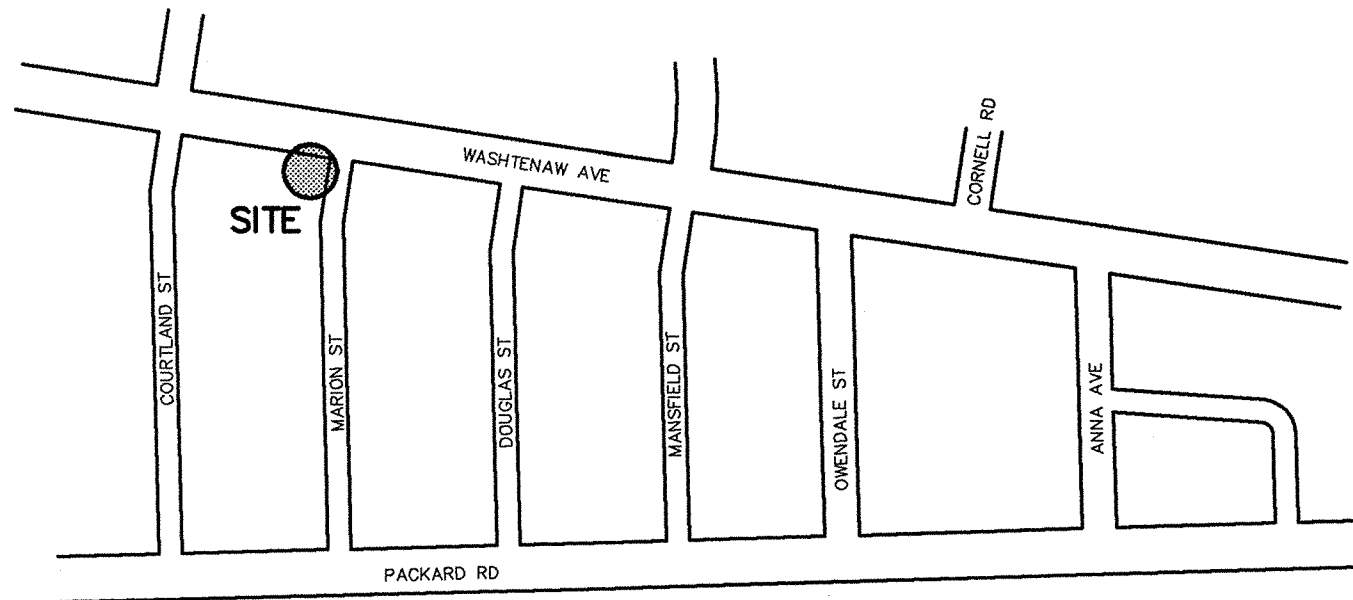
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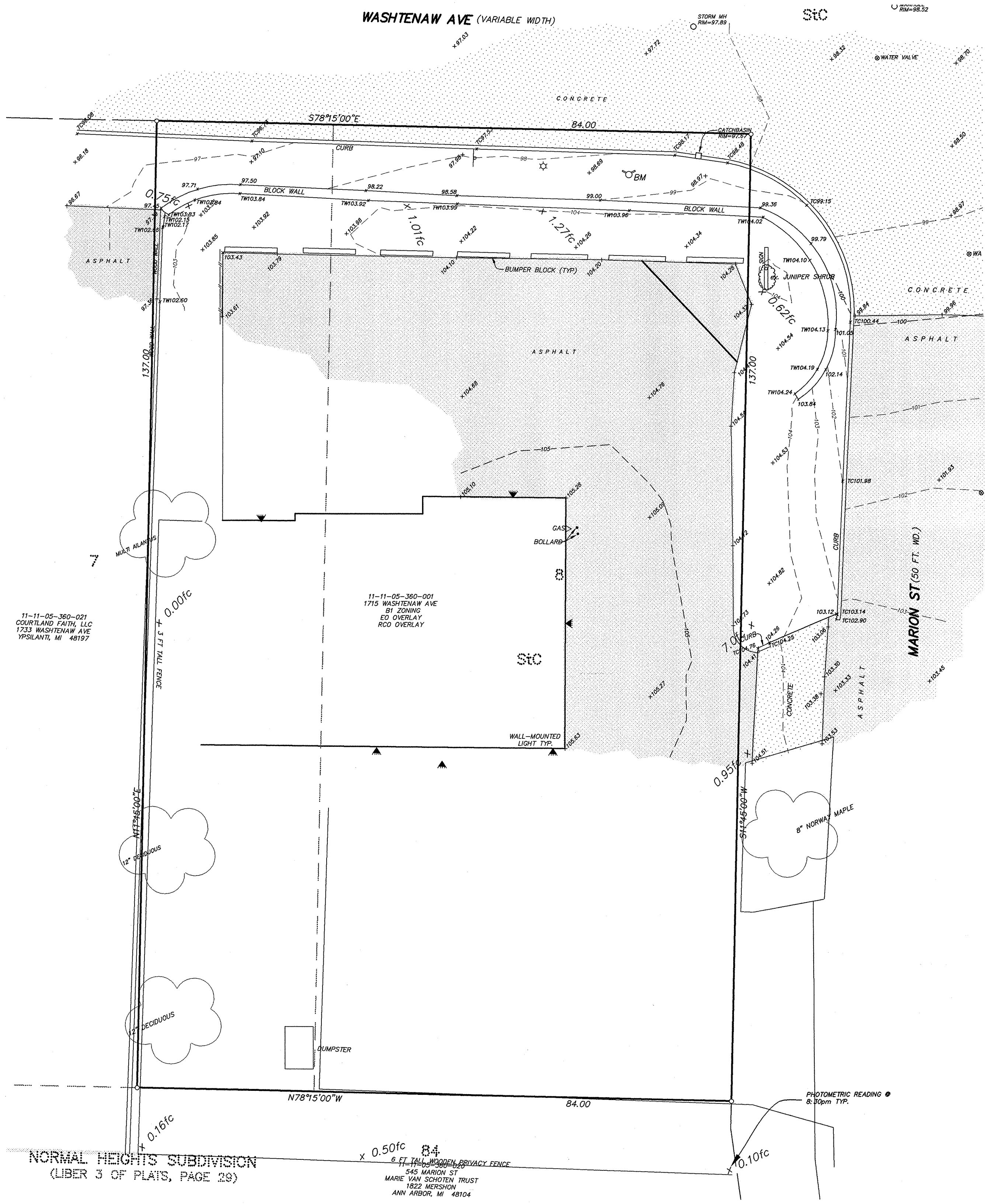
NOTES:

- BOUNDARY HAS NOT BEEN FIELD VERIFIED.
- FIELD SURVEY ONLY INCLUDED ELEMENTS ON NORTHERN PART OF PROPERTY. REMAINING ELEMENTS LOCATED FROM AERIAL PHOTOS, EWASHTENAW.ORG
- PHOTOMETRIC READINGS PERFORMED BY WASHTENAW ENGINEERING 1-29-2014

WASHTENAW COUNTY SOIL SURVEY CLASSIFICATION
 StC - ST. CLAIR CLAY LOAM, 6 TO 12 PERCENT SLOPES
 - SOILS BOUNDARY
 SOILS ARE BASED ON USDA SOIL SURVEY
 OF WASHTENAW COUNTY.



VICINITY MAP
(NO SCALE)



**Know what's below.
Call before you dig**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING RECORDS. THE SURVEYOR MAKES NO WARRANTY AS TO THE ACCURACY OF THE INFORMATION PROVIDED. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THE UTILITIES WERE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE, THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

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LEGEND

●

 = LIGHT POLE

○

 = SPOT ELEV.

○

 = POST

○

 = GATE VALVE

—

 = HYDRANT

—

 = SIGN

—

 = TOP OF CURB

—

 = TOP OF WALL

○

 = MANHOLE

□

 = CATCHBASIN

—

 = END SECTION

—

 = GRAVEL

—

 = FENCE

—

 = CONCRETE

—

 = ASPHALT

—

 = EXISTING STORM

—

 = EXISTING SANITARY

—

 = EXISTING WATER

—

 = EXISTING GAS

—

 = EXISTING ELECTRIC

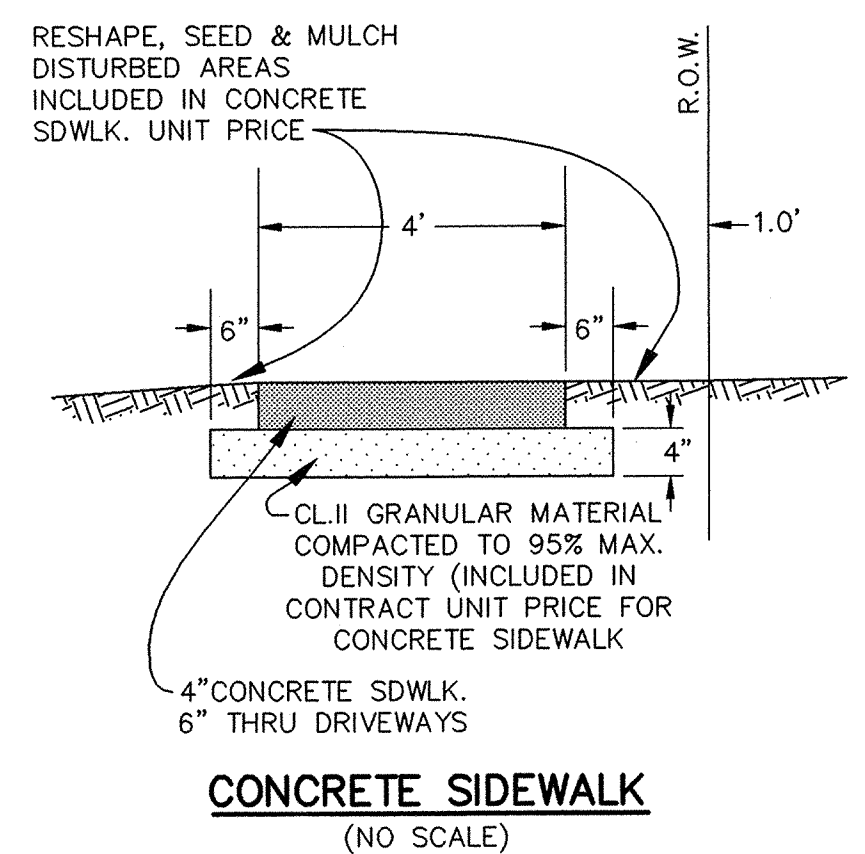
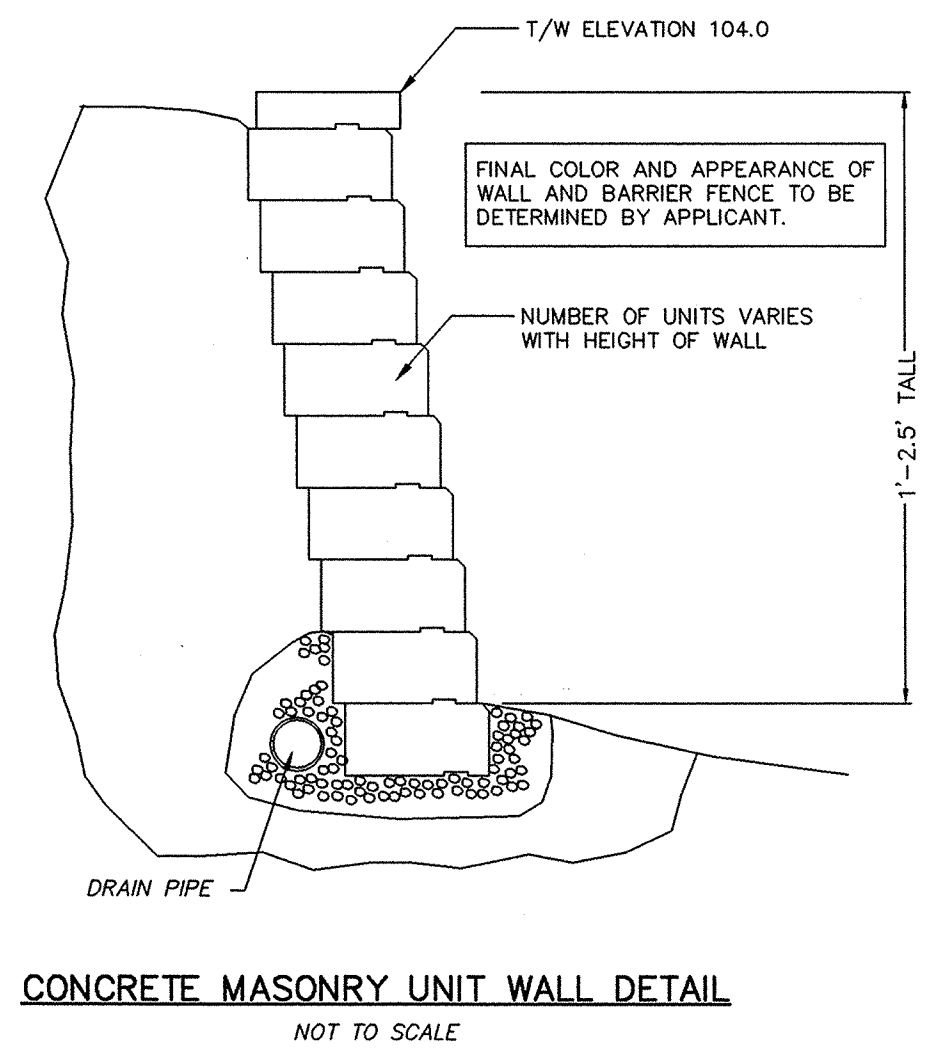
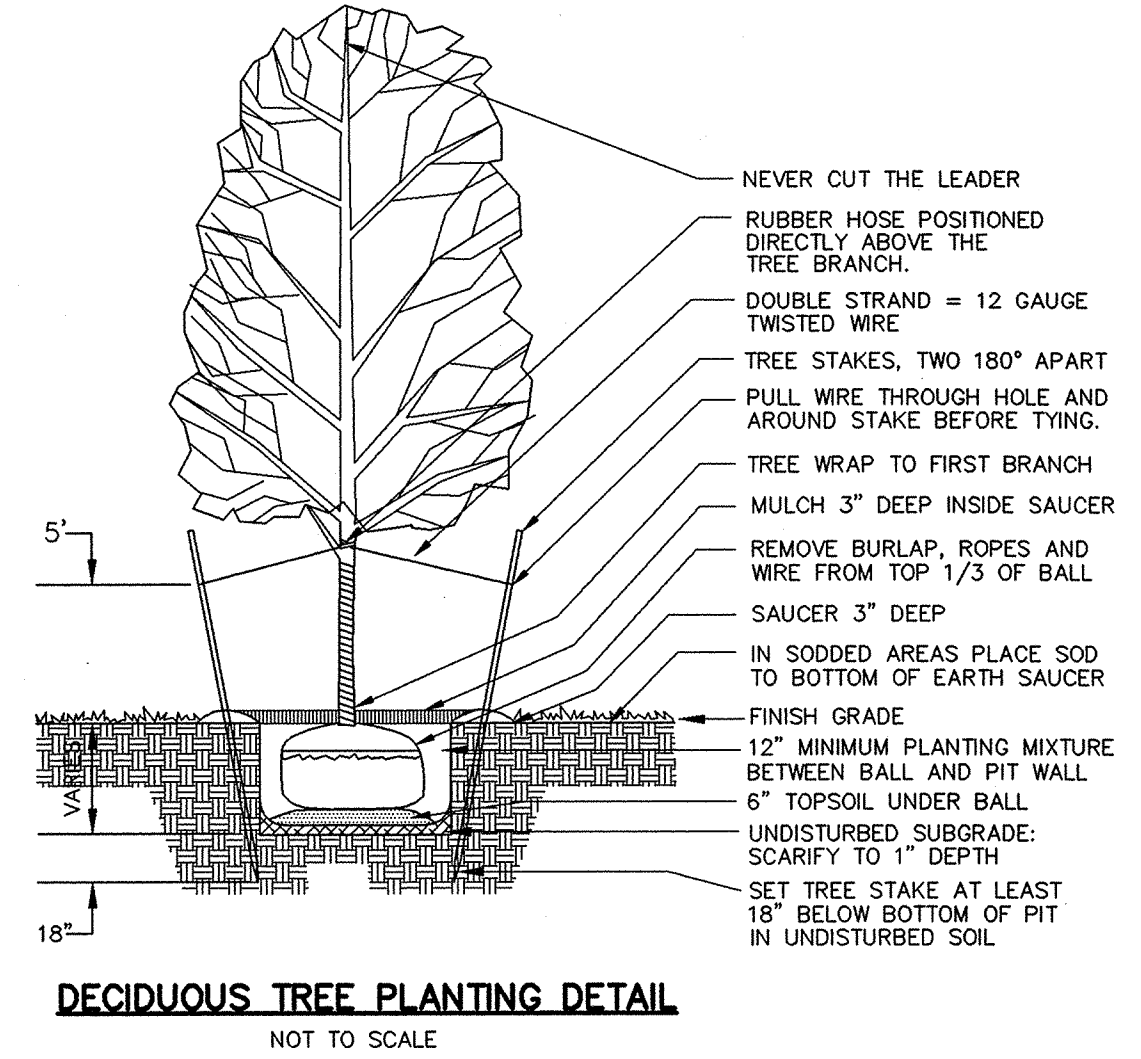
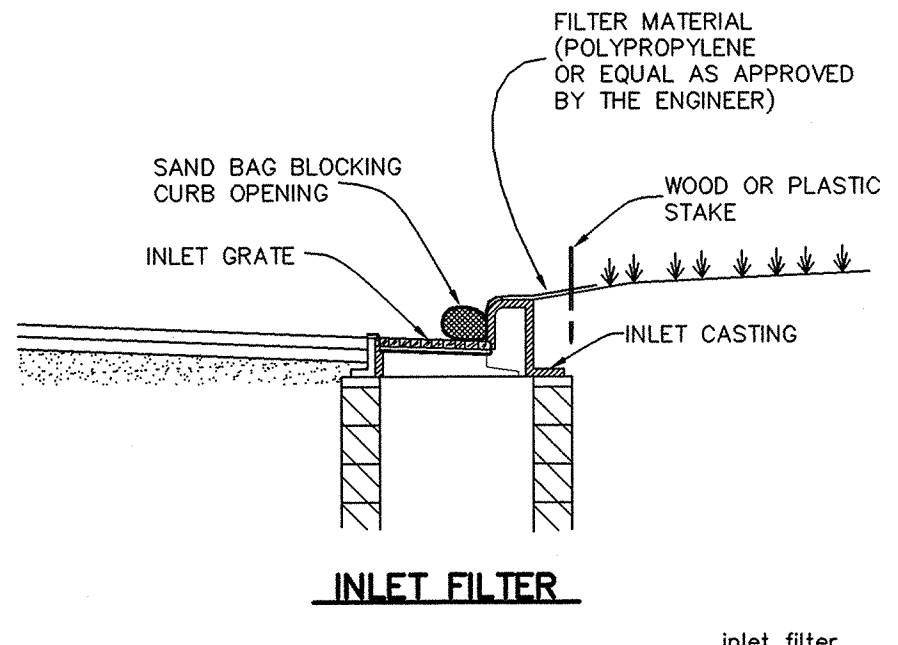
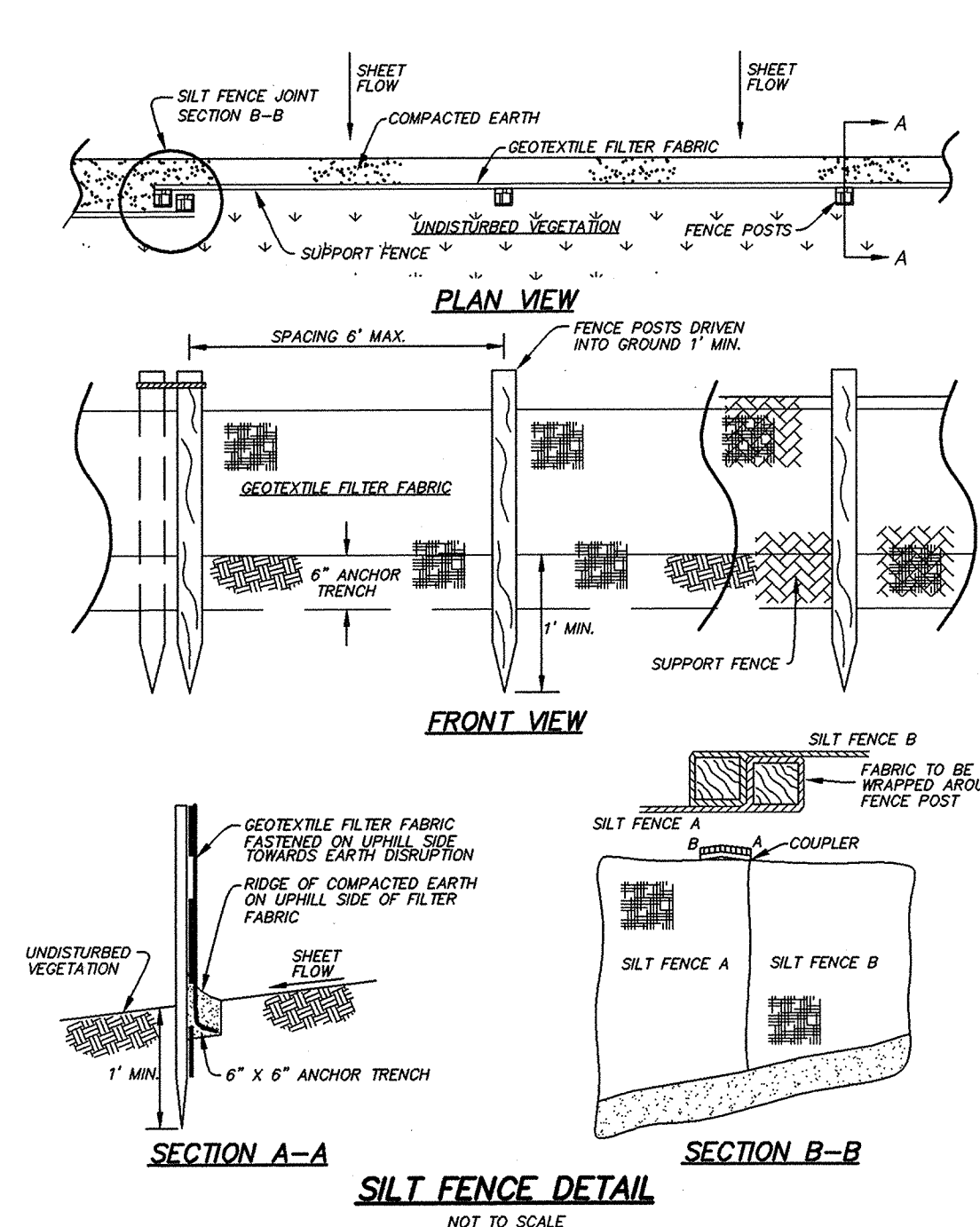
—

 = EXISTING TELEPHONE

BENCHMARK

TOP NUT ON HYDRANT SOUTH OF WASHTENAW AVE & WEST OF MARION ST.

ELEV=101.59 (ASSUMED DATUM).



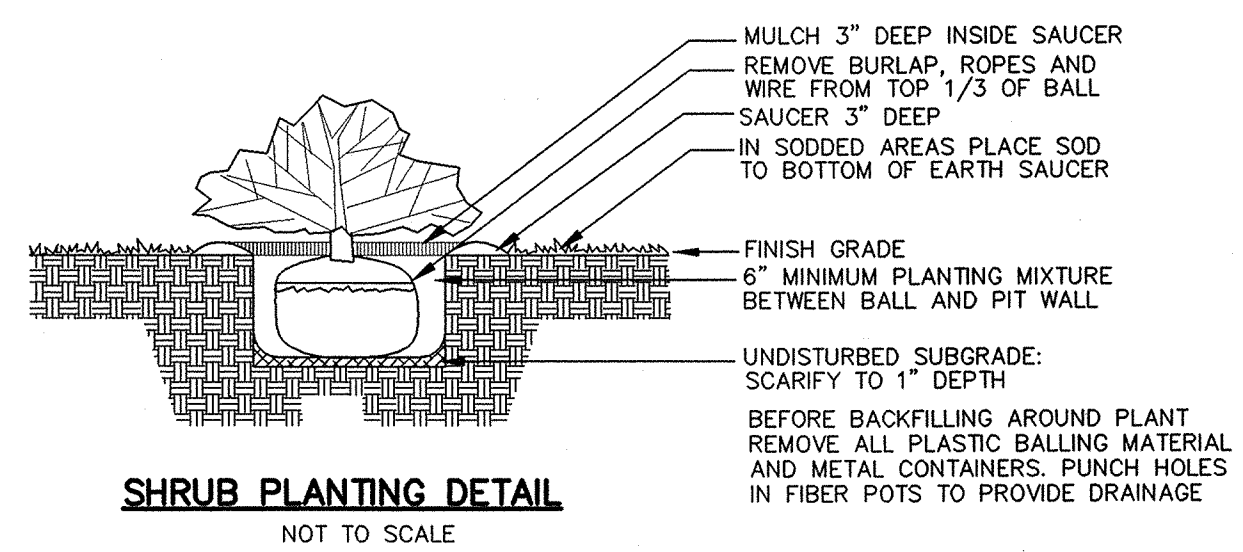
LANDSCAPING REQUIREMENTS - CITY OF YPSILANTI

	Requirement	Basis	Required	Provided
Perimeter Greenbelt				
Property Frontage				
Buffer Strip	10' buffer strip along all parcel boundaries ¹ 1 solid w all w ith planting strip ²			
Washtenaw	10' buffer strip ¹		10' buffer strip	8.14-9.71' w ide buffer strip along road frontage
Marion	10' buffer strip ¹		10' buffer strip	8.42-8.90' w ide buffer strip along road frontage
West Property Line - commercial	10' buffer strip ¹		10' buffer strip	6-13' 8' tall opaque w ooden fence along southern 90' w ide buffer strip along property line ¹
South Property Line - residential	10' buffer strip ¹		10' buffer strip	7-11' 6' tall opaque w ooden fence along entire line
Trees				
Washtenaw	1 tree per 30 LF frontage ¹	84 LF frontage	3 trees	2 new trees
Marion	1 tree per 30 LF frontage ¹	137 LF frontage	5 trees	1 existing tree
West Property Line - commercial	1 tree per 30 LF frontage ¹	137 LF frontage	5 trees	1 new tree
South Property Line - residential	1 tree per 30 LF frontage ¹	84 LF frontage	3 trees	3 existing trees
Shrubs				
Washtenaw	1 evergreen screen ¹			0 new trees
Marion	1 evergreen screen ¹			3 new shrubs
West Property Line - commercial				1 existing opaque w ooden fence
South Property Line - residential				
Site Landscaping	10% of site exclusive of parking areas landscaped ^{1,2}	2742 sf remaining area	274.2 sf area canopy trees ornamentals evergreen trees shrubs	300 sf area along south edge of parking lot canopy trees ornamentals evergreen trees shrubs
Interior Parking lot landscaping - not required as site has fewer than 20 spaces				
Foundation Plantings				
Washtenaw Frontage	Planting areas to be minimum of 6' deep 1 ornamental tree per 30 LF building frontage 6 shrubs per 30 LF building frontage	52 LF frontage 52 LF frontage	2 trees 11 shrubs	0 ornamental trees 0 shrubs
Marion Frontage	1 ornamental tree per 30 LF building frontage 6 shrubs per 30 LF building frontage	36 LF frontage 36 LF frontage	2 trees 8 shrubs	0 ornamental trees 0 shrubs
Dumpster Screening				
Enclosure	Dumpster screen to be at least 6' high 1 opaque dumpster screen	1 dumpster	1 screen	0 refuse w ill be disposed of w ith garbage cans put out on day of collection

1: Per Entry Overlay District requirements
2: Per Residential-Commercial Overlay District requirements

PLANT LIST

SYMBOL	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS
AR	3	Acer rubrum 'Franksred'	Red Sunset Red Maple	2.5 Inches Cal.	B & B
BG	7	Buxus x Green Mountain	Green Mountain Boxwood	24 Inches Ht.	CONT. or B & B
FV	210	Fragaria virginiana	Wild Strawberry	Plug 18" o.c.	Plugs or flats
PF	6	Potentilla fruticosa 'Goldfinger'	Goldfinger Potentilla	No. 3 0 0	CONT.
QR	3	Quercus rubra	Red Oak	2.5 Inches Cal.	B & B



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ANN ARBOR, MI 48104

CLIENT

DETAILS

SHEET

PROJECT

SECTION 5 TOWN 3 SOUTH RANGE 7 EAST
CITY OF YPSILANTI
WASHTENAW COUNTY • MICHIGAN
DATE 1-15-14 JOB NO. 31788
DWG NO. FIELD BOOK FILE NO. 10053

YPSILANTI
URGENT CARE

4

SHEET

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MINIMUM MERGING TAPER LENGTH "L" (FEET)										
OFFSET FEET	POSTED SPEED LIMIT, MPH (PRIOR TO WORK AREA)									
	25	30	35	40	45	50	55	60	65	70
1	10	15	20	27	45	50	55	60	65	70
2	21	30	41	53	90	100	110	120	130	140
3	31	45	61	80	135	150	165	180	195	210
4	42	60	82	107	180	200	220	240	260	280
5	52	75	102	133	225	250	275	300	325	350
6	63	90	123	160	270	300	330	360	390	420
7	73	105	143	187	315	350	385	420	455	490
8	83	120	163	213	360	400	440	480	520	560
9	94	135	184	240	405	450	495	540	585	630
10	104	150	204	267	450	500	550	600	650	700
11	115	165	225	293	495	550	605	660	715	770
12	125	180	245	320	540	600	660	720	780	840
13	135	195	266	347	585	650	715	780	845	910
14	146	210	286	374	630	700	770	840	910	980
15	157	225	307	400	675	750	825	900	975	1050

THE FORMULAS FOR THE MINIMUM LENGTH OF A MERGING TAPER IN DERIVING THE "L" VALUES SHOWN IN THE ABOVE TABLES ARE AS FOLLOWS:

"L" = $\frac{W \times S^2}{60}$ WHERE POSTED SPEED PRIOR TO THE WORK AREA IS 40 MPH OR LESS

"L" = $S \times W$ WHERE POSTED SPEED PRIOR TO THE WORK AREA IS 45 MPH OR GREATER

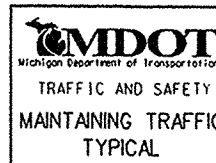
L = MINIMUM LENGTH OF MERGING TAPER
S = POSTED SPEED LIMIT IN MPH
PRIOR TO WORK AREA
W = WIDTH OF OFFSET

TYPES OF TAPERS

UPSTREAM TAPERS
MERGING TAPER
SHIFTING TAPER
SHOULDER TAPER
TWO-WAY TRAFFIC TAPER
DOWNSTREAM TAPERS
(USE IS OPTIONAL)

TAPER LENGTH

L - MINIMUM
1/2 L - MINIMUM
2/3 L - MINIMUM
100' - MAXIMUM
100' - MINIMUM
(PER LANE)



TRAFFIC AND SAFETY
MAINTAINING TRAFFIC
TYPICAL

DRAWN BY: CONJAE:glf
CHECKED BY: BMM
FILE: K:\DOT\TSR\STDS\ENGLISH\MTTR\M0200a.dgn

TABLES FOR "L", "D" AND "B" VALUES

JUNE 2006
M0200a
SHEET 1 OF 2
REV. 08/21/2006

"D" DISTANCES D (FEET)	POSTED SPEED LIMIT, MPH (PRIOR TO WORK AREA)									
	25	30	35	40	45	50	55	60	65	70
	250	300	350	400	450	500	550	600	650	700

GUIDELINES FOR LENGTH OF LONGITUDINAL BUFFER SPACE "B"

SPEED* MPH	LENGTH FEET
20	33
25	50
30	83
35	132
40	181
45	230
50	279
55	329
60	411
65	476
70	542

* POSTED SPEED, OFF PEAK 85TH PERCENTILE SPEED PRIOR TO WORK STARTING, OR THE ANTICIPATED OPERATING SPEED

1. BASED UPON AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) BRAKING DISTANCE PORTION OF STOPPING SIGHT DISTANCE FOR WET AND LEVEL PAVEMENTS (A POLICY ON GEOMETRIC DESIGN OF HIGHWAY AND STREETS), AASHTO. THIS AASHTO DOCUMENT ALSO RECOMMENDS ADJUSTMENTS FOR THE EFFECT OF GRADE ON STOPPING AND VARIATION FOR TRUCKS.



TRAFFIC AND SAFETY
MAINTAINING TRAFFIC
TYPICAL

DRAWN BY: CONJAE:glf
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TABLES FOR "L", "D" AND "B" VALUES

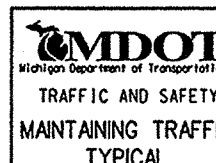
JUNE 2006
M0200a
SHEET 2 OF 2
REV. 08/21/2006

NOTES

30. THE APPROPRIATE ADVANCE SIGNING SEQUENCE(S), (M00300 THROUGH M00800) SHALL BE USED ON ALL PROJECTS.
35. THESE SIGNS ARE INTENDED TO BE USED WITHIN THE LIMITS OF THE TEMPORARY SEQUENCE SIGNING AS IS SHOWN ON 1 OF 2. THESE SIGNS ARE NOT TO BE INTERMINGLED WITH ANY OTHER TEMPORARY SEQUENCE SIGNING EXCEPT AS SHOWN.

SIGN SIZES

C20-2	-	48" x 24"
RS-1B	-	48" x 60"
RS-1B	-	48" x 60"
W20-1	-	48" x 48"



TRAFFIC AND SAFETY
MAINTAINING TRAFFIC
TYPICAL

DRAWN BY: CONJAE:glf
CHECKED BY: BMM
FILE: K:\DOT\TSR\STDS\ENGLISH\MTTR\M0050a.dgn

TYPICAL ADVANCE SIGNING TREATMENT FOR INTERMEDIATE AND SHORT TERM STATIONARY WORK ZONE OPERATIONS WHERE ALL TRAFFIC CONTROL DEVICES ARE REMOVED AT END OF EACH WORK DAY ON AN UNDIVIDED TWO-WAY ROADWAY

OCTOBER 2011
M0050a
SHEET 2 OF 2
REV. 10/12/2011

NOTES

18. D = DISTANCE BETWEEN TRAFFIC CONTROL DEVICES
L = MINIMUM LENGTH OF TAPER
B = LENGTH OF LONGITUDINAL BUFFER
SEE M0200a FOR "D", "L", AND "B" VALUES
2. ALL NON-APPLICABLE SIGNING WITHIN THE CIA SHALL BE MODIFIED TO FIT CONDITIONS, COVERED OR REMOVED.
3. DISTANCES BETWEEN SIGNS, THE VALUES FOR WHICH ARE SHOWN IN TABLE D, ARE APPROXIMATE AND MAY NEED ADJUSTING AS DIRECTED BY THE ENGINEER.
- 3A. THE "WORK ZONE BEGINS" (RS-18c) SIGN SHALL BE USED ONLY IN THE INITIAL SIGNING SEQUENCE IN THE WORK ZONE. SUBSEQUENT SEQUENCES IN THE SAME WORK ZONE SHALL OMIT THIS SIGN AND THE QUANTITIES SHALL BE ADJUSTED APPROPRIATELY.
- 4E. THE MAXIMUM RECOMMENDED DISTANCE(S) BETWEEN CHANNELIZING DEVICES SHOULD BE EQUAL, IN FEET TO THE POSTED SPEED IN MILES PER HOUR ON TAPER(S) AND TWICE THE POSTED SPEED IN THE PARALLEL AREA(S).
5. FOR OVERNIGHT CLOSURES, TYPE III BARRICADES SHALL BE LIGHTED.
6. WHEN CALLED FOR IN THE FHWA ACCEPTANCE LETTER FOR THE SIGN SYSTEM SELECTED, THE TYPE A WARNING FLASHER, SHOWN ON THE WARNING SIGNS, SHALL BE POSITIONED ON THE SIDE OF THE SIGN NEAREST THE ROADWAY.
7. ALL TEMPORARY SIGNS, TYPE III BARRICADES, THEIR SUPPORT SYSTEMS AND LIGHTING REQUIREMENTS SHALL MEET MCHRP 350 CRASHWORTHY REQUIREMENTS STIPULATED IN THE CURRENT EDITION OF THE MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, THE CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION, THE STANDARD PLANS AND APPLICABLE SPECIAL PROVISIONS. ONLY DESIGNS AND MATERIALS APPROVED BY MDOT WILL BE ALLOWED.
8. WHEN BUFFER AREAS ARE ESTABLISHED, THERE SHALL BE NO EQUIPMENT OR MATERIALS STORED OR WORK CONDUCTED IN THE BUFFER AREA.
21. ALL EXISTING PAVEMENT MARKINGS WHICH ARE IN CONFLICT WITH EITHER PROPOSED CHANGES IN TRAFFIC PATTERNS OR PROPOSED TEMPORARY TRAFFIC MARKINGS, SHALL BE REMOVED BEFORE ANY CHANGE IS MADE IN THE TRAFFIC PATTERN. EXCEPTION WILL BE MADE FOR DAYTIME-ONLY TRAFFIC PATTERNS THAT ARE ADEQUATELY DELINEATED BY OTHER TRAFFIC CONTROL DEVICES.
26. THE LIGHTED ARROW PANEL SHALL BE LOCATED AT THE BEGINNING OF THE TAPER AS SHOWN. WHEN PHYSICAL LIMITATIONS RESTRICT ITS PLACEMENT AS INDICATED, THEN IT SHALL BE PLACED AS CLOSE TO THE BEGINNING OF THE TAPER AS POSSIBLE.

SIGN SIZES

DIAMOND WARNING	-	48" x 48"
R2-1 REGULATORY	-	48" x 60"
RS-18c REGULATORY	-	48" x 48"



TRAFFIC AND SAFETY
MAINTAINING TRAFFIC
TYPICAL

DRAWN BY: CONJAE:glf
CHECKED BY: BMM
FILE: K:\DOT\TSR\STDS\ENGLISH\MTTR\M0240a.dgn

TYPICAL TEMPORARY TRAFFIC CONTROL FOR A ONE-LANE CLOSURE ON AN UNDIVIDED MULTI-LANE ROADWAY, NO SPEED REDUCTION

OCTOBER 2011
M0240a
SHEET 2 OF 2
REV. 10/11/2011



Know what's below.
Call before you dig.

LEGEND
● = LIGHT POLE
○ = UTILITY POLE
○ = GUY ANCHOR
○ = HYDRANT
● = SPOT ELEV.
○ = POST
○ = GATE VALVE
○ = SIGN

TC = TOP OF CURB
TW = TOP OF WALL
○ = MANHOLE
○ = CATCHBASIN
○ = END SECTION

--- = GRAVEL
--- = FENCE
■ = CONCRETE
■ = ASPHALT

--- = EXISTING STORM
--- = EXISTING SANITARY
--- = EXISTING WATER
--- = EXISTING GAS
--- = EXISTING ELECTRIC
--- = EXISTING TELEPHONE

BENCHMARK TOP NUT ON HYDRANT SOUTH OF WASHTENAW AVE & WEST OF MARION ST.
ELEV=101.59 (ASSUMED DATUM).

REVISIONS 1-30-14 PER CITY REVIEW, 3-5-14 PER CITY REVIEW

SCALE



NO SCALE

PREPARED BY ROBERT J. WANTY P.E., MICH No. 28666

CLIENT

MOE WILCOX
1000 E. STADIUM BLVD
ANN ARBOR, MI 48104

SHEET

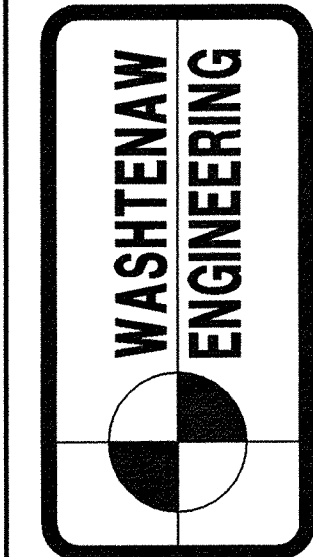
PROJECT

SECTION 5 TOWN 3 SOUTH RANGE 7 EAST
CITY OF YPSILANTI
WASHTENAW COUNTY • MICHIGAN
DATE 1-15-14 JOB NO. 317288
DWS NO.
FIELD BOOK
FILE NO. 10053

YPSILANTI
URGENT CARE

MDOT DETAILS

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Website: www.enp-associates.com

MEMORANDUM

To: City of Ypsilanti Planning Commission
From: Megan Masson-Minock, Planner
Date: 3/14/2014
Subject: Background on the Draft Zoning Ordinance

At your next meeting on March 19, 2014, we will be in attendance to discuss the draft zoning ordinance under development. This memo provides background on the changes proposed.

Why change?

The City of Ypsilanti's current zoning ordinance does not create a policy framework that implements the vision of Ypsilanti as a safe, sustainable, diverse city agreed upon in the Shape Ypsilanti Master Plan process. Some examples are:

- The requirements do not require doors and windows to face the street, which creates a safer environment with eyes on the street.
- The uses and accessory structures allowed are typical for a zoning ordinance updated 10 years ago. The uses are very specific leading to new uses being ruled out in areas that can accommodate them, particularly commercial areas.
- The regulations assume transportation by automobile as the primary means of travel. The review standards for land use decisions ask for considerations on road capacity for traffic but does not mention transit. Parking regulations require spaces for cars and loading areas for trucks but not for bicycles and do not require pedestrian paths or areas in parking lots.
- The zoning ordinance is use-based. While the overlay districts do have design regulations, those are generally applied to all buildings in that district, which does not preserve the architectural diversity of Ypsilanti.
- With the exception the B-3 and RO zoning districts, the districts are single-use districts, forcing separation of land uses that can result in an inefficient, sprawling pattern of development.
- Overlay districts are used to preserve or create certain built environments (Historic Preservation or Entranceway) or to mix uses (Student and Residential Commercial). Since these regulations apply to all areas under the overlay, they are broadly written and do not take into account different building types or uses that can support each other side by side.
- The landscaping and parking ordinance promote suburban standards that often don't fit in spatially on existing lots

The current zoning ordinance is also difficult to use for the following reasons:

- The zoning ordinance is mostly text, with only a few diagrams to explain concepts.
- Due to its age and number of amendments over time, the zoning ordinance contradicts itself and has regulatory gaps. For instance, the parking regulations do not reference all of the uses allowed in the zoning districts so, at times, it is not clear how many parking spaces are required for that use.
- Waivers are often needed for development proposals. According to Ypsilanti planning staff, overlay design standards are almost always waived, necessitating review by the Planning Commission that slows development.
- Regulations are organized by individual zoning district. A user wanting to know where it is possible to locate a coffee shop must look in three different places in the codes to know all the regulations and possibilities.

Why a hybrid form-based code?

A hybrid form-based code is proposed since it preserves the built environment of Ypsilanti, while meeting the guiding principles of the Master Plan. The city has areas with multiple uses and types of buildings and other areas with a single type of building containing generally the same type of uses. Some cities, like Miami, Florida, have a form-based code for the entire city. More often, form-based code regulations apply to certain districts. The City of Marquette, Michigan has a form-based downtown zoning district.

A use-based zoning ordinance, the current code, works best for areas dominated by a single use and a single building type. In the master plan, these were identified as outlying neighborhoods. Those now zoned R-1 or R-2 are proposed as a use-based district called R-1. The only change is the minimum lot size would be that of the current R-2, to prevent nonconformities. All outlying neighborhoods zoned R-4 would remain a use-based district called multiple-dwelling (MD).

The master plan also identified special districts that are single building-type, single-use areas. Those areas now zoned M-1 and M-2 are proposed to become a single used based Production, Manufacturing, Distribution (PMD) zoning district. The name is changed to reflect the diversity of uses in the district but uses limited to those that can provide jobs. Most of the areas were built after World War II, under regulation similar to the current ordinance. A single-use parks district will replace the public lands district. It will only apply to the cemetery and city-owned parks. All other public lands will be wrapped into other districts. EMU will be shown as exempt from zoning.

Form-based regulations add another lens of regulation – the building form. Use-based districts do create a building envelope but it is for all building types in the district. In the master plan, corridors, centers and core neighborhoods were identified as areas appropriate for form-based regulation due to the diversity of building types and uses in those districts. In the zoning analysis, the residential office district was changed to a form-based district due to the diversity of uses and building types, as well as to encourage re-use of the large parking lots.

The core neighborhoods were built before World War II and much of the area falls under the historic district overlay. The centers have a diversity of uses and building types. Each building type sits a bit differently on the street so the regulation by building type will further preserve the current context. The corridors are a patchwork of zoning districts currently. By creating multi-use districts with design regulations for walkable areas, the potential of these areas is opened up. The residential office area on Towner has the street structure of a walkable area and a variety of buildings.

The following table gives a district by district analysis of what is changing and why:

Proposed	Current	Use or Form	Proposed Changes
R-1	R-1, R-2	Use	Lot width 45' & area 4,500 sq. ft. Used R-2 lot dimensions to prevent nonconformities. Allowing storm water and energy features. Neighborhoods south of Michigan Avenue would no longer permit two-family dwellings.
Multiple Dwelling (MD)	R-4	Use	Allowing storm water and energy features.
Parks (P)	PL	Use	Zone only applies to the cemetery and city-owned parks. EMU is shown as exempted from regulation. All other public lands are wrapped into other districts to allow for ease of adaptive re-use.
Production, Manufacturing, Distribution (PMD)	M-1 M-2	Use	Combine industrial districts for ease of administration, making M-2 uses special land uses. Change name to better reflect uses allowed. Simplify description of uses. Kramer Bell neighborhood is zoned PMD, except Spring Street frontage.
Core Neighborhood East (CN-E)	R-1	Form	Regulate by building type as well as use.
Core Neighborhood South (CN-S)	R-2, R-3	Form	Regulate by building type as well as use.
Core Neighborhood (CN)	R-2, R-3	Form	Regulate by building type as well as use. More diversity of uses possible.
Center (C)	B3	Form	Include Water Street. Regulate by building type as well as use.
Historic Corridor(HC)	R-2, R-3, R-4, RO, RC, PL	Form	Regulate by building type. Allow all uses currently within the district, with special land uses
Neighborhood Corridor (NC)	RC, R-3, B1, B2, B4, CI, PL	Form	Regulate by building type. Allow all uses currently within the district, with special land uses
General Corridor (GC)	RO, RC, R-3, R-4, B1, B2, B4, CI, M2, PL	Form	Regulate by building type. Allow all uses currently within the district, with special land uses
Residential Office (RO)	RO, RC, R4, PL	Form	Regulate by building type. Expand uses to allow small scale commercial.

Three Reasons to change the Zoning

We realize these are policy changes not easily understood by the general public. On March 19th, we will give a presentation with a power point that should help boil it down to the essentials – purpose of zoning, reasons to add building type as a tool in certain areas and graphic description of the table above. However, we think the reasons to change the zoning are:

- It should be easy to build what fits with the guiding values of Ypsilanti. The current ordinance makes it difficult.
- Where the current ordinance works, keep it. Where it does not, use all available tools, including changing regulations by building type.
- The document is hard to use. Changes to make it less complicated will save time and money in the long run.

We look forward to seeing you on March 19th.



Memo

To: Planning Commission
From: Teresa Gillotti
Date: March 14, 2014

Subject: Planning Commission member attendance requirements

The Planning Commission bylaws state that Commissioners with 5 or more absences in a one-year period have their appointment automatically nullified. This would apply to Commissioner Murphy, which he pointed out to Mayor Schreiber, Chair Johnson and myself. Mr. Murphy suggested he might vacate his seat and possibly seek reappointment in a few months when family bedtime was more consistent.

The section of the [Planning Commission bylaws](#) related to attendance can be found in Article IX

Mayor Schreiber reviewed the bylaws, and noted that the Planning Commission could vote to waive their rules to maintain Mr. Murphy's status on the commission if desired.

Article X, Section 1 states:

These Rules and Regulations may be amended or altered during a regular meeting by the affirmative vote of at least six (6) members, or a majority of those on the current roster of the Commission, provided notice of the proposed change is given to the Commission at a preceding regular meeting

Chair Johnson requested this be placed on the agenda. It will appear under new business.