

1. Agenda

Documents: [01- PC AGENDA FEB .PDF](#)

2. Packet

Documents: [PACKET2015-02 .PDF](#)

Agenda
Planning Commission
Council Chambers
Wednesday, February 18, 2015 - 7:00 P.M.

I. Call to Order

II. Roll Call

Roderick Johnson, Chair	P	A
Cheryl Zuellig, Vice Chair	P	A
Anthony Bedogne	P	A
Phil Hollifield	P	A
Heidi Jugenitz	P	A
Nicki Sandberg	P	A
Scott Straley	P	A

III. Approval of Minutes

- Jan 21, 2015

IV. Audience Participation

Open for general public comment to Planning Commission on items for which a public hearing is not scheduled.

V. Presentations and Public Hearing Items

- None

VI. New Business

- PC "practice" site plan review & discussion (BW)
- Site Plan Checklist

VII. Old Business

- Disposition policy

VIII. Future Business Discussion / Updates

- Annual report update
- Change in date and time to April meeting – 4/22 at 6:30?

IX. Committee Reports

- Non-motorized Committee

X. Adjournment

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**PLANNING COMMISSION
MEETING MINUTES
January 21, 2015
CITY COUNCIL CHAMBER
7:00 P.M.**

I. CALL TO ORDER

The meeting was called to order at 7:02 p.m.

II. ROLL CALL

Present: R. Johnson, H. Jugenitz, A. Bedogne, P. Hollifield, S. Straley

Absent: N. Sandberg (excused) C. Zuellig (excused)

Staff: Leah DuMouchel, Beckett & Raeder Consultant
Nan Schuette, Executive Secretary

III. APPROVAL OF MINUTES

Commissioner Bedogne moved to approve the minutes of December 17, 2014 as read (Support: P. Hollifield) and the motion carried unanimously.

IV. AUDIENCE PARTICIPATION

None

V. PRESENTATIONS AND PUBLIC HEARING ITEMS

None

VI. NEW BUSINESS

1. Planning Commission "practice" site plan review and discussion

Leah DuMouchel, Consultant with Beckett & Raeder was in attendance to assist with the presentation and review of a comparison for a variance request that was completed under the old zoning ordinance and how it may differ under the new ordinance. The project chosen was 706 W. Michigan Avenue. There was a lot of detailed discussion and listed below are observations and comments by Ms. DuMouchel:

- **Angled lot lines:** This is a situation that is not explicitly addressed in the new ordinance, and it comes up twice in the site plan review: when determining setback; and when computing the frontage build-out. It was agreed that a standard should be set for consistency, though that standard was not worked through at the meeting.

Considerations included the intent (for the building to address the lot line), context of neighboring properties (which likely also have an angled lot line), complications arising from constructing a building that is not square, and side setback complications arising from placing a square building parallel to an angled front lot line.

- **Frontage build-out:** Ms. DuMouchel wanted to include a definition of this in the template, but was unable to find one through the Form-Based Codes Institute, Congress for the New Urbanism, or APA. The only one she did find was from a community in North Carolina, which read as follows: “The portion of lot frontage which has a building or wall running parallel to it.” So angled lot lines present an explicit problem here in that the building is not parallel. Additionally, the percentage is different when calculated using the frontage length as the denominator than when using the lot width. PC determined that frontage was the appropriate number based on the intent of the requirement.
- **Private Frontages “permitted” vs. “preferred” language:** It was agreed that “preferred” would be the better term, as connotes something stronger than a mere suggestion though everyone recognized that neither has any teeth. (It also sets us up to incentivize these frontages, though we didn’t talk about that.) Another consideration is whether it is easier to change the language of the cut sheet or the text of the ordinance.
- **Circulation standards:** The PC (and Ms. DuMouchel) is very interested to see what one of these will look like.
- **Parking requirements:** We noted that the parking requirements for this site actually increased under the new ordinance from 8 spaces to 18 (14 with transit proximity reduction) due to the removal of the words “or similar” from the parking standards for doctor’s and dentist’s offices. This seems to be an unintended effect, and clarification of the reasoning for that change may be in order.
- **Parking plantings:** The euonymus shrubs on the west side of the parking lot do not have a 3’ separation from the parking spaces. It is not 100% clear from the ordinance that this buffer applies to shrubs, as the only required plantings are trees and the discussion of shrubs comes after the buffering requirement. Assuming that it does, we were also not sure of the best method of addressing it in this plan; the solution seems to be to require the applicant to remove the shrubs from the planting bed, but this is not particularly desirable from any other standpoint.
- **Traffic visibility:** The 10’ clear corner requirement in 122-649 now overlaps/conflicts with the 15’ required distance from curb cuts required in 172-711. Clarification requested.
- **Greenbelts:** This requirement duplicates the requirements in 122-704, Street Trees. A search for “greenbelt” in the zoning document shows that the word now only comes up in discussions about nonconforming uses, satellite dish/cell tower screening, and the PMD district. In the latter case, the wording refers to the Parking requirements in 122-835, not the Greenbelt section (122-705). This section may be somewhat obsolete.
- **Foundation landscaping:** There was a question of how to pro-rate the “6 shrubs per 30 lineal feet” requirement. She had assumed that the language was written to require that shrubs come in a sort of “6-pack” and so required 12 for 49’ of frontage. The PC thought that this may prove contentious at times. We wondered what the benefits and drawbacks of changing the wording to “1 shrub per 5 lineal feet” would be.
- **Landscape elements:** This was probably the biggest departure from the previous system, and gave rise to several items.

- o Question: When a tree is closer than the required distance from a tree on an abutting lot, but there is a fence separating them, is that adequate? Should trees be setback from fences, also?
- o There are some elements that are required to be evaluated in 122-711 but are not explicitly required in the landscape plan by 122-702, such as overhead utilities.
- o The Approved Tree List and the Urban Forestry Plan requirements now play a role in site plan review, but required some digging through the website to find them. It would be good if they were readily available with the application.

Overall, the Commission felt that the ordinance had stood up to a very challenging site plan and are looking forward to 1715 Washtenaw. Ms. DuMouchel expressed her delight at being part of this session.

VII. OLD BUSINESS

1. Disposition Policy

At the December meeting, a possible policy for addressing current and future tax-reverted properties within the city was discussed by commissioners. Staff has proposed various procedures and is requesting that the Planning Commission pass a resolution of adoption. Chairman Johnson stated that he did not need more clarification on this issue. Commissioner Jugenitz was of the opinion that the criteria are not detailed enough, adding that there are many variables that could determine what would be the best disposition decision of a specific property's characteristics as to whether it be sold, leased or donated, i.e. location, etc. Commissioner Bedogne added that while the Planning Commission can offer its opinion or recommendation, ultimately the final decision is in the hands of the City Council.

Chairman Johnson added that while Commissioner Sandberg was not in attendance, she had forwarded an email with a comment on the disposition policy. At the last meeting, she had requested adding some wording about "consideration for use in the food system" in the section about review. She still thinks this would be a good addition as it is one of several factors that we can take into consideration when these properties come up.

After further discussion, Commissioner Bedogne moved to table this item to get more clarification from staff on leases; incorporate potential food partnerships inside the documents and clarification as to the Planning Commission's involvement with the entire process (Support: P. Hollifield) and the motion carried unanimously.

VIII. FUTURE BUSINESS DISCUSSION/UPDATES

1. Annual report – Committee volunteers, schedule next meeting

Nan will check Ms. Wessler's calendar to schedule a meeting with Commissioners Bedogne and Jugenitz to discuss the annual report.

2. Next month will be another trial of the zoning ordinance using 1715 Washtenaw.

IX. COMMITTEE REPORTS

- Commissioner Bedogne attended the Non-Motorized Committee meeting on January 8th, at which time; they worked on priorities for 2015. The committee is working on the Transit Center in downtown Ypsilanti being reconfigured by AATA with one of the considerations being Wayfinding and signage in our community; the first of which will be located at the Transit Center and possibly funded by the DDA and AATA.
- Ypsilanti Bicycle Friendly Business is heading up a campaign to promote active and healthy lifestyles for employees and customers in the Ypsilanti area. By participating in the Ypsilanti Bike Friendly Business Campaign, cyclists and business owners are working together to create and encourage safe cycling and healthy business. Any questions concerning the Ypsilanti Bike Friendly Business Program, contact Bob Krzewinski of the City of Ypsilanti Non-Motorized Advisory Committee at wolverbob@gmail.com or by calling 734-487-9058.
- The committee also had a discussion about adding the different sidewalk gap priorities of the communities. Commissioner Bedogne recommended they try to obtain a list from DPS.

X. ADJOURNMENT

Since there was no further business, Commissioner Hollifield moved to adjourn the meeting (Support: H. Jugenitz). The meeting adjourned at 8:43 p.m.



22 Jan 2015

**Mock Comparison Zoning Ord. Review of Site Plan Application
Ypsilanti Urgent Care
1715 Washtenaw**

GENERAL INFORMATION

Applicant: Ypsilanti Urgent Care
1715 Washtenaw
Ypsilanti, MI 48197

Project: Ypsilanti Urgent Care

Application Date: 15 Jan 2014

Location: South-west corner of Washtenaw and Marion, between Mansfield and Courtland

Zoning: NC, Neighborhood Corridor

Action Requested: None

Staff Recommendation: No official recommendation, mock review

PROJECT AND SITE DESCRIPTION

The parcel is 0.25 acres in size, fronting on Washtenaw Avenue, with vehicle access from Marion Street, and a rear entry. There is an existing ~2,000 square foot building and 8-space parking lot. The applicant is proposing a change of use from business offices (AAUP) to medical clinic. The property is zoned **NC – Neighborhood Corridor**, which allows medical clinics as a **Special Use***.

The proposed renovations are largely interior to the building; site improvements include sidewalks on both frontages, parking lot, dumpster enclosure, and lighting changes to conform to current ordinances.

***The application noted the facility as a Medical Office on their Site Plan Cover Sheet. However it was reviewed under the previous Zoning Ordinance as a Medical Clinic. We could not find information pertaining to the number of practitioners to determine if it would be a Medical Office or Medical Clinic.**

Figure 1a and 1b: Subject Site Location

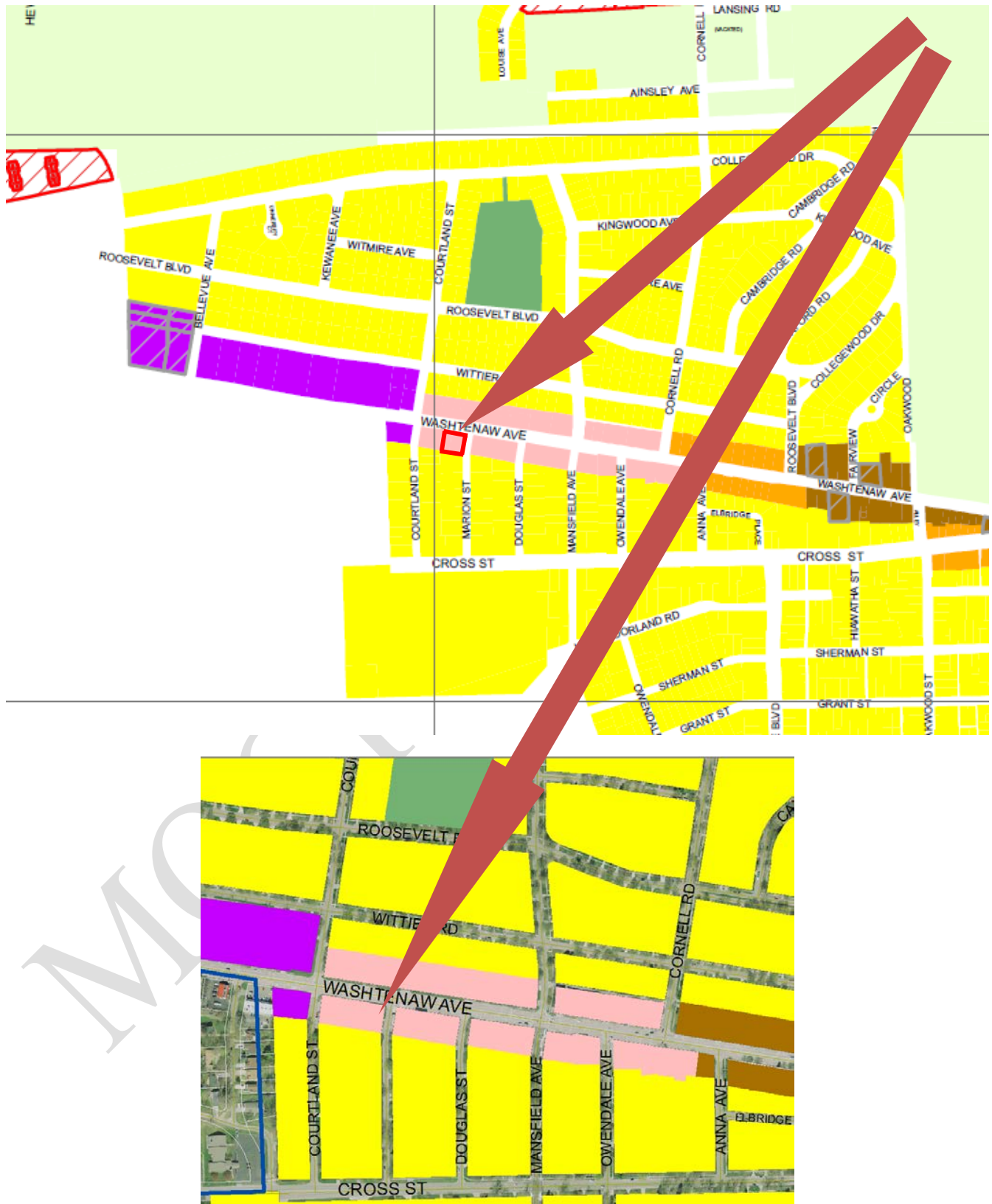


Figure 2: Site Aerial (2010)



Figure 3: 2' Contours



Note retaining wall along Washtenaw and north Marion frontages due to ~8' grade change.

Figure 4: Land Use and Zoning of Surrounding Area

	LAND USE	ZONING
NORTH	multifamily building (condos)	NC, Neighborhood Corridor
EAST	gas station w/convenience store & car wash	NC, Neighborhood Corridor
SOUTH	single-family detached	R-1, Single Family Residential
WEST	commercial strip	NC, Neighborhood Corridor

SITE PLAN: CRITERIA AND REVIEW**§122-128****STANDING****§122-128(1)**

The applicant is legally eligible to apply for site plan review, and all required information has been provided.

REQUIREMENTS**§122-128(2)**

Neighborhood corridors have a linear land pattern and are adjacent to residential neighborhoods. The size, form, and scale of buildings and the type and intensity of uses should be complementary to abutting single-family or core neighborhoods, including less intense multiple-family residential building types and uses.

Figure 5: Requirements

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
NC: BUILDING TYPE §122-274	Single story commercial buildings are allowed as a permitted use in the NC District.	Single story commercial	unchanged
LOT REQUIREMENTS			
Width ft	Minimum 50', maximum 300'	Lot is 74' wide.	unchanged
Depth ft	Min 100', maximum 300'	Lot has a depth of 137'	unchanged
Size sf	Min 7,500 sf, maximum 90,000 sf	The size of the lot is 10,138 sf.	unchanged
Coverage %	No minimum, maximum 60%	Lot coverage is approximately 17.4%. (10,138 sf lot divided by 1,772 sf of single story building).	unchanged
BUILDING ENVELOPE AND HEIGHT			
Street setback	No more than 10' from future right of way line.	This requirement is not met. Existing building is 44' from property line.	unchanged

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
Side Setback	0' minimum, no maximum	Current setbacks at 6' more or less on the east and 35' more or less on the east.	unchanged
Rear Setback	15' minimum, no maximum	~ 45'	unchanged
Frontage Buildout	50% minimum, 100% maximum	Zero	unchanged
HEIGHT	One story for principle building.	One story	unchanged
§122-641 LIGHTING	• Fixtures must be dark sky compliant • Not shine of adjacent properties or occupied dwellings • Not >0.5 fc @ lot line • Not > than 30 ft or the height of building, whichever is greater • not >16'in height • not < 0.3 fc at ground level	The existing foot candle reading provided on sheet 3, dated 1-15-14 shows fc readings greater than 0.5 at lot line	Note on Sheet 3, dated 1-15-14 states "shield lights 0.5 photometric reading level at property line don't exceed 0.5 fc"
§122-647 SIDEWALKS	provide a sidewalk or shared-use path	no sidewalk on either frontage	sidewalk proposed; ROW permit applications submitted
§122-836 PARKING	1 per 300sf usable area in waiting area; plus 1 per exam room, dental chair - o 230 sf: 1 space - o 4 exam rooms: 4 spaces - o 1 of which barrier-free	undefined	8 spaces, 1 of which barrier-free.
	prevent vehicular encroachment into landscaping, structures		wheelstops provided
§122-868 SIGNAGE §122-866	• Ground permitted • Building mounted permitted • Building Mounted: max of 1 sf/lf or 100 sf, whichever is less • Ground: max of 40 sq ft, 10 ' tall; • must be ≥3' from front property line; • ≥10' from side or rear.	Two illuminated wall signs; one refaced monument sign.	Existing signs to remain, permit pending for signs. Temporary signage subject to §122-866

Items to be Addressed:

1. Applicant to submit a photometric plan &/or cut sheets for outdoor lighting.
2. Street Setback requirement is not met (preexisting condition).

BUILDING LOCATION AND SITE ARRANGEMENT**§122-128(3)**

There is one building on the lot, roughly centered north-to-south, placed along the west property line. Parking is located in front of and behind the building; a dumpster and enclosure are proposed in the southwest corner. The building and parking are significantly higher than Washtenaw; Marion descends from being almost level with the site towards the south to meet Washtenaw towards the north. This arrangement will be unchanged.

Items to be Addressed: None.

SITE ACCESS, TRAFFIC, AND PARKING**§122-128(4)**

The site is accessed from Marion; there is no access from Washtenaw due to the grade separation. There are two curb-cuts due to the narrowness of the drive linking the front and back portions of the parking lot. There are no sidewalks on either street frontage. The project is within walking distance of The Ride route #4, along Washtenaw, and within walking distance of route #5, along Cross/Packard. However, there is no sidewalk further south along Marion.

Eight parking spaces, one of which is barrier-free, are proposed. The majority of these spaces are in the “front” parking lot; the barrier-free space and one other are in the rear, near the main, accessible entrance.

Items to be Addressed: None.

ENGINEERING & STORMWATER**§122-128(6), §122-128(7)**

The proposed construction is not in a floodplain or floodway; no expansion of the building footprint or additional impervious surface is proposed. No engineering review is required.

SCREENING**§122-128(8)****Figure 6: Screening**

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
§122-703 Screening between uses	Rear lot line requires screening from residential	Opaque 6' wood fence to remain	unchanged
§122-704 Street Trees	• one tree for every 30 lineal feet on the frontage • Street trees must be centered between the sidewalk and the back of street curb		
§122-705 Greenbelts	One tree for every 30 lineal feet of frontage abutting a public road right-of-way	None	4 trees

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
§122-707 Foundation landscaping	• Provided along the front or sides of any buildings which face a public road and/or is adjacent to a parking lot or other area which provides access to the building(s) by the general public • Must be integrated into the sidewalk system adjacent to the building • Must contain a minimum of 6 shrubs per 30 lineal feet of applicable building frontage • Individual plantings must be 6 feet in width (which the PC may reduce)	None, fully paved	• 12 new trees proposed, 4 existing • Sidewalk not constructed • Proposed along the Washtenaw frontage are 3 trees and 25 shrubs, and 3 trees and 22 shrubs long Marion. • Individual plantings appear to be 6 foot in width.
§122-708 Site landscaping	At least 10 percent of the site area		~ 1,100+
§122-711 Landscape elements	Must conform to current American Standard for Nursery Stock	None noted	Plan needs to note the landscape elements will conform to current American Standard for Nursery Stock.
§122-712 Installation, maintenance, and completion	All landscaped areas must be provided with a readily available and acceptable water supply	None noted	Applicant has requested a waiver from this requirement.
§122-713 Fences, hedges, walls, berms, and screening	No fence, wall, or other screening structure must exceed 10 feet in height	Opaque 6' wood fence to remain	unchanged
§122-650, §122-709 Refuse Containers	• Must not be located in any front yard or any required side yard setback • Must be located in rear yard • Must be on a concrete pad • Must be screened with an enclosure at least 1' taller than dumpster • 80% opaque swing door	--	CMU dumpster enclosure shown.

Items to be Addressed:

1. Waiver requested for foundation landscaping.
2. Waiver requested for in-ground irrigation.
3. Plan needs to not that landscape elements will conform to current American Standard for Nursery Stock.

OTHER DEPARTMENT AND AGENCY APPROVALS

DEPARTMENT OF PUBLIC SERVICES

The applicant is responsible for obtaining permits from the Department of Public Services before beginning work on any portion of the City right-of-way, including sidewalks, curbs, and driveways on Marion. Applicant applied for such permit on 2/5/2014.

MICHIGAN DEPARTMENT OF TRANSPORTATION

The applicant is responsible for obtaining permits from the Michigan Department of Transportation before beginning work on any portion of the State right-of-way, including sidewalks, curbs, and driveways on Washtenaw Avenue. It is our understanding that the applicant has applied for such permit.

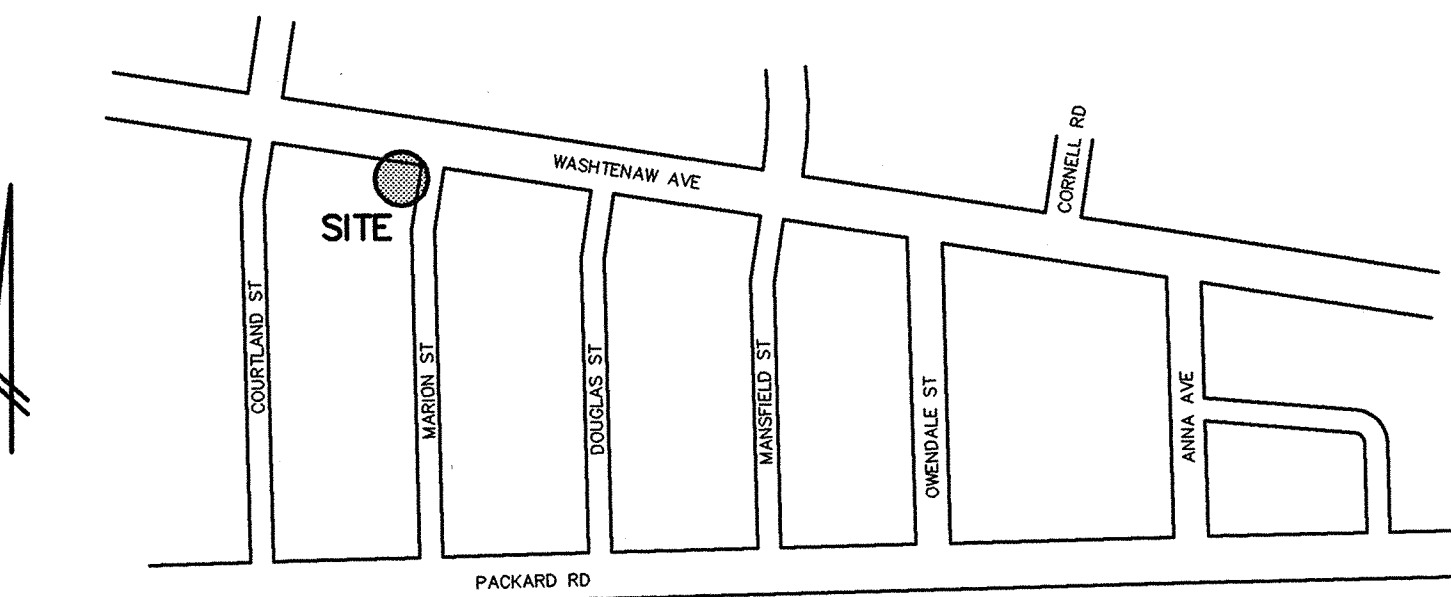
SITE PLAN

YPSILANTI URGENT CARE

A PART OF THE SOUTHWEST 1/4 SECTION 5, T3S, R7E,
CITY OF YPSILANTI, WASHTENAW COUNTY, MICHIGAN

FOR:
YPSILANTI URGENT CARE, PLLC
1715 WASHTENAW AVE
YPSILANTI, MI 48197

JANUARY, 2014

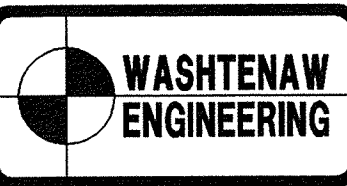


VICINITY MAP
(NO SCALE)

CONSTRUCTION NOTES

1. ALL WORK ON THIS SITE WILL BE IN ACCORDANCE WITH ALL APPLICABLE CURRENT STANDARDS & SPECIFICATIONS OF THE CITY OF YPSILANTI EXCEPT AS HEREIN MODIFIED.
2. IT IS ESSENTIAL THAT THE CONTRACTOR FAMILIARIZE HIMSELF WITH THE SITE PRIOR TO SUBMITTING PROPOSAL.
3. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES WHICH MIGHT AFFECT THIS JOB.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO AND THE REPAIR OF ANY EXISTING UTILITY LINE IN THE CONSTRUCTION ZONE.
5. AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL "MISS DIG" (1-800-482-7171) FOR UTILITY LOCATIONS.
6. LOCATION OF EXISTING UTILITIES WERE TAKEN FROM EXISTING PLANS. LOCATIONS WERE FIELD VERIFIED WHERE POSSIBLE.
7. CONTRACTOR MUST OBTAIN AN EROSION CONTROL PERMIT FROM THE CITY OF YPSILANTI PRIOR TO BEGINNING EARTH MOVING. CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO BEGINNING CONSTRUCTION.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REMOVAL OF ALL TEMPORARY EROSION CONTROL MEASURES PER THIS APPROVED PLAN.
9. ANY CONDITIONS EXISTING ON THE SITE THAT ARE NOT CONSISTENT WITH THE PLANS OR SOIL EROSION SEDIMENTATION PERMIT WILL RESULT IN A STOP WORK ORDER AND REVOCATION OF THE SOIL EROSION SEDIMENTATION CONTROL PERMIT.
10. ALL FILL MATERIAL MUST BE PLACED IN LIFTS NOT EXCEEDING 12 INCHES AND COMPACTED TO 95% OF THE MAXIMUM UNIT WEIGHT.
11. ALL CONSTRUCTION TRAFFIC CONTROL SHALL BE SIGNED PER THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. CONTRACTOR SHALL MAINTAIN ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES.
12. MDOT PERMIT IS REQUIRED FOR WORK WITHIN THE WASHTENAW AVE RIGHT OF WAY.

OWNER:
YPSILANTI URGENT CARE, PLLC
1715 WASHTENAW AVE
YPSILANTI, MI 48197



CIVIL ENGINEERS • PLANNERS
SURVEYORS • LANDSCAPE ARCHITECTS

P.O. BOX 1128
3526 WEST LIBERTY RD, STE. 400, ANN ARBOR, MICHIGAN 48106
TEL. 734-761-8800 FAX. 734-761-9530
E-MAIL: weco@wengco.com

SITE DATA

Existing Zoning B1 - Neighborhood Business
E-OL - Entry Overlay District
RC - OL - Residential-Commercial Overlay District

	REQUIREMENT		PROVIDED	
	Units	Min/Max	Units	
Lot size	NA		11,508	sf
Lot width	NA		84	ft
Setbacks/Yards				
Front	10 ft	Max ¹	42.5/25.5	ft ³
Side	4.5 ft	Min	6	ft
Rear	35 ft	Max ¹	50	ft
Building Size				
Lot coverage	40%	Max ¹	16.1%	
Floor area			1,854	sf
Height - ft	30 ft	Max		
Height - stories	2 stories	Max	1	story

- 1: Per Entry Overlay District regulations
2: Per Residential Commercial Overlay District regulations
3: Washtenaw Ave/Marion St front setbacks

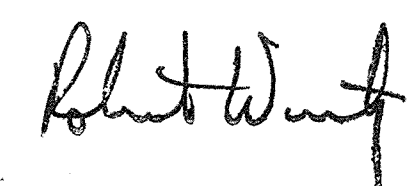
USE: Medical Office

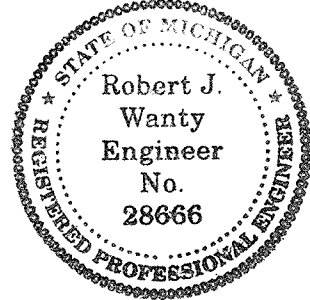
Requirement	REQUIRED		BASIS	# REQUIRED	# PROVIDED
Waiting rooms	1 space per	200 sf usable floor area	230 sf	1 spaces	1 spaces
Examining rooms	1 space per	1 examining room	4 examining rooms	4 spaces	4 spaces
Accessible spaces*	1 space per	25 parking spaces	5 spaces	1 space	1 space

* Included in 5 required spaces

SHEET TITLE **SHEET NO.**

- COVER SHEET.....1
- TOPOGRAPHICAL SURVEY.....2
- SITE, GRADING AND LANDSCAPE PLANS.....3
- DETAILS.....4
- MDOT DETAILS.....5
- ARCHITECTURAL PLANS.....A-1

PREPARED BY: 
ROBERT J. WANTY P.E., MICH No. 28666



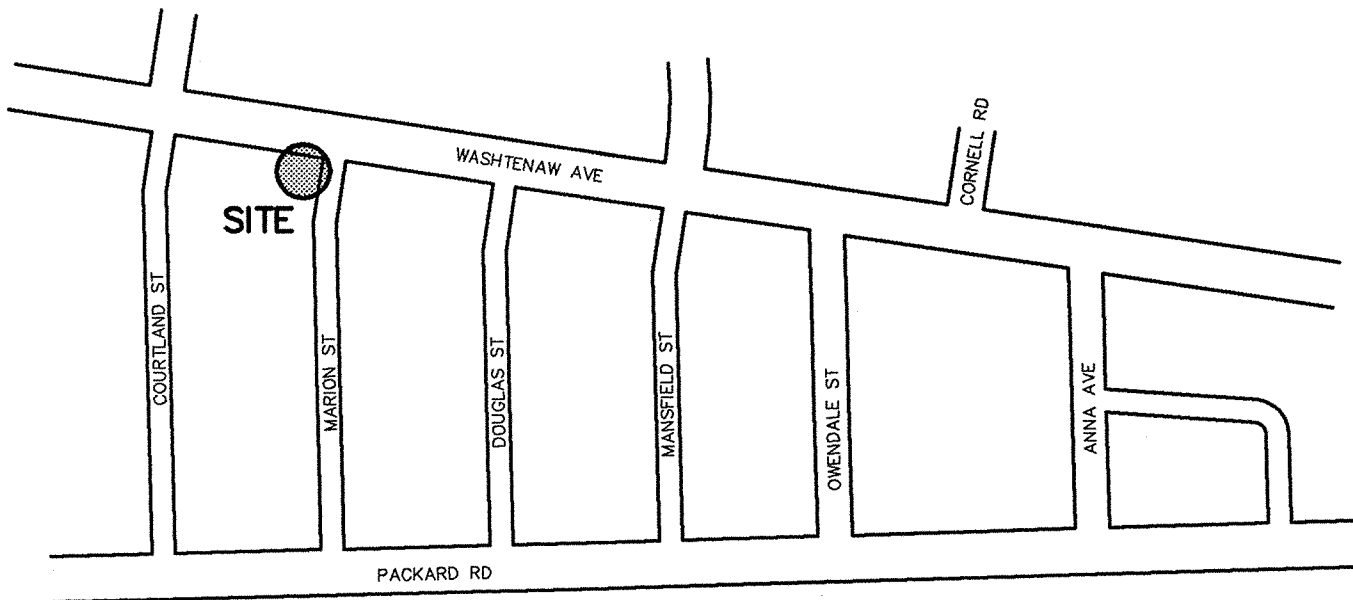
REVISED: 3-4-2014
ORIGINAL: 1-15-2014

YPSILANTI URGENT CARE

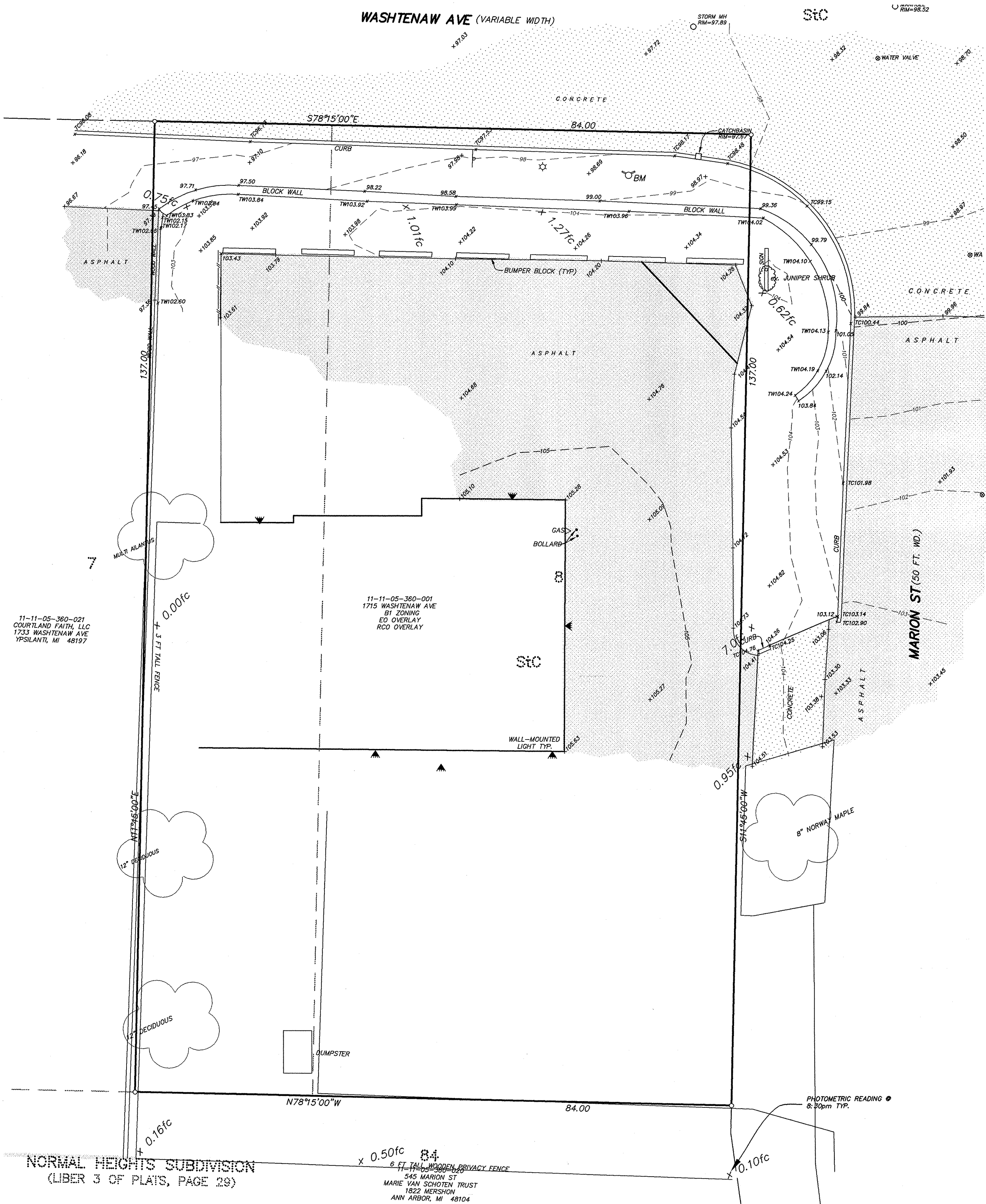
THE OWNER SHALL NOT USE OR AUTHORIZE ANY OTHER PERSONS TO USE THE DRAWINGS, SPECIFICATIONS, ELECTRONIC DATA AND ANY OTHER INSTRUMENTS OF SERVICE ON OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THE PROJECT BY OTHER PERSONS SO LONG AS WESTHaven ENGINEERING COMPANY (WECO) IS AT THE OWNER'S SOLE RISK AND WITHOUT LIABILITY TO WECO. THE USER WITHOUT WECO'S PROFESSIONAL INVOLVEMENT WILL BE AT THE OWNER'S SOLE RISK AND WITHOUT LIABILITY TO WECO. THE OWNER SHALL INDEMNIFY AND HOLD HARMLESS WECO, ITS CONSULTANTS AND SUBCONSULTANTS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES, ARISING OUT OF OR FROM THE USER OF THE DRAWINGS, SPECIFICATIONS, ELECTRONIC DATA OR OTHER INSTRUMENTS OF SERVICE WITHOUT WECO'S PROFESSIONAL INVOLVEMENT.

BENCHMARK TOP NUT ON HYDRANT SOUTH OF WASHTENAW AVE & WEST OF MARION ST,
ELEV=101.59 (ASSUMED DATUM).

WASHTENAW COUNTY SOIL SURVEY CLASSIFICATION
 StC - ST. CLAIR CLAY LOAM, 6 TO 12 PERCENT SLOPES
 - SOILS BOUNDARY
 SOILS ARE BASED ON USDA SOIL SURVEY
 OF WASHTENAW COUNTY.



VICINITY MAP
(NO SCALE)



**Know what's below.
Call before you dig.**



**WASHTENAW
ENGINEERING**

MOE WILCOX
1000 E. STADIUM BLVD
ANN ARBOR, MI 48104

TOPOGRAPHICAL SURVEY

YPSILANTI
URGENT CARE

SECTION 5 TOWN 3 SOUTH RANGE 7 EAST
CITY OF YPSILANTI
WASHTENAW COUNTY • MICHIGAN

DATE	1-15-14	JOB NO.	31788
SHEET	2	DWG NO.	788-TOPO
		FIELD BOOK	-

WASHTECHAWENGINEERING.COM

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING RECORDS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN ARE ACCURATE. THE SURVEYOR DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION AND DEPTH SHOWN. THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

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LEGEND
☆ = LIGHT POLE
TW = UTILITY POLE
○ = GUY ANCHOR
= HYDRANT
● = SPOT ELEV.
= POST
= GATE VALVE
= SIGN

TC = TOP OF CURB
TW = TOP OF WALL
○ = MANHOLE
□ = CATCHBASIN
= END SECTION

--- = GRAVEL
--- = FENCE
= CONCRETE
= ASPHALT

r = EXISTING STORM
s = EXISTING SANITARY
w = EXISTING WATER
g = EXISTING GAS
e = EXISTING ELECTRIC
t = EXISTING TELEPHONE

BENCHMARK TOP NUT ON HYDRANT SOUTH OF WASHTENAW AVE & WEST OF MARION ST.
ELEV=101.59 (ASSUMED DATUM).

REVISIONS 1-30-14 PER CITY REVIEW, 3-5-14 PER CITY REVIEW

SCALE
0 5 10 20
SCALE: 1"=10'

PREPARED BY: ROBERT J. WANTY P.E., MICH No. 28666



SECTION 5 TOWN 3 SOUTH RANGE 7 EAST
CITY OF YPSILANTI
WASHTENAW COUNTY - MICHIGAN
DATE 1-15-14 JOB NO. 31788
DWG NO. 3
FIELD BOOK -
FILE NO. 10053

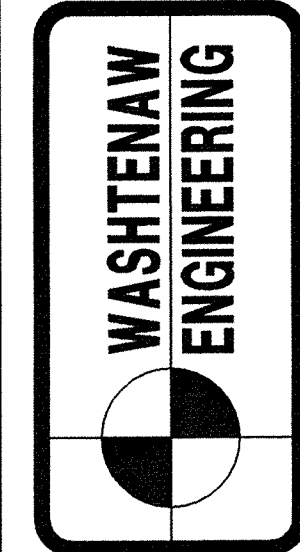
**YPSILANTI
URGENT CARE**

SHEET

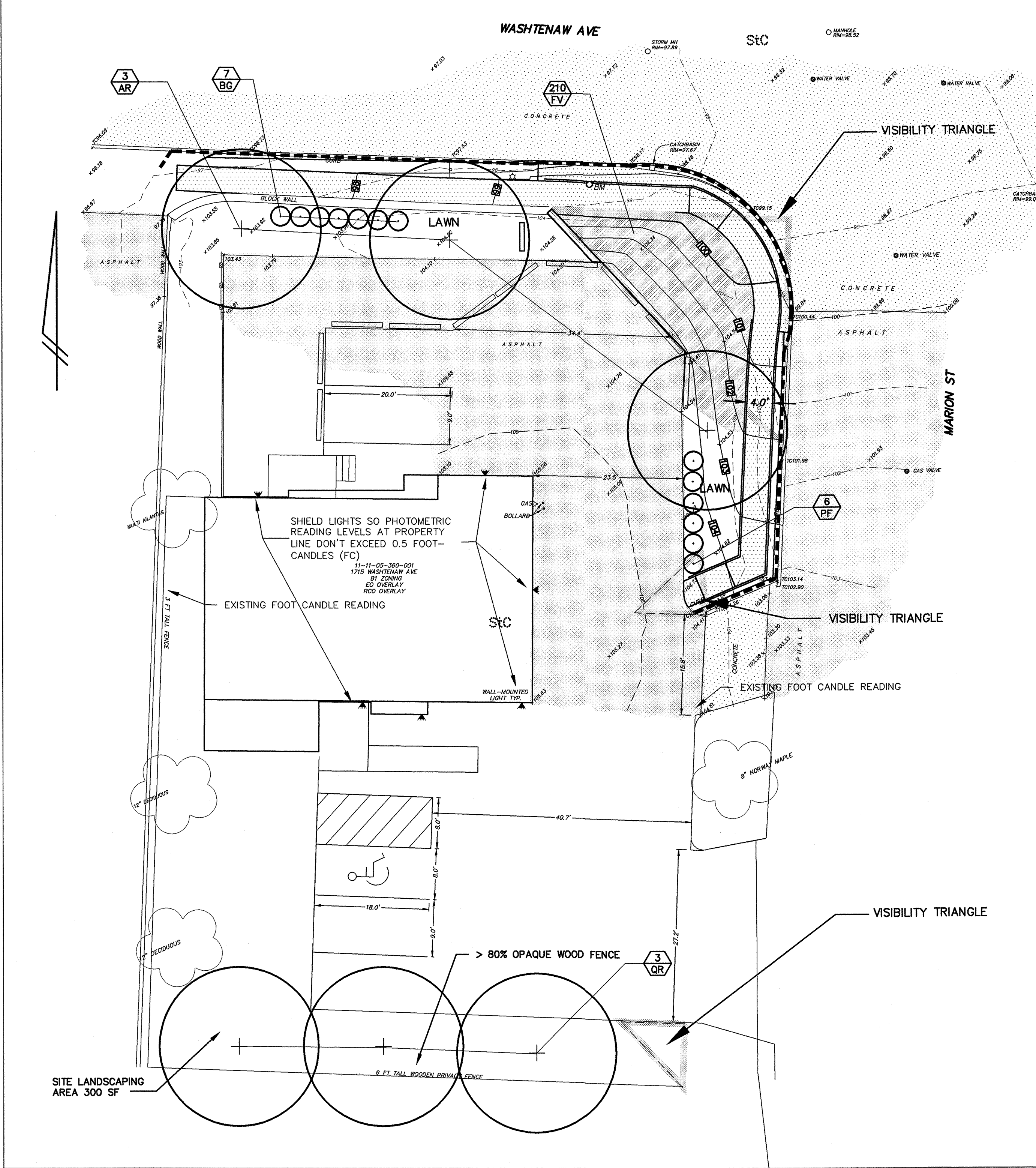
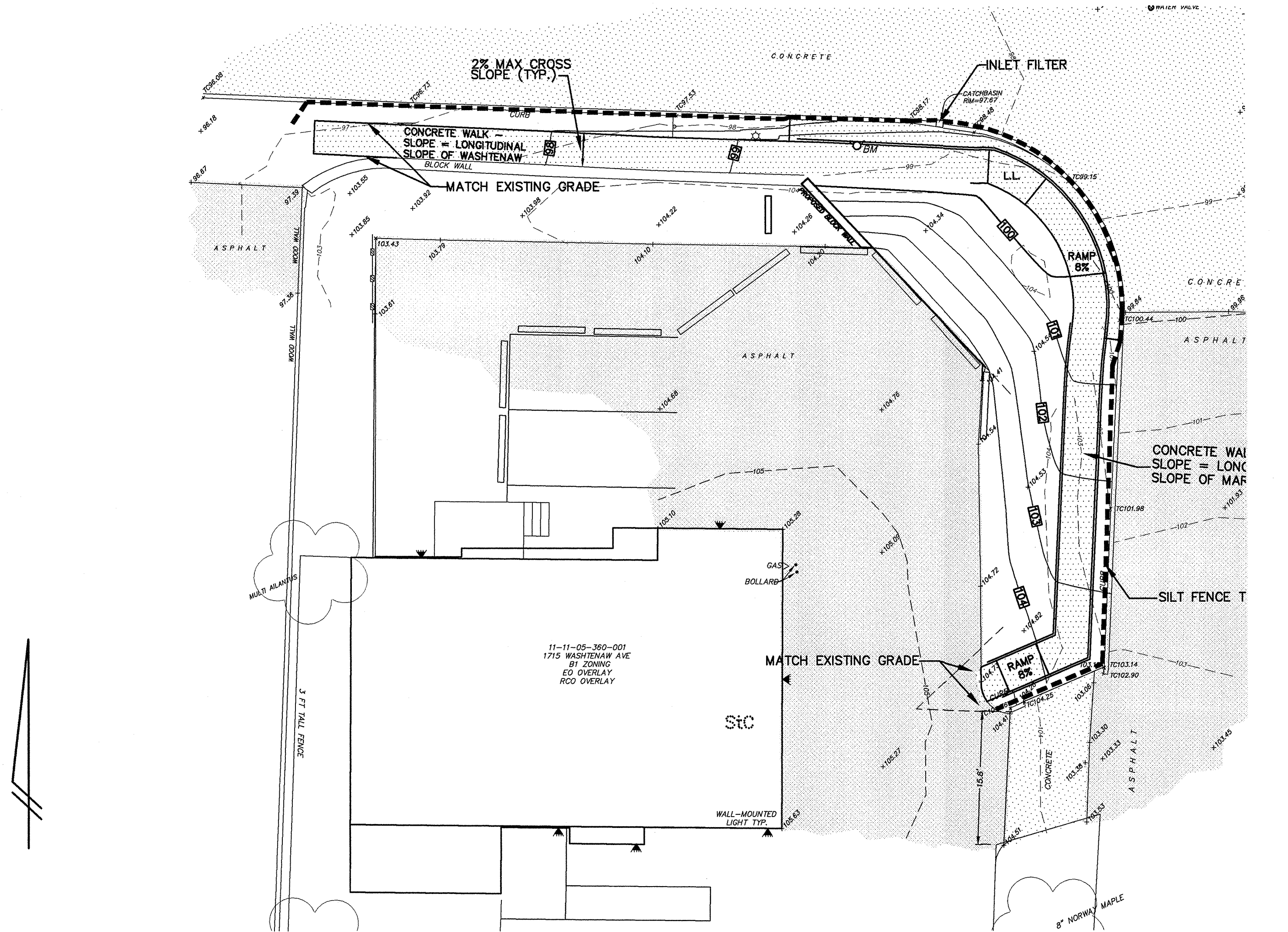
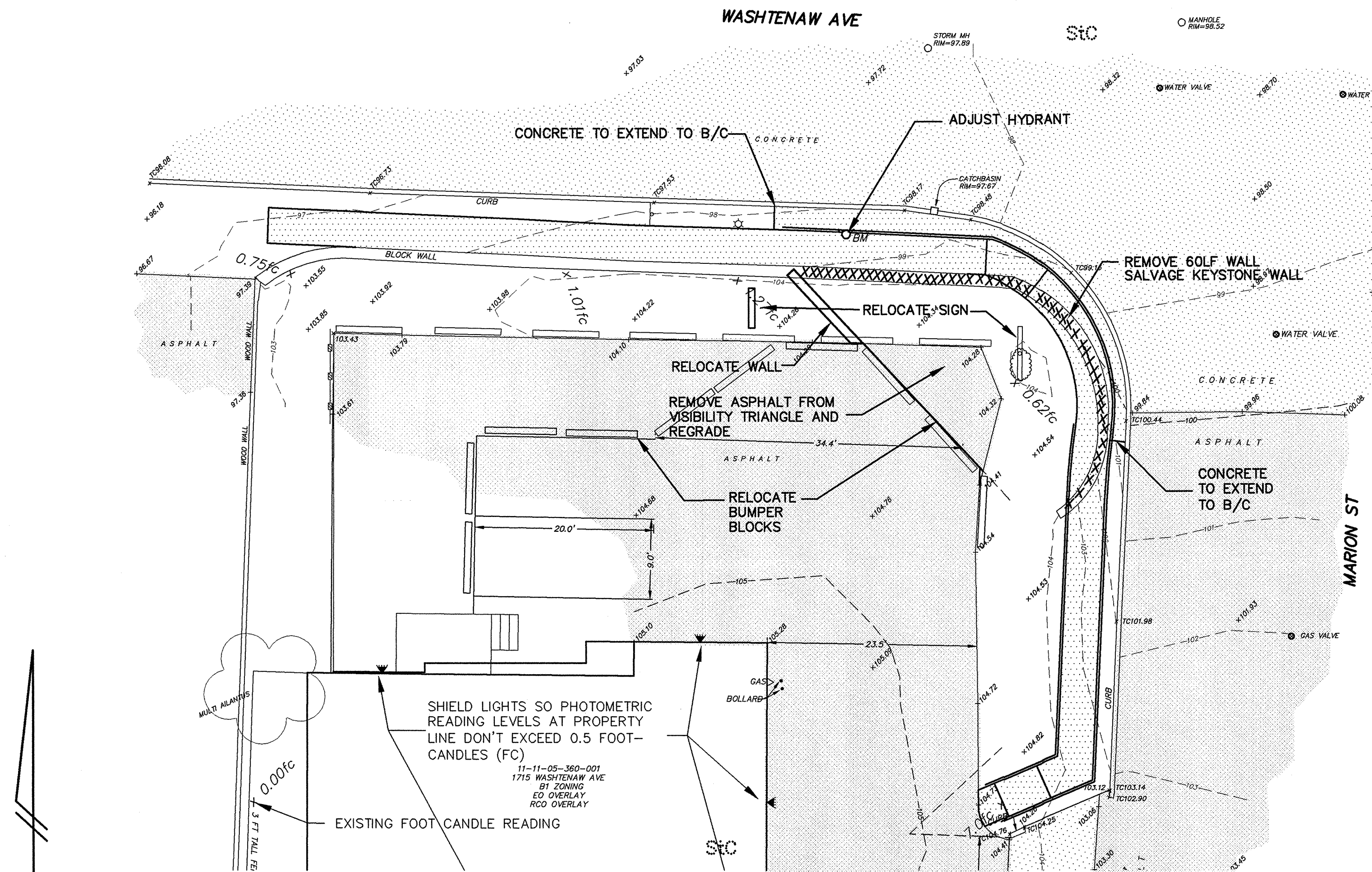
**LAYOUT, GRADING &
LANDSCAPE PLAN**

CLIENT

MOE WILCOX
1000 E. STADIUM BLVD
ANN ARBOR, MI 48104



CIVIL ENGINEERS
PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS
3526 W. LIBERTY RD
ANN ARBOR, MI 48103
TEL 734-761-8800
FAX 734-761-8800
WWW.WASHTENAWENGINEERING.COM



PLANT LIST

SYMBOL	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS
AR	3	Acer rubrum 'Franksred'	Red Sunset Red Maple	2.5 Inches Cal.	B & B
BG	7	Buxus x Green Mountain	Green Mountain Boxwood	24 Inches Ht.	CONT. or B & B
FV	210	Fragaria virginiana	Wild Strawberry	Plug 18" o.c.	Plugs or flats
PF	6	Potentilla fruticosa 'Goldfinger'	Goldfinger Potentilla	No. 3 0 0	CONT.
QR	3	Quercus rubra	Red Oak	2.5 Inches Cal.	B & B

NOTES

- NO WORK ON PARKING LOTS IS PROPOSED BEYOND RE-STRIPING, MOVING OF BUMPER BLOCKS AND REMOVAL OF NORTHEAST CORNER TO PROVIDE REQUIRED VISIBILITY AT CORNER OF MARION AND WASHTENAW - ALL EXISTING DRAINAGE TO REMAIN.
- ONLY WORK PROPOSED WITH THESE PLANS ARE:
 - CONSTRUCTION OF SIDEWALK IN THE WASHTENAW AVENUE AND MARION ST ROW
 - PAVEMENT REMOVAL/GRADING OF NORTHEAST CORNER TO PROVIDE REQUIRED VISIBILITY.
 - REMOVAL OF PORTION OF EXISTING WALL
 - RE-STRIPING ASPHALT PER NEW PARKING SPACES
 - INSTALLATION OF INDICATED LANDSCAPING
- LANDSCAPING REQUIREMENTS ARE ON DETAIL SHEET 4.
- MDOT DETAILS AND CONSTRUCTION NOTES ARE ON DETAIL SHEET 5.

LEGEND

x 0.001c EXISTING FOOT CANDLE READINGS

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING RECORDS. THE SURVEYOR MAKES NO WARRANTY AS TO THE ACCURACY OF THE INFORMATION. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THE UTILITIES WERE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE, THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

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UNAUTHORIZED REUSE OF DRAWINGS, SPECIFICATIONS, ELECTRONIC DATA OR OTHER INSTRUMENTS OF SERVICE.

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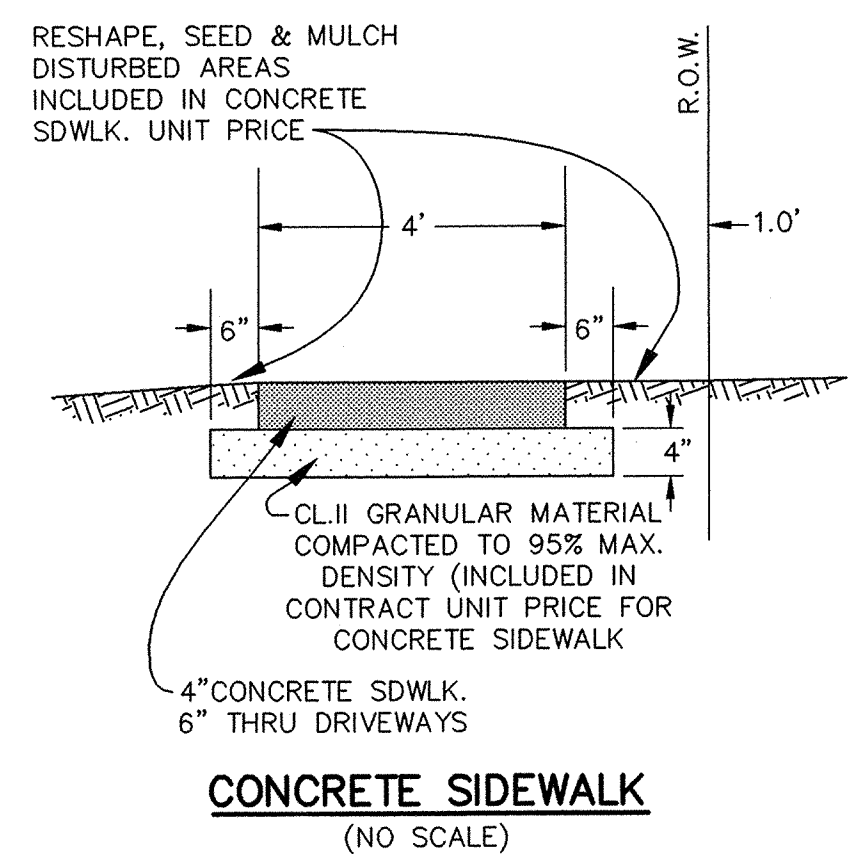
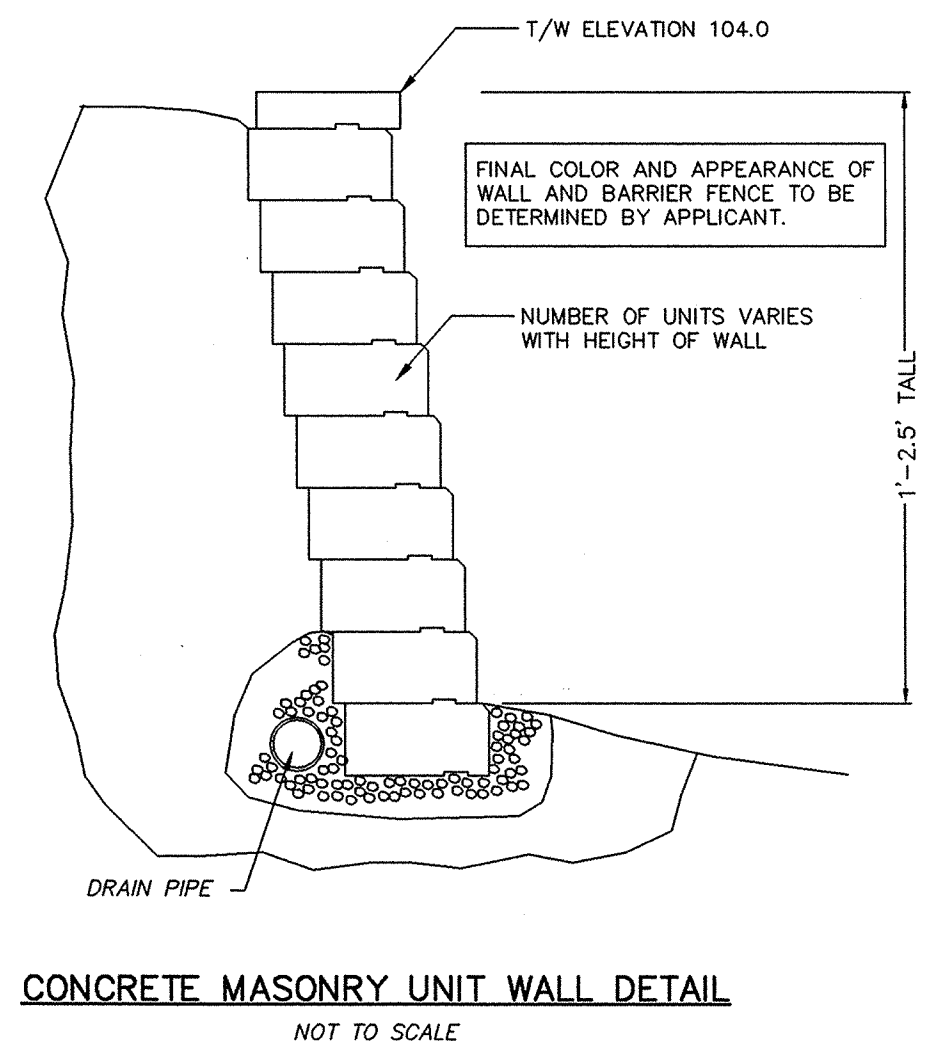
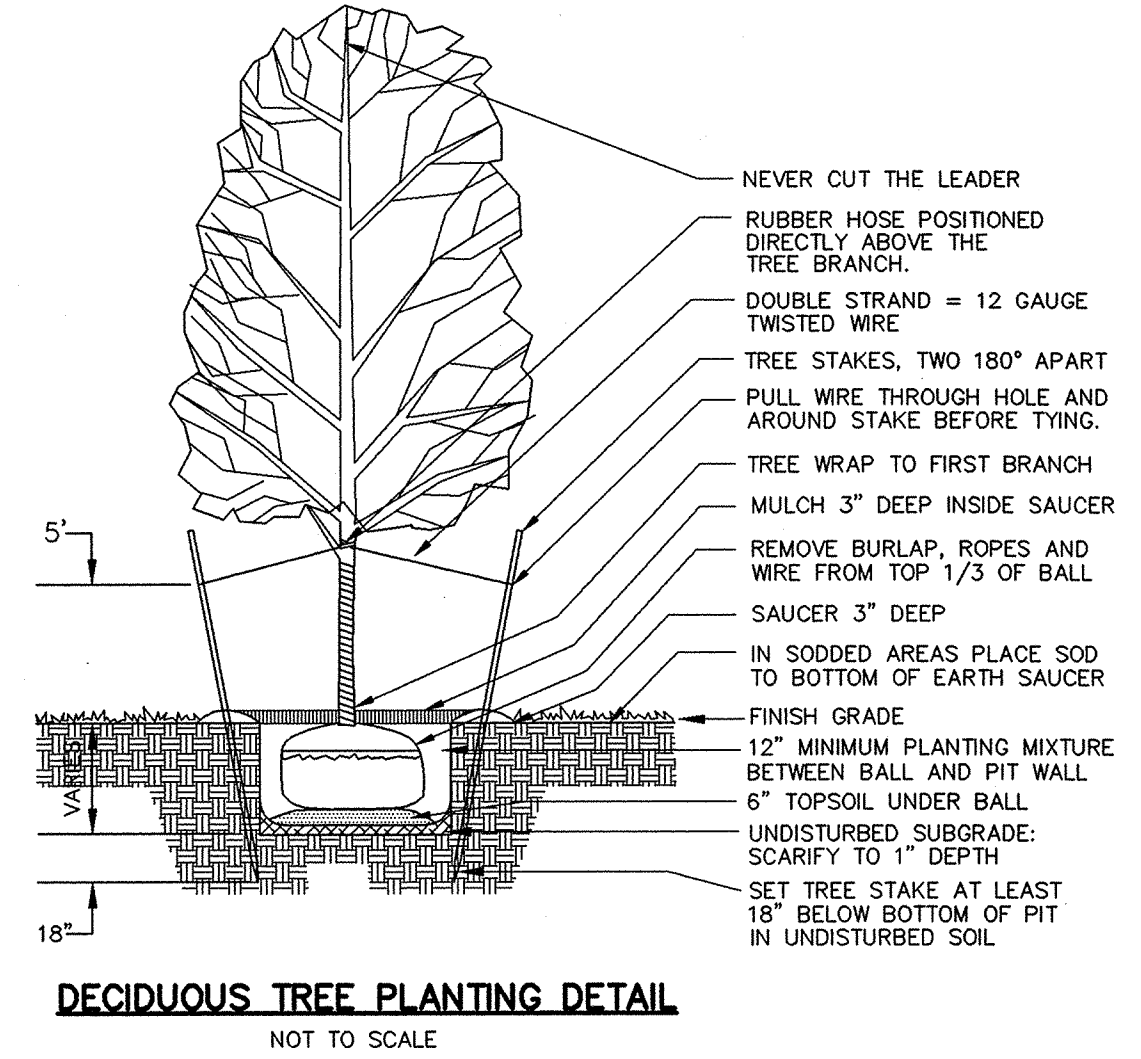
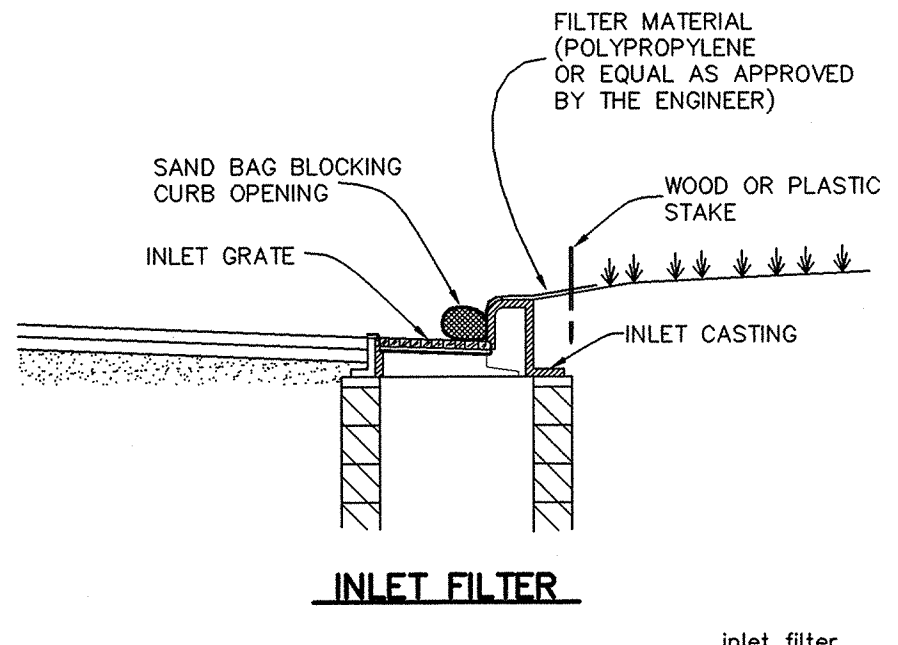
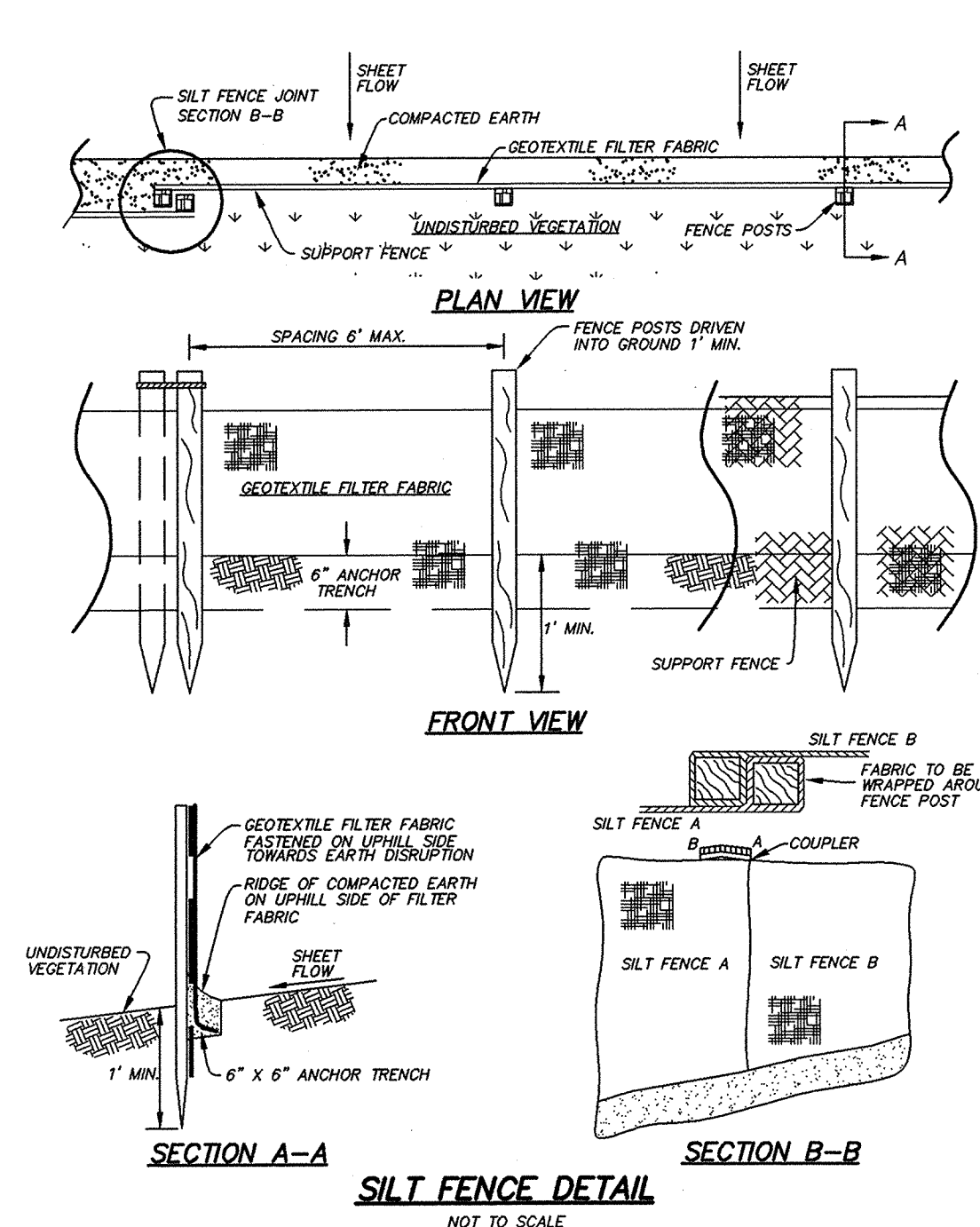
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ELEV=101.59 (ASSUMED DATUM).

REVISIONS 1-30-14 PER CITY REVIEW, 3-5-14 PER CITY REVIEW

SCALE
NO SCALE

PREPARED BY ROBERT J. WANTY P.E., MICH No. 28666

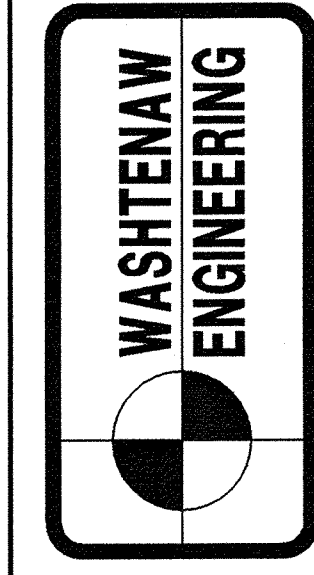
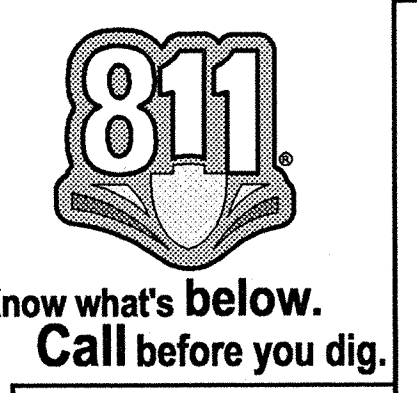
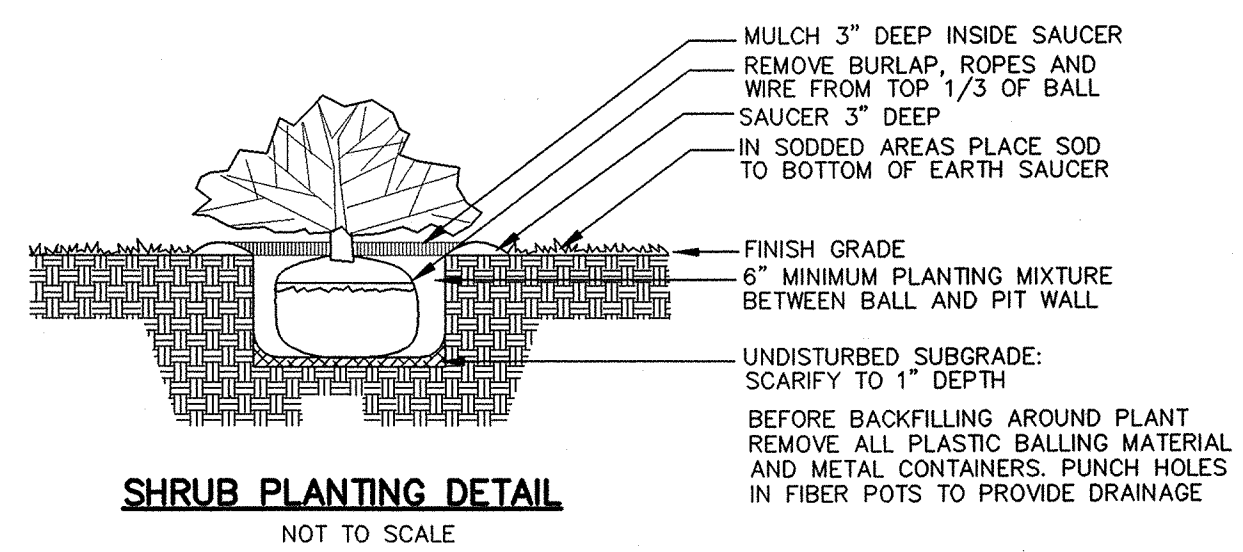


LANDSCAPING REQUIREMENTS - CITY OF YPSILANTI

	Requirement	Basis	Required	Provided
Perimeter Greenbelt				
Property Frontage				
Buffer Strip	10' buffer strip along all parcel boundaries ¹ 1 solid w all w th planting strip ²			
Washtenaw	10' buffer strip ¹		10' buffer strip	8.14-9.71' w ide buffer strip along road frontage
Marion	10' buffer strip ¹		10' buffer strip	8.42-8.90' w ide buffer strip along road frontage
West Property Line - commercial	10' buffer strip ¹		10' buffer strip	6-13' 8' tall opaque w ooden fence along southern 90' w ide buffer strip along property line ¹
South Property Line - residential	10' buffer strip ¹		10' buffer strip	7-11' 6' tall opaque w ooden fence along entire line
Trees				
Washtenaw	1 tree per 30 LF frontage ¹	84 LF frontage	3 trees	2 new trees
Marion	1 tree per 30 LF frontage ¹	137 LF frontage	5 trees	1 existing tree
West Property Line - commercial	1 tree per 30 LF frontage ¹	137 LF frontage	5 trees	1 new tree
South Property Line - residential	1 tree per 30 LF frontage ¹	84 LF frontage	3 trees	3 existing trees
Shrubs				
Washtenaw	1 evergreen screen ¹			0 new trees
Marion	1 evergreen screen ¹			3 new trees
West Property Line - commercial				3 new trees
South Property Line - residential				3 new trees
Site Landscaping	10% of site exclusive of parking areas landscaped ^{1,2}	2742 sf remaining area	274.2 sf area canopy trees ornamentals evergreen trees shrubs	300 sf area along south edge of parking lot canopy trees ornamentals evergreen trees shrubs
Interior Parking lot landscaping - not required as site has fewer than 20 spaces				
Foundation Plantings	Planting areas to be minimum of 6' deep			
Washtenaw Frontage	1 ornamental tree per 30 LF building frontage	52 LF frontage	2 trees	0 ornamental trees
Marion Frontage	6 shrubs per 30 LF building frontage	52 LF frontage	11 shrubs	0 shrubs
	1 ornamental tree per 30 LF building frontage	36 LF frontage	2 trees	0 ornamental trees
	6 shrubs per 30 LF building frontage	36 LF frontage	8 shrubs	0 shrubs
Dumpster Screening	Dumpster screen to be at least 6' high			
Enclosure	1 opaque dumpster screen	1 dumpster	1 screen	0 refuse w ill be disposed of w th garbage cans put out on day of collection

1: Per Entry Overlay District requirements
2: Per Residential-Commercial Overlay District requirements

SYMBOL	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS
AR	3	Acer rubrum 'Franksred'	Red Sunset Red Maple	2.5 Inches Cal.	B & B
BG	7	Buxus x Green Mountain	Green Mountain Boxwood	24 Inches Ht.	CONT. or B & B
FV	210	Fragaria virginiana	Wild Strawberry	Plug 18" o.c.	Plugs or flats
PF	6	Potentilla fruticosa 'Goldfinger'	Goldfinger Potentilla	No. 3 0 0	CONT.
QR	3	Quercus rubra	Red Oak	2.5 Inches Cal.	B & B



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1000 E. STADIUM BLVD
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CLIENT

SHEET

PROJECT

SECTION 5 TOWN 3 SOUTH RANGE 7 EAST
CITY OF YPSILANTI
WASHTENAW COUNTY • MICHIGAN
DATE 1-15-14 JOB NO. 31788 DWG NO. 4
FIELD BOOK — FILE NO. 10053

DETAILS

YPSILANTI
URGENT CARE



City of Ypsilanti

Community & Economic Development Department

[Review date]

Staff Review of [Site Plan/ special use] Application
[project name]
[project address]

GENERAL INFORMATION

Applicant: [applicant contact name]
[applicant company]
[project address]
Ypsilanti, MI 4819 [7/8]

Project: [project name]

Application Date: [application date]

Location: [rough description of location, ex: East side of Prospect, between Grove and Maus]

Zoning: [zoning district & overlays]

Action Requested: [action requested by applicant- site plan (andif special use) approval, include brief description of project. ex: Site plan & special use permit approval for expansion of building and paving 49-space parking lot.]

Staff Recommendation: [approval, approval with conditions, denial]

PROJECT AND SITE DESCRIPTION

[describe existing conditions in narrative form, including parcel size, size of buildings, building type & lot size for FBC districts, size of parking area. Relate to request.]

[describe current zoning and previous approvals in narrative form.]

[describe proposal in brief].]

Figure 1: Lot outline, zoning, and building footprints

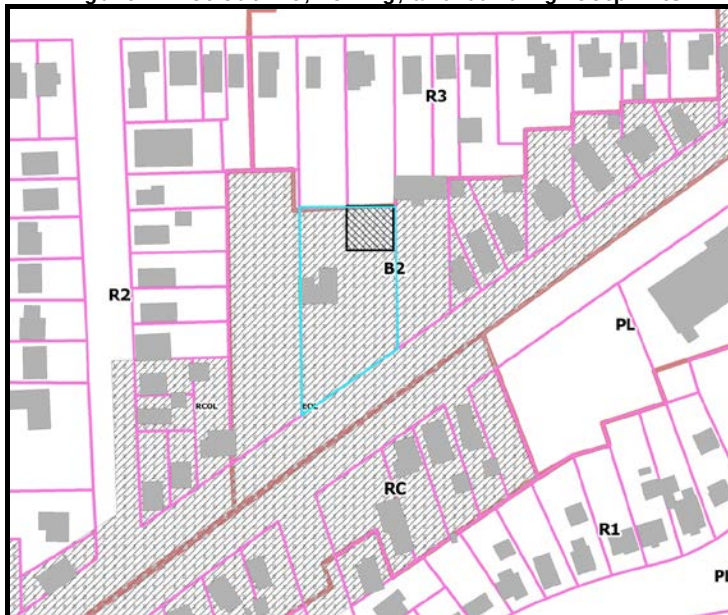


Figure 2: Subject Site Location and 2010 Aerial Photo
[\[show lot detail\]](#)



[third map as needed to highlight any unusual conditions- slope, park / river adjacency, encroachment issues]

Figure N: Land Use and Zoning of Surrounding Area

	LAND USE	ZONING
NORTH		
EAST		
SOUTH		
WEST		

SPECIAL USE: CRITERIA AND REVIEW

§122-165(b)

- (1) *The proposed use conforms with all the provisions and requirements of this chapter, including site plan review standards (section 122-128) and the applicable site development standards for the specific use, as well as the spirit and intent of this chapter and the Master Plan. The location, scale, and intensity of the proposed use shall be compatible with adjacent uses and the zoning of the land. Height, location and size of buildings shall be compatible with uses and buildings on adjacent properties. The intensity of the proposed use, such as volume, frequency and times of operation, and its compatibility shall be considered.*

COMMENTS: [staff comments]

- (2) *The proposed use shall promote the use of land in a socially and economically sustainable manner and shall not be detrimental, hazardous, or disturbing to existing or future neighboring uses, persons, property or public welfare. Noise, odor, smoke and potential contamination of air, soil and water and its potential effect on neighboring uses, persons and property, as well as public welfare, shall be considered.*

COMMENTS: [staff comments]

- (3) *The proposed special land use shall be designed, constructed, operated and maintained to assure long-term compatibility with surrounding land uses. Consideration shall be given to the placement, bulk, and height of structures; materials used in construction; location and screening of parking areas, driveways, outdoor storage areas, outdoor activity areas, and mechanical equipment; nature of landscaping and fencing; and hours of operation.*

COMMENTS: [staff comments]

- (4) *The proposed special land use shall not present unreasonable adverse impacts on the transportation system. Consideration shall be given to the estimated pedestrian, bicycle and vehicular traffic generated by such use, access to transit, proximity to major thoroughfares, proximity to intersections, required vehicular turning movements, and provisions for pedestrian and bicycle traffic.*

COMMENTS: [staff comments].

- (5) *The proposed use shall not create additional requirements at public cost for public facilities and services that will be detrimental to the economic sustainability of the community.*

COMMENTS: [staff comments]

- (6) *Within the MD district, the proposed special land use will help to allow residents to access everyday needs by foot, if a similar service is not currently provided within a quarter mile walking distance.*

COMMENTS: [staff comments]

Items to be addressed: [summary of ay issues brought up by staff comments; phrase so as to be easy to pull into conditions of approval, as needed]

SITE PLAN: CRITERIA AND REVIEW

§122-128

STANDING

§122-128(1)

The applicant is legally eligible to apply for site plan review, and all required information has been provided.

[use checklist and application form to determine. If applicant is not legally eligible to apply &/or not all information has been provided, can return app as incomplete, or make any approvals conditional on more info, or work with applicant/PC to table application until requested information is provided.]

REQUIREMENTS

§122-128(2)

["The proposed site plan conforms with all the provisions and requirements, as well as the spirit and intent of this chapter and the Master Plan. The proposed development will meet all the regulations of the zoning district in which it is located."]

Neighborhood corridors have a linear land pattern and are adjacent to residential neighborhoods. The size, form, and scale of buildings and the type and intensity of uses should be complementary to abutting single-family or core neighborhoods, including less intense multiple-family residential building types and uses.

Figure N: Requirements

ORDINANCE REFERENCE	REQUIRED		EXISTING CONDITIONS	PROPOSED
NC: BUILDING TYPE §122-274	Determined by lot size		Single story commercial	Unchanged
LOT REQUIREMENTS				
Width ft	Min 50	Max 300	132	Unchanged
Depth ft	Min 100	Max 300		Unchanged
Area sf	Min 7500	Max 90,000	27,849	Unchanged
Coverage %	Min -	Max 60%	Building footprint: 1721 sf 6%	Building footprint: 4142 or 4104 sf by calculation of floor plan numbers; 4155 and 4487.6 listed as existing conditions 16% max
BUILDING ENVELOPE AND HEIGHT				
Street setback ft	Min 5	Max 15	96'5"	Unchanged – existing nonconforming
Side setback ft	Min 0	Max -	34'	3'6", 13'
Rear setback ft	Min 15 (25 if adjacent to existing SF)	Max -	~75'	35'

ORDINANCE REFERENCE	REQUIRED		EXISTING CONDITIONS	PROPOSED
Frontage buildout %	Min 50	Max 100	0%	Unchanged – existing nonconforming
Height stories	Min 1	Max 1	1	Unchanged
ACCESSORY BUILDING ENVELOPE, FOOTPRINT, AND HEIGHT				
Street setback ft	Min	Max		
Side setback ft	Min	Max		
Rear setback ft	Min	Max		
Footprint sf	Min	Max		
Height ft	Min	Max		
PARKING PROVISIONS	Location:			
PRIVATE FRONTAGES	Permitted: Required:			
Width	Min	Max		
Depth	Min	Max		
Height	Min	Max		
Setback from curb (awning/gallery) ft	Min	Max -		
Distance between façade openings ft	Min -	Max		
Door recess Ft	Min -	Max		
Ground floor transparency %	Min 60	Max -		
Height to bottom of window ft	Min -	Max		
Interface zone				
§122-861 et seq SIGNAGE	Master sign plan: HC, NC, GC, C, PMD, P; nonres uses in R1, CN-SF, CN-Mid, CN, MD			
Area maximum				

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
Height maximum			
Setbacks minimum	Front property line: Side/rear property lines:		
§122-809 USE-SPECIFIC			
MASTER PLAN			

Items to be Addressed: *[any BOLD items should be listed here.]*

BUILDING LOCATION AND SITE ARRANGEMENT

§122-128(3)

[note location of buildings (note where building frontage/entrances are), parking, and other important features (woodlands, utilities, river(s))- both existing and proposed. Note if access to anything that needs it will be obstructed. Narrative.]

["All elements of the site plan shall be harmoniously and efficiently organized in relation to the character of the proposed use, the size and type of lot, the size and type of buildings, and the character of the adjoining property. The site shall be so developed as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter."]

Items to be Addressed: *[as needed]*

SITE ACCESS, TRAFFIC, AND PARKING

§122-128(4)

["With respect to vehicular and pedestrian circulation on the site, including walkways, interior drives, and parking; circulation shall to the extent possible create potential cross-and joint-access to adjacent parcels and the existing block layout. Special attention shall be given to the location, number and spacing of ingress and egress points; general interior circulation including turnaround areas; adequate provisions for delivery of services (trash removal, school buses, mail and parcel delivery); separation of pedestrian and vehicular traffic; avoidance of building corners next to access drives; identification of addresses; storage of plowed snow; and arrangement of parking areas that are safe and convenient, and insofar as practicable, do not detract from the design of the proposed buildings and structures, neighboring properties, pedestrian and bicyclist safety, access to transit and flow of traffic on adjacent streets. All buildings or groups of buildings shall be so arranged as to permit adequate access by emergency vehicles as required by the city building code."]

[note access points (vehicular, bike, pedestrian) and how development will affect it. Note adjacent bus routes. Note condition of sidewalk, parking. Note existence or lack thereof of bike parking. Note where waivers will be required or site inconsistent with code. Narrative intro, table block for parking and block/circulation stds as needed.]

Figure N: Requirements

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
---------------------	----------	---------------------	----------

Comment [LD1]: I just copy/pasted this section from the above chart, but I think it would be worth developing

Site Plan & Special Use Review | [project name] | [review date]

NC: §122-273	CIRCULATION STANDARDS	CN, C, HC, NC, GC, HHS: Sites <3 acres: circulation plan to ID potential cross and joint access to adjacent parcels Sites >3 acres: block plan		
		Easements: nonmotorized plan, ReImagine Washtenaw, other		
§122-834	PARKING Dimensions	• 9'x18' minimum, exceptions if adjacent to wall or overhang provided • May have 20% small car (8'x16', signed) • May have 10% motorcycle (5'x8', signed)		
§122-835	Access	5' walkway from parking lot to parks, commercial, transit, walkways, institutions; raised/marked crosswalks within parking lot		
	Ingress & Egress	• Aligned across ROW, or offset by 25' • >50' from intersection • 20'-30' driveway		
	Internal Maneuvering			
	Surfacing			
	Drainage			
	Striping			
	Wheel Stops			
	Lighting			
	Signs			
	Screening & Landscaping (internal)	1 tree per 8 spaces		
		1 landscape island for each 16 spaces		
		Islands w trees: 9' wide min and 160' sf Islands w 5' min walkway: 11' wide min Islands: curbed or used for stormwater		
		All aisle-ends & corners protected w curbed island		
		3' between curb and planting (5' if vehicle overhang)		
	Screening & Landscaping (perimeter)	Screened in accordance with 703 if abutting R1, MD, CN, CN-Mid, CN-SF		
		3'-4' screen 80% opacity where visible from ROW		

		Landscaped areas, walls, structures, walks- must be protected by curbing		
§122-836	Motor spaces	BY USE		
	Bicycle spaces	1 per 5 motor spaces, minimum of 2		
122-837	Parking discounts	Transit		
		Alternative Vehicles		
		Bicycle		
		PC discretion, special circumstances not listed above		
§122-647	SIDEWALKS	provide a sidewalk or shared-use path		
§122-649	TRAFFIC VISIBILITY	Maintain shrubs/other obstructions lower than 30" and trees/other obstructions higher than 8': At driveway: within a 10'x10' triangle formed by the street ROW line and the edge of the driveway At intersection: within a 25' x 25' triangle formed by an extension of the property lines, as measured from the pavement edges.		

Items to be Addressed:

STREET DESIGN

§122-128(5)

[" Streets are designed in context with the urban form and continue the established pattern of the surrounding area. "]
(As needed)

ENGINEERING & STORMWATER

§122-128(6), §122-128(7)

[(6) Adequate services and utilities including sanitary sewers shall be available or provided, with sufficient capacity to properly serve the development. Appropriate measures will be taken to ensure that site drainage will not adversely affect adjoining properties or the capacity of the public storm drainage system, or nearby bodies of water. Provisions shall be made to accommodate stormwater and prevent soil erosion. All stormwater management facilities, including but not limited to storm sewers and detention/retention facilities, shall be designed in accordance with the "Rules of the Washtenaw County Water Resources Commissioner," together with any special provisions established by the city.

(7) Natural resources will be protected to the maximum feasible extent. The proposed development will not cause soil erosion or sedimentation problems, and will respect floodways or floodplains on or in the vicinity of the subject property.]

[If no engineering required (ex, no additional imperv surface or no utility changes, then note that "engineering site plan review not required for this project, due to ____" If engineering required, copy engineer letter/comments if available; otherwise simply make subject to engineer approval. Always note relation of site to floodplain/floodway.]

Items to be Addressed: [as needed]

TEMPLATE

SCREENING

§122-128(8)

["The site plan shall provide reasonable visual and sound privacy for all dwelling units on or adjacent to the property. Fences, walks, barriers, and landscaping shall be used, as appropriate, for protection and enhancement of the property. All outdoor storage of materials, loading and unloading areas, and refuse containers shall be screened or located so as not to be a nuisance. Outdoor lighting shall be shielded so as to not adversely affect neighboring properties or traffic on adjacent streets."]

Figure N: Screening

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
§122-641 Lighting	• Dark Sky compliant; may be full cutoff where affecting residential uses • not >0.5 fc @ lot line • not >16'in height • not < 0.3 fc		•
§122-650 Refuse Containers	masonry enclosure 1' taller than dumpster (no less than 6'), in rear yard, 80% opaque swing door, on a concrete pad	Not shown	Dumpster shown at east end of parking lot; detail is compliant
§122-702 Landscape plan			
§122-703 Screening Between Land Uses <i>if conflicting use</i>	visual buffer of at least 80% opacity and 6' height		
§122-704 Street Trees	1 tree per 30' of lineal frontage, centered between sidewalk and back of curb: 160'/30' = 6 trees		
	Conformance with Urban Forestry plan		
§122-705 Greenbelts <i>If required elsewhere</i>	1 tree per 30' of lineal frontage abutting public road ROW		
	Natural landscape material groundcover		
§122-707 Foundation Landscaping <i>Required in MD, PMD zoning districts and with (Large Footprint) Single Story Commercial Buildings on front or sides of buildings facing public ROW, parking, or other access</i>	6 shrubs per 30 lineal feet of applicable building frontage in 6' wide planting area		

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
§122-708 Site Landscaping	10%	None	~16,900/27,849 = 60%
§122-710 Exterior Electrical	Screen when visible from any primary visual exposure area	n/a	n/a
122-711 Landscape Elements	Quality, composition, berms, spacing, species		
	Credit for existing vegetation		
§122-712 Maintenance	Readily available and acceptable water supply; may install underground sprinkler system		
§122-713 Fencing, hedges, walls, berms	<i>Per district</i>		

Items to be Addressed: [as needed; any BOLDDED items should be listed here.]

PHASING **§122-128(9)**

[as needed- omit if not]

OTHER DEPARTMENT AND AGENCY APPROVALS **§122-128(10)**

[as needed- omit if not]

HISTORIC DISTRICT

The project was approved on 14 February 2012. Bricks proposed for work in right-of-way to match existing throughout downtown area; grates proposed for new trees in right-of-way to match existing throughout downtown area.

DEPARTMENT OF PUBLIC SERVICES

The applicant is responsible for obtaining permits from the Department of Public Services before beginning work on any portion of the City right-of-way, including sidewalks, curbs, and driveways on South Adams and Ferris Streets.

FIRE DEPARTMENT

As applicant is requesting a curbcut closure and changes to parking area circulation, Fire Department review was required. Fire Department has no objection to the proposed changes.

MICHIGAN DEPARTMENT OF TRANSPORTATION

The applicant is responsible for obtaining permits from the Michigan Department of Transportation before beginning work on any portion of the State right-of-way, including sidewalks, curbs, and driveways on West Michigan Avenue.

MASTER PLAN CONSIDERATIONS **§122-128(11)**

["An objective of site plan review shall be to protect and promote public health, safety, sustainability and general welfare. It is also the intent of site plan review to improve the quality of existing developments as they are expanded, contracted, or redeveloped in keeping with sound site development standards of this chapter and city master plan."]

Items to be Addressed: *[as needed; any **BOLDED** items should be listed here.]*

STAFF RECOMMENDATIONS: SPECIAL USE

[ensure conditions/recommendations are easy to both parlay into a motion for PC, and easily quantifiable/easy to follow up on for staff. Break into small bites.]

Staff recommends the Planning Commission **approve** the Special Use Permit **expansion** for the **Ypsilanti Community Church at 333 S Prospect** with the following findings and conditions:

Findings: The application is substantially in compliance with §122-165(b).

Conditions: Special use approval shall be subject to approval of site plan.
[ensure any other conditions of special use approval are listed herein.]

STAFF RECOMMENDATIONS: SITE PLAN

[ensure conditions/recommendations are easy to both parlay into a motion for PC, and easily quantifiable/easy to follow up on for staff. Break into small bites. Remember that PC can add/subtract as they feel necessary.]

Staff recommends the Planning Commission **approve** the Site Plan for the **Ypsilanti Community Church at 333 S Prospect** with the following findings, waivers, and conditions:

Findings

1. The application substantially complies with §122-127.
[if the application DOES NOT substantially comply with 122-127- must recommend denial, condition on variance, etc.]

Waivers

[follow the format: "for/from/to accept ___ in lieu of ___/to omit, due to/with a finding ___". Reference ordinance as necessary; waivers are generally limited to landscaping (under 122-713) and parking quantity/size (under 122-832(4) and 122-834). Overlay districts may enable additional waivers- always double-check. Copy from "items to be addressed" in previous sections of the report- nothing should be new here.]

1. To accept proposed foundation landscaping, with the finding that the benefit intended to be secured by §122-706 will exist with less than the required landscaping or screening.

Conditions *[Copy from "items to be addressed" in previous sections of the report- nothing should be new here.]*

[sometimes conditions can be easily-administratively-fixed, ex:

1. Applicant to ensure correct square footage of building on site plan.
2. Applicant to submit signage plan or to update site plan with signage, subject to administrative approval.
[sometimes require approvals from outside authority, ex:
3. A permit from the Michigan Department of Transportation (MDOT) will be required for all work within the Michigan Avenue and Hamilton Street right-of-way.
4. Engineering approval.

[remember also to note any conditions unique to this use or otherwise unusual, such as:

5. Note on the site plan that if the growing/manufacturing facility ceases operation for a length of time of 60 days or greater, the special use permit shall expire.

Bonnie Wessler
Planner I, Planning & Development Dept.

CC	File
	Applicant
	Site designer 1 (architect or other lead designer)
	Site designer 2 (engineer or other lead designer- can generally omit other subs such as landscape architects, surveyors, as lead on project will contact them if issue arises.)
	City Engineer (as necessary)

FORMATTING NOTES: try to keep tables and sections together on one page as much as possible. Table headers should repeat across pages. Make sure maps/other graphics can be reproduced in grayscale to the extent possible. Keep things as brief as possible.

TEMP/PLATE



City of Ypsilanti
Planning & Development Department

One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646 • Fax: (734) 483-7260
www.cityofypsilanti.com

**Non-refundable
Planning Fee:**
\$500

Engineering Fee:
\$500 for initial review,
if needed

Date: _____

SITE PLAN REVIEW APPLICATION

Applicant *

Name		
Address		
City	State	Zip
Phone / Fax		E-Mail

*If applicant is not owner of property, a written, notarized statement from the owner authorizing this application must be included.

Property

Name of project
Address
List all parcel identification numbers included in development:
Current use:
Proposed use:
Current Zoning:
Legal description of property (may be attached)

Signature

I hereby attest that the above information is accurate. I am authorized to and grant permission to the City of Ypsilanti staff to be on the subject property for the purposes of preparing staff reports and/or evaluating this application.	
Signature:	Date:
Print Name:	

Site Plan Required Information Checklist

Must be completed by site plan designer and submitted with site plan review application.

The Planning and Development Department reserves the right to reject any incomplete submission.	
Project-identifying information	
	Name of project
	Location map showing major thoroughfares and site location
	Name, address and phone number of the site owner
	Name, address and phone number of the developer
	Name, address and phone number of the plan designer and their professional seal
Existing conditions	
	Scale (minimum of one inch equals 200 feet), north arrow, date of original drawing and any revisions,
	Area of the site in square feet and acres, excluding all existing and proposed rights-of-way.
	Property lines and dimensions, and building setback distances and dimensions of all structures and lot lines within 50 feet of the site. For large parcels boundaries of total land holding should be shown.
	Location of existing and proposed buildings their intended use; the length, width and height of each building; and the square footage of each building. The location and dimensions of any open air uses shall also be provided, such as recreational fields, outdoor cafes, or open air sales areas.
	Location of abutting streets, existing and proposed rights-of-way, service drives, curb cuts, and access easements serving the site, as well as driveways opposite the site and all driveways within 100 feet of the site. The centerline of road rights-of-way shall be shown.
	Existing zoning of the site and all adjacent properties
Proposed conditions	
	Scale (minimum of one inch equals 200 feet), north arrow, date of original drawing and any revisions
	Any changes to site dimensions, and completed <i>Lot Split/Combination Application</i>
	Any changes to zoning, and completed <i>Zoning Map Amendment or Text Amendment Application</i>
	Any variances or special use permits, and any legal nonconforming uses or structures, and any state or federal permits which have been secured or may be necessary.
	Any changes to rights-of-way or easements on the property
	Accessory structures, including fences or walls, outdoor lighting fixtures, outdoor communications devices, flagpoles, storage sheds, transformers, dumpsters or trash removal areas, and signs. Also show the location of all sidewalks or pathways, fire hydrants, existing and proposed utility poles, utility easements, and drainways.
	Building floor plans and architectural wall elevations. The height if all buildings/structures to be indicated.
	Location of all outdoor storage areas for materials and the manner in which they will be screened or covered.
	Parking areas, access drives, showing the method of surfacing, number and size of spaces, aisles, loading areas, and handicapped access ramps.
	Landscape plan in accordance with Article XI, division 5 of the Zoning Ordinance, which indicates type and size of all plant material, including all areas to be sod or seeded for grass. Cross sections of all proposed berms shall be provided. Existing vegetation that is to be retained on the site shall be shown.
	Direction of stormwater drainage, ground elevations of all existing buildings, drives and parking lots, and any unusual surface conditions.
	Indicate all areas of this site that are located within floodplains.
	Location and specifications for any existing or proposed above or below ground storage facilities for any chemicals, salts, flammable materials, or hazardous materials as well as any containment structures or clear zones required.
	If phased construction is to be used, each phase must be noted and each phase must stand on its own.
	Locations of all planned easements for non-motorized pathways in the City of Ypsilanti's Non-Motorized Plan, a 50 to 100 foot conservation and/or access easement along any Huron River frontage and any planned road easement expansions approved by City Council
	Other data which the planning commission, city planner or consulting engineer may deem reasonably necessary for adequate review.

	For proposals in the CN, CN-SF, CN-Mid, C, HC, NC, GC, HHS districts, also provide the following information: 1) <i>Circulation Plan Requirements:</i> For proposed development less than three acres in size, a circulation plan shall be submitted which identifies potential cross-and-joint access to adjacent parcels, the existing block layout. The block shall be defined as lots and/or all contiguous lots shall be considered to be part of a block for this purpose. Pedestrian accommodations and alternative transportation modes shall be reflected in the submitted circulation plan, as required by Section 122-647. The street trees, as required by Section 122-705 will also be required to be applied to existing streets. 2) <i>Block Plan Requirements:</i> When a proposed development is three acres or greater, a block plan shall be submitted. The block plan must show the street layout, proposed parking areas and access drives, showing the number and size of spaces, aisles, loading areas, and handicapped access ramps. The proposed method of surfacing such areas shall be noted. 3) The building type. 4) The building lot configuration. 5) The parking location.
Sketch Plans	
For zoning compliance reviews or site plans approved by the City Planner, the City Planner may allow a sketch plan, defined as a scale drawing based on a legal survey containing less information than a site plan; drawn in compliance with the Ordinance but not required to be prepared by a licensed professional. Sketch plans shall contain the following information:	
	Name of development, scale, north arrow, date of original drawing and any revisions,
	Name, address and phone number of the site owner, developer and/or plan designer,
	The area of the site in square feet or acres.
	Existing zoning of the site and all adjacent properties.
	Location and setbacks of existing and buildings; their intended use; the length, width and height of each building; and the square footage of each building. The location and dimensions of any open air uses shall also be provided, such as recreational fields, outdoor cafes, or open air sales areas.
	Location of abutting streets, existing right-of-way, service drives, curb cuts, and access easements serving the site, as well as driveways opposite the site.
	Parking areas and access drives, showing the number and size of spaces, aisles, loading areas, and handicapped access ramps.
	Landscape plan in accordance with article XI, division 5 of the ordinance, which indicates type and size of all plant material, including all areas to be sod or seeded for grass. Existing vegetation which is to be retained on the site shall be illustrated.
	Location of all proposed and existing accessory structures, including fences or walls, outdoor lighting fixtures, outdoor communication devices, flagpoles, storage sheds, transformers, dumpsters or trash removal areas, and signs. Also show the location of all sidewalks or pathways, fire hydrants, and utility poles.
	Location of all outdoor storage areas for materials and the manner in which materials shall be screened and/or covered.
	Notation of any variances or special use permits which are required, any legal nonconforming uses or structures, and any state or federal permits which have been secured or may be necessary to secure.
	For proposals in the CN, CN-SF, CN-Mid, C, HC, NC, GC, HHS districts, the following information shall be provided: a. <i>Circulation Plan Requirements:</i> For proposed development less than three acres in size, a circulation plan shall be submitted which identifies potential cross-and-joint access to adjacent parcels, the existing block layout. The block shall be defined as lots and/or all contiguous lots shall be considered to be part of a block for this purpose. Pedestrian accommodations and alternative transportation modes shall be reflected in the submitted circulation plan, as required by Section 122-647. The street trees, as required by Section 122-705 will also be required to be applied to existing streets. b. The building type. c. The building lot configuration. d. The parking location.
	Other data which the planning commission, city planner, or consulting engineer may deem reasonably necessary for adequate review.

The City Planner or Planning Commission may require other data deemed necessary for adequate review of a project.

The City Planner or Planning Commission may grant waivers of data requirements when specific data is deemed unnecessary in determining compliance of site plan with the regulations or standards of the Zoning Ordinance.

12 folded copies of the plans are required for review, unless otherwise specified by the Planning Department.

Site designer initials: _____

DRAFT

This Fact Sheet is not a substitute for a close reading of the Zoning Ordinance, which is available on the City's website at cityofypsilanti.com/zoning. It is intended to address general or common questions. For further information, contact the Planning & Development Department at 734-483-9646.

All relevant permit applications are available from the Building Department at City Hall, or on the City's website, www.cityofypsilanti.com/permits. Completed applications and any required fees should be submitted to the Building Department at 734-482-1025.

Some site plans submitted to the Planning Department have to undergo a review by a licensed engineer, in addition to Planning Department review. These projects are:

- those which involve adding impervious surface (buildings, asphalt, etc) where pervious surface (lawn, gravel, etc) used to be;
- those which involve steep slopes, such as by the river;
- those which involve adding a tie-in to a public utility, such as stormwater or sanitary sewer, or a change to an existing tie-in;
- those which include modifications within the right-of-way;
- those involving sites that are within or partially within the floodplain or floodway;
- those which have been determined by the City Planner to be of sufficient complexity to mandate engineering review.

When a project will involve engineering site plan review, the City requires that the developer submit a fee. The fee schedule can be found at cityofypsilanti.com/permits. This fee generally covers two site plan reviews by the City Engineer; depending on the scale and complexity of your project, you may be required to submit additional funds for additional reviews.

Requirements for engineering drawings may vary, but include at a minimum:

- A topography map with at least two USGS NGVD 29 benchmarks must be provided and indicate the existing site conditions, elevations, utilities, rights-of-ways, and property lines.
- The site plan shall clearly show existing and proposed improvements. These improvements may include proposed sidewalk locations, ADA ramps, driveway details, curb locations, and preliminary grades.
- ADA requirements must be met.
- The plans shall note the pavement cross-section for any new paving, including parking lot, public ROW pavement, or sidewalks.
- Storm water runoff collected from the site is required to be detained and treated. All calculations shall meet Washtenaw County Standards. These standards and contact information for the Washtenaw County Water Resources Office can be found at ewashtenaw.org.
- Any proposed storm water collection system should include the proposed invert and rim elevations and its connection to the existing sewer. All proposed storm sewers are required to be concrete material and a minimum of 12" in diameter.

Note that after site plan approval, but before being issued a building permit, the applicant must submit an amount into escrow held by the City for the site work equaling not less than 1% of site construction costs to the City. The escrow will be returned, less fees, upon completion of the site work.



Memo

To: Planning Commission
From: Bonnie Wessler, Acting Planner II
Date: 13 February 2015

Subject: Disposition policy third draft

At the December and January Planning Commission meetings, Commissioners discussed a possible policy for addressing current and future tax-reverted properties within the City. Staff proposes the procedure below. We are requesting that the Planning Commission pass a resolution adopting this policy. Note that this policy will be used for guiding disposition recommendations made by staff to Council; Planning Commission will be involved to the extent required by ordinance.

Process/review policy

Once the City owns the property, the following steps take place.

1. Planning staff review the parcel with respect to the following conditions/context and making recommendation to council based on the following factors (but not limited to them):
 - *Location*: adjacent ownership and potential for related use, ownership and/or adoption. This is only for information at this point in the review.
 - *Zoning*: permitted uses, non-conforming status (use or structure), whether or not the lot is buildable. For example, commercial or multifamily buildable land will be more likely to be sold at market value.
 - *Site considerations*: grade, wetlands, contamination or perceived contamination, etc. Obstacles to construction will be considered when setting a price, projecting a possible use, or in preparing a parcel for sale. For example, a former drycleaning facility would make a poor choice for residential use, and thus staff would not likely make that recommendation.
 - *Planning*: master plan, redevelopment areas in master plan, economic development potential, parks and recreation master plan, relationship to current or future development projects would be considered. For example, if a parcel of accessible vacant

land is in an area underserved by parks, then staff might make a recommendation that it be converted to parkland.

- *Value in the food system.* If the property is in a residential area, has arable land, good access to water and light, and is otherwise vacant, may be given special consideration for use as a community garden.
2. The Planning Department drafts a recommendation, based on the review, to the City Manager for disposition for one of the following options:
 - *Sale.* Where the market could support rehabilitation of the structure or construction of new, list the property with a broker (for residential, commercial/multifamily, or industrial uses), release an RFP to developers (for larger-scale commercial or multifamily uses), and offer the property for sale to neighboring properties/businesses (in all cases).
 - *Donation.* Donation to non-profit housing developers, where infill housing development is desired but the market cannot support it.
 - *Lease (vacant land only).* The City could offer the land, where recommendation is for future redevelopment and perhaps while the property is on the market, to those interested in hosting an interim use. The City Attorney's office should develop template for interim use/care lease, with automatic renewal, but a 90 day "out" clause. One dollar per year leases can be considered for community uses, such as gardens or "art parks".

In the three previous cases, once the determination to sell, donate, or lease the property, notify the neighborhood via a postcard, with a brief description of the planned procedure and contact info for more information. The neighborhood would be notified in the same manner as other zoning notifications under §122-164(a).

- *Maintain.* Continue to maintain the property in cases where there may be no interest in donation, lease, or in cases of contamination or perceived contamination. This is likely to be rare.
 - *Non-acceptance (for properties not yet owned by the City).* Not accept properties, in cases of contamination or perceived contamination. The property would then revert to the county, or could be offered to the State Land Bank. (Staff is researching the actual feasibility of this option.)
3. The City Manager brings the recommendation and a presentation to City Council for appropriate action.
 4. City Council makes the decision, on a per property basis, to sell, donate, or lease the land, per established procedures.



13 February 2015

2014 Annual Report Planning Commission Ypsilanti, Michigan

INTRODUCTION

The Planning Commission of the City of Ypsilanti is governed by the Michigan Planning Enabling Act, State of Michigan Public Act 33 of 2008, and by the City of Ypsilanti's Zoning Ordinance.

In 2014, the Planning Commission's membership was as follows:

Roderick Johnson (chair)
Richard Murphy (vice-chair)
Anthony Bedogne
Mark Bullard (term ended June)
Gary Clark (term ended April)
Phil Holifield

Heidi Jugenitz
Brett Lenart (term ended April)
Nicki Sandberg (term began May)
Scott Straley (term began June)
Cheryl Zuellig

Under the Planning Enabling Act, the Commission must provide an annual report to City Council, as the legislative body of the City. This report discusses,

1. The operations of the Commission during the past year
2. The status of any on-going planning activities
3. Recommendations to the legislative body related to planning and development

PLANNING COMMISSION OPERATIONS

The Planning Commission held regular monthly meetings during 2104, except for the month of July, and hosted two joint meetings with City Council to discuss the draft zoning ordinance. From the perspective of formal applications, the Commission's agenda maintained an average load compared to previous years. The Commission considered 24 actions, including 11 site plans, 5 special use permits, and 2 Planned Unit Developments (PUD).

The Commission also undertook an overhaul of the City's zoning code, implementing one step of the Master Plan adopted in 2013.

- Regular business included....
- Reimagine Washtenaw – The right-of-way study for the corridor is near completion and will come before the Planning Commission for approval during the spring of 2014. The Traffic Demand Management analysis including Eastern Michigan University and other major employers has been completed, and the county is has convened a workgroup with institutional stakeholders to look at implementation steps.
- Three committees were active during the past year
 - o The Non-Motorized Committee met monthly and has representation from the DDA and Recreation Commission in addition to Planning Commission although attendance is very up

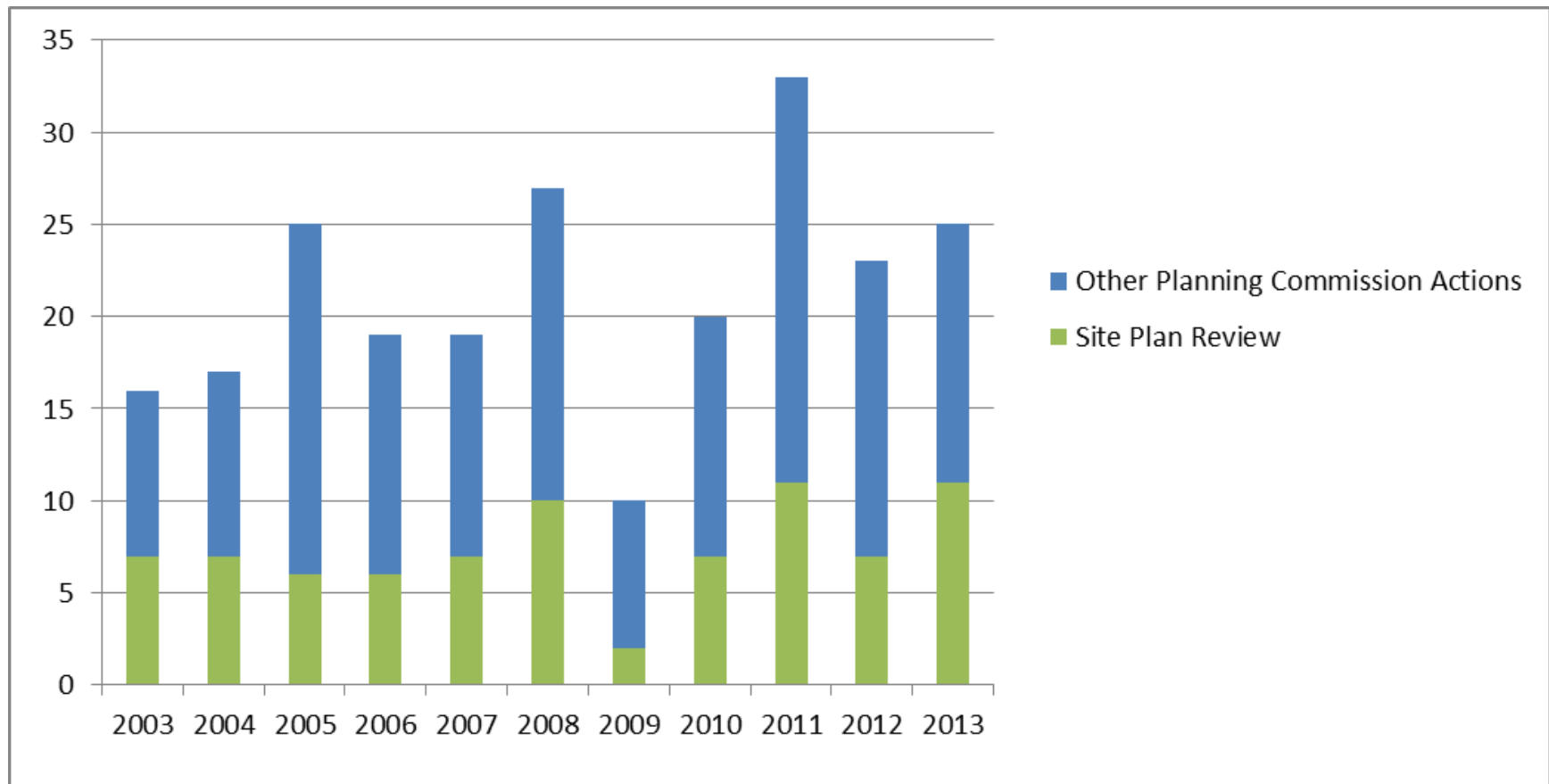
and down. The Committee will be submitting their annual report is included in February 2014 Planning Commission packet.

- o The Annual Report committee began work to incorporate the goals and objectives of the Shape Ypsi master plan into the annual report. As much of this effort requires baseline data, they are committed to work on that data and a form for the annual report. The baseline data (2013) would be completed by June and a new format by the end of the calendar year if not sooner.
- o The Capital Improvements Plan Committee
- o

Figure 1: Planning Commission applications by type

Planning Commission Applications	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012	2013
Site plan review	7	7	6	6	7	10	2	7	11	7	11
Amend approved site plan	0	0	0	0	4	1	1	1	2	1	0
Special use permit	3	3	6	3	3	6	1	1	7	2	5
Zoning map amendment	2	1	4	5	2	5	2	3	2	3	1
Zoning text amendment	2	1	3	1	2	2	3	6	6	2	0
Master plan amendment (full revision in 2013)	0	2	3	2	0	2	0	1	0	0	1
Planned unit development	2	0	1	0	0	0	0	0	1	2	2
Amend approved PUD	0	1	0	0	0	1	0	0	0	0	0
Alley/Street closure/vacation	0	1	2	2	0	0	1	0	2	1	1
Change in non-conforming use	0	1	0	0	0	0	0	0	0	0	0
Allow add'l floor area in B1	0	0	0	0	1	0	0	0	0	0	0
Historic Overlay discretionary zoning (tally starts 2010)								1	0	0	0
Capital Improvements Review (tally starts in 2011)									2	1	1
Special topic planning (tally starts in 2012)										1	2
Study item (tally starts in 2012)										4	0
Conditional rezoning (tally starts in 2012)										1	0
Total Applications	16	17	25	19	19	27	10	20	33	25	24

Figure 2: Planning Commission actions by year



ONGOING PLANNING ACTIVITIES

As of the end of 2014, a few specific planning activities remain in-progress.

- WATS has convened a steering committee to work on an updated concept for a Huron/Whittaker pedestrian crossing of I-94. Funded by the HUD Community Challenge grant, this work should result in engineered plans and implementation steps by the summer/fall of 2014.
IMPLEMENTATION PROCESS
- The zoning ordinance revision is currently underway and revised draft is expected in spring/summer of 2014. Additional education sessions and public forums will be planned in conjunction with the draft release. ZONING ORDINANCE IMPLEMENTATION AND UPDATES PLANNED FOR JUNE, DECEMBER
- The property disposition strategy remains in a draft form and will likely be revised for Planning Commission in 2015.
- Redevelopment ready

Master plan implementation

Select and prioritize items from the MP here?

COMMISSION RECOMMENDATIONS

The Commission urges that the importance of these and similar projects to Ypsilanti's future not be overlooked.

- The Planning Commission requests ongoing support for the recommendations related to the Redevelopment Ready Recertification.
- Ongoing projects such as Water Street redevelopment remain priorities that require staff time and may require further support through contractual and other expert partners to maintain efficacy due to increased activity on the site and elsewhere in the city.

ACTION

The Planning Commission adopted this report at its **March?** meeting and approved transmittal to City Council.