

1. Agenda

Documents: [2015-06_AGENDA .PDF](#)

2. Packet

Documents: [2015-06_PACKET .PDF](#)

Agenda
Planning Commission
Council Chambers
Wednesday, June 17, 2015 – 7:00 P.M.

I. Call to Order

II. Roll Call

Roderick Johnson, Chair	P	A
Cheryl Zuellig, Vice Chair	P	A
Anthony Bedogne	P	A
Phil Hollifield	P	A
Heidi Jugenitz	P	A
Nicki Sandberg	P	A
Scott Straley	P	A

III. Approval of Minutes

- May 20th , 2015

IV. Audience Participation

Open for general public comment to Planning Commission on items for which a public hearing is not scheduled.

V. Presentations and Public Hearing Items

- Student Presentation (Tony Bedogne)
- Adaptive Reuse Planned Unit Development: 908 Congress | Little Bird Café
- Designation of Special Nonconforming Status (Nonconforming A): Strong Housing Properties
 - o 729 Maus
 - o 723 Maus
 - o 614 & 610 First
 - o 881 & 885 Madison
 - o 951 & 955 Madison
 - o 1004, 1008, 1012, & 1016 Monroe
- Special Use Permit: 311 S Grove | Complete Auto Sales & Service

VI. New Business

- Elections

VII. Old Business

- Special Use Permit Revocation: 50 Ecorse, used car sales

VIII. Future Business Discussion / Updates

IX. Committee Reports

- Non-motorized Committee

X. Adjournment

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**PLANNING COMMISSION
MEETING MINUTES
May 20, 2015
CITY COUNCIL CHAMBER
7:00 P.M.**

I. CALL TO ORDER

The meeting was called to order at 7:00 p.m.

II. ROLL CALL

Present: R. Johnson, C. Zuellig, H. Jugenitz, P. Hollifield, S. Straley,
N. Sandberg,

Absent: A. Bedogne (excused) P. Hollifield (excused)

Staff: Bonnie Wessler, City Planner
Nan Schuette, Executive Secretary

III. APPROVAL OF MINUTES

Commissioner Jugenitz moved to approve the minutes of April 15, 2015 as read (Support: C. Zuellig) and the motion carried unanimously.

IV. AUDIENCE PARTICIPATION

None

V. PRESENTATIONS AND PUBLIC HEARING ITEMS

1. 130 N. Normal

The applicant owns a 2995 sq. foot home that is three stories and most recently certified for a three-unit rental. The site provides parking for up to nine vehicles in a gravel lot. The current occupants of all three units belong to the same sorority and wish to occupy the residence as one group residence for up to nine people, not three separate apartments. The sorority has been in residence for several years. Group residences are allowed as a special use in the CN district, in accordance with the specific standards of Sec. 122-804.

Ms. Wessler, City Planner, presented the staff report stating that the application is another sketch plan special use review. The applicant provided a mortgage survey from 1981 as the basis for the sketch plan which provided most of the required information on the number of bedrooms, etc. We requested more information from the applicant. Mr. Milkey (owner) stated that he will not be changing the interior and it will be as provided in the plan. Staff is recommending that Planning Commission approve the special use permit and approve the sketch plan but more information is required on the parking area and that it be brought into compliance with the current zoning, which requires that it be surfaced and have barrier-free access.

Chairman Johnson confirmed that it is currently three apartments being converted into 9 rooms. He also asked if there any issues with landscaping, which Ms. Wessler responded in the negative.

Commissioner Zuellig moved to open the public portion of the hearing (Support: H. Jugenitz) and the motion carried unanimously.

Doug Milkey, owner of 130 N. Normal, stated that the two car garage will be taken down and use the slab for parking. He added that he does not have a resident manager but he has listed emergency contacts for both the Building and Fire Departments for any issues that may arise. A staff member visits Monday of each week. He has worked on the parking lot and will keep it gravel. They are good neighbors and work with the Building Department getting their c/o every two years. They have good lighting, and have ingress/egress on each floor and fire escape.

Chairman Johnson asked about signage which Ms. Wessler addressed stating that a permit will be required for the "Sorority" sign. The other signage is a rental information sign provided by the landlord stating that no other signage can be put up without landlord approval.

Mr. Milkey added that all the electrical have been upgraded. He also explained the layout for the third floor.

Commissioner Jugenitz moved to close the public portion of the hearing (Support: N. Sandberg) and the motion carried unanimously.

Commissioner Zuellig moved that the Planning Commission approve the Special Use Permit for 130 N. Normal with the following findings and conditions:

Findings: The application is substantially in compliance with Sec. 122-165(b)

Conditions: Special Use approval shall be subject to approval of sketch plan.

The motion was supported by Commissioner Jugenitz. A roll call vote was taken and carried unanimously.

Commissioner Jugenitz moved that the Planning Commission approve the Site Plan for 130 N. Normal Street with the following findings and conditions:

Findings:

1. The application substantially complies with Sec 122-127.

Conditions:

1. There is a two car garage shown on the sketch plan; as the sketch plan provided is a mortgage survey from 1981 and the garage no longer exists, applicant should provide an updated, dimensioned sketch plan.
2. Any signage proposed on site must first obtain a sign permit.
3. Applicant to submit floor plan (sketch acceptable) of current interior layout indicating number and size of sleeping rooms. Should any renovations be proposed, building permits must be pulled and all applicable building and fire codes be followed.
4. Applicant must submit resident manager information once determined; provide at rental inspections and upon request by the City.
5. Applicant to pave parking lot in accordance with adopted engineering, zoning, and building standards, including barrier-free (s) and bicycle parking spaces as well as appropriate storm water treatment. Applicant must provide plan for City review.

The motion was supported by Commissioner Straley. A roll call vote was taken and carried unanimously.

VI. NEW BUSINESS

Ms. Wessler stated that we are currently short three members on the Planning Commission and asked the board members if they knew of anyone who may be interested to let her know. There was also some discussion on considering a student member from EMU who was a resident to be a board member. Commissioner Jugenitz moved to have staff investigate this further and report back (Support: C. Zuellig) and the motion carried unanimously.

VII. OLD BUSINESS

1. Annual Report –

Commissioner Zuellig moved to approve the 2104 Annual Report (Support: H. Jugenitz) and the motion carried unanimously.

VIII. FUTURE BUSINESS DISCUSSION/UPDATES

908 Congress – Little Bird Café
311 S. Grove – Special Use
Non-conforming – Ypsilanti Housing

IX. COMMITTEE REPORTS

Non-Motorized Committee – no reports

X. ADJOURNMENT

Since there was no further business, Commissioner Zuellig moved to adjourn the meeting (Support: S. Straley). The meeting adjourned at 8:13 p.m.

DRAFT



City of Ypsilanti
Community & Economic Development Department

28 April 2015

**Staff Review of Planned Unit Development (PUD)
The Little Bird Cafe
908 Congress**

GENERAL INFORMATION

Applicant: Beth Kwiatkowski
4240 Willis Rd
Milan MI, 48160

Project: The Little Bird Cafe

Application Date: 23 April 2015

Location: 908 N. Congress Rd.

Zoning: CN- Mid

Action Requested: Adaptive Re-use Planned Unit Development approval

Staff Recommendation: Approval with conditions

PROJECT AND SITE DESCRIPTION

The applicant is proposing to open a café at 908 Congress Rd. It will inhabit an existing single story commercial brick building near the intersection of Congress and Summit Street. The current building is a primary brick shell of 1200ft² and two wood frames and vinyl clad additions totaling 433ft².

Figure 1: Subject Site Location & Zoning

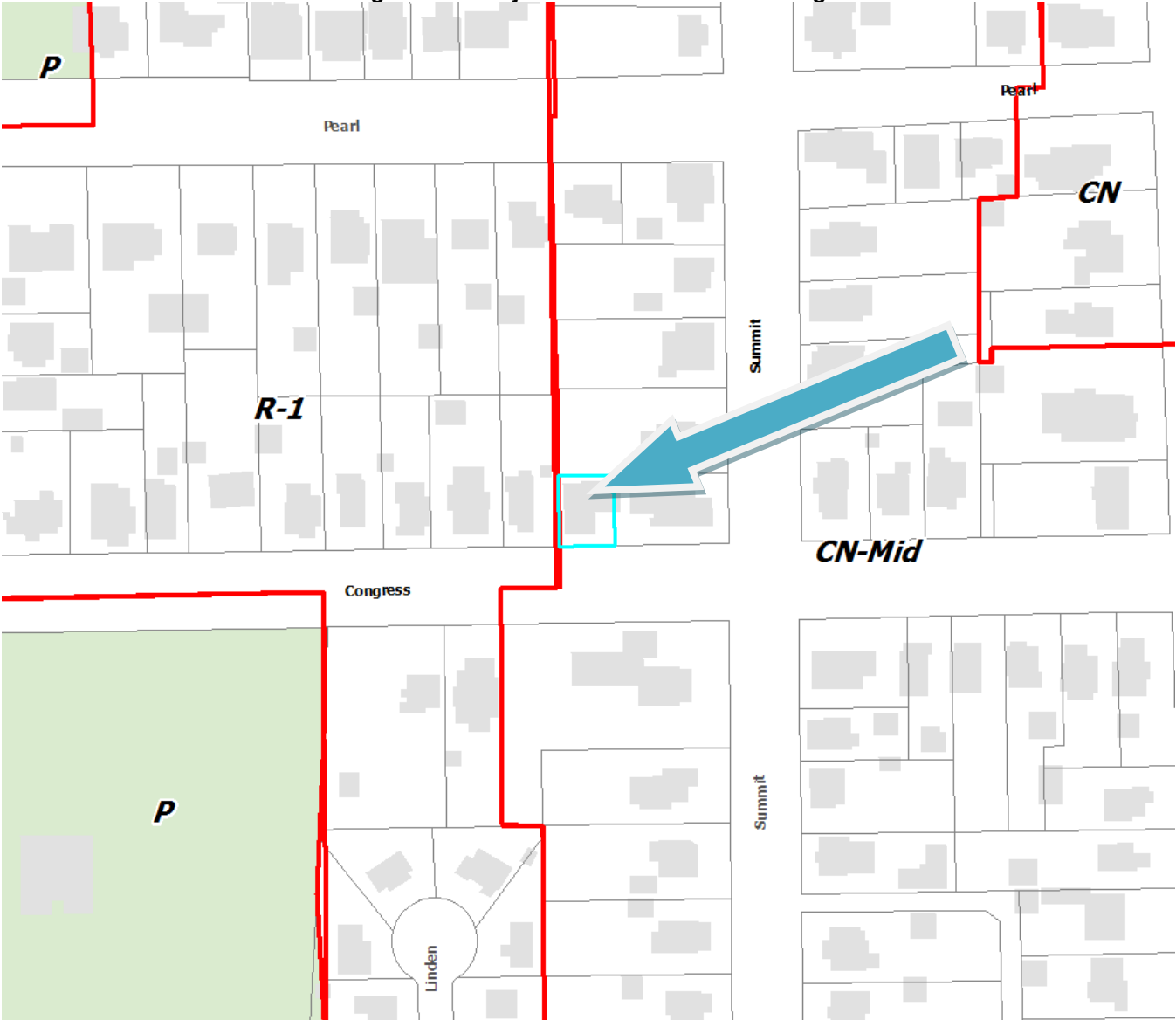


Figure 2:

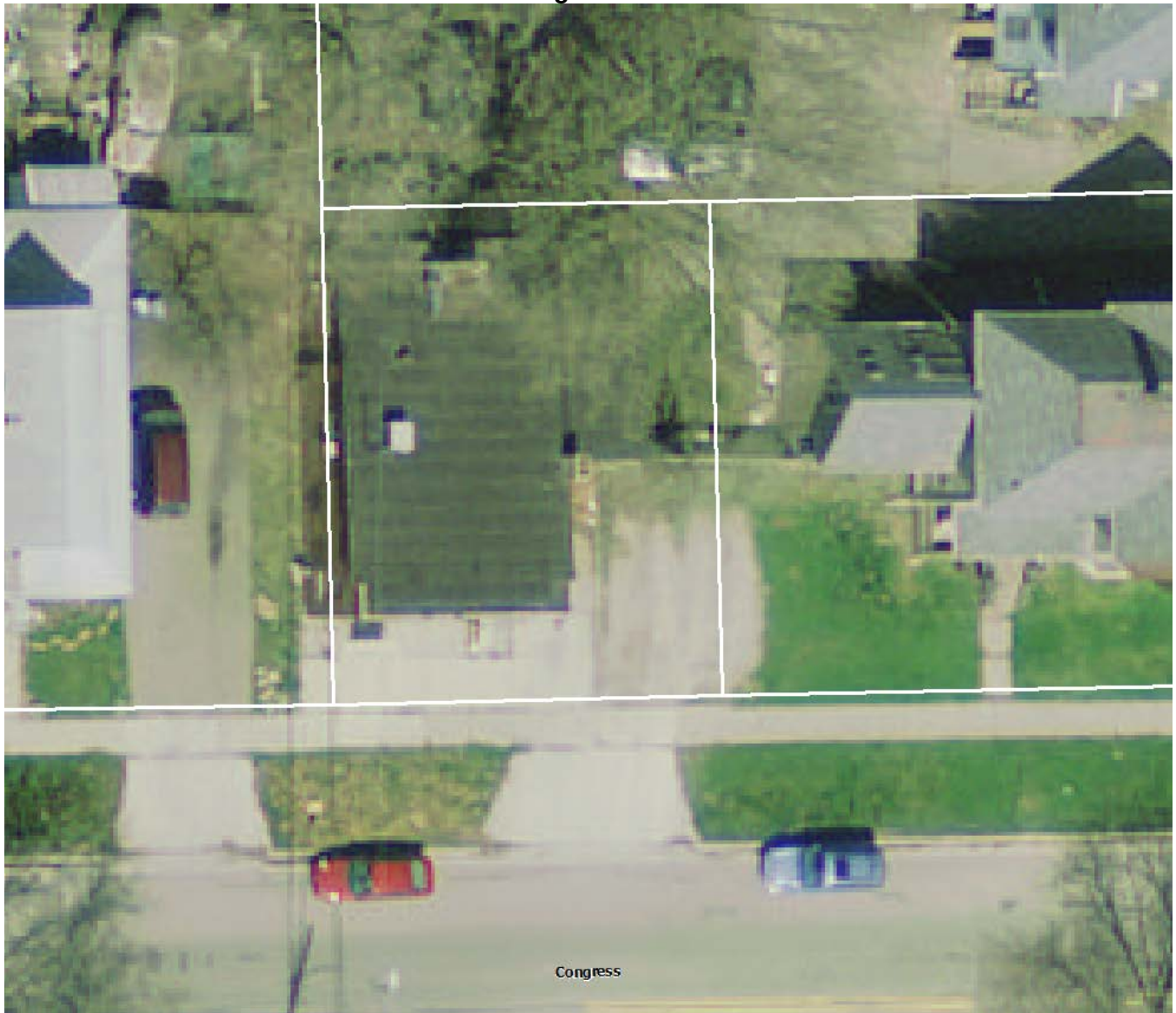


Figure 3: Land Use and Zoning of Surrounding Area

	LAND USE	ZONING
NORTH	Residential (2 unit)	Core Neighborhood Mid
EAST	Residential (4 unit)	Core Neighborhood Mid
SOUTH	Residential (single family)	Core Neighborhood Mid
WEST	Residential (single family)	Single Family Residential

PUD: REQUIREMENTS

§122-573

- (1) **Unified Control.** *The proposed development shall be under single ownership or control such that there is a single person or entity having responsibility for completing the project in conformity with this Ordinance.*

COMMENTS: The applicant is property owner and business owner.

- (2) **Minimum Size.** *The minimum size of a Planned Unit Development shall be forty-three thousand, five hundred sixty (43,560) square feet (one acre) of contiguous land or 21,870 sf (1/2 half acre) if the proposal involves the preservation and/or adaptive reuse of a historically significant structure. The historical significance shall be determined by the city historic district commission.*

COMMENTS: This property is an eligible adaptive reuse planned unit development under §122-574.

- (3) **Applicable Base Regulations.** *Unless waived or modified in accordance with the procedures and standards set forth in this Article, the yard, bulk, parking, loading, landscaping, lighting, general provisions, and all other standards set forth in the Zoning Ordinances for the uses listed below shall be applicable for uses proposed as part of a Planned Unit Development:*

b. *Commercial and office uses must comply with the regulations applicable in the C – Center district.*

e. *To encourage flexibility and creativity in development consistent with the planned Development concept, departures from compliance with the base regulations may be granted by the City Council, upon recommendation of the Planning Commission, as a part of the approval of the Planned Development. For example, such departures may include modifications of lot dimensional standards, setback requirements, density standards, parking and landscaping requirements, and similar requirements. Such departures may be approved only on the condition that they will result in a higher quality of development than would be possible using conventional zoning standards.*

COMMENTS: As a commercial use, this development uses Center district regulations as its base. However, as an existing nonconforming single-story building (not permitted in the C district) on a very small lot (60' deep, 50' wide), dimensional requirements cannot be met. It will be reviewed as a lawful nonconforming building type.

- (4) **Street Access.** *Each lot, main building, and principal use within a Planned Development district shall have vehicular access to a public street. Adequate provision shall be made for dedications of land for streets and essential services.*

COMMENTS: Existing layout will not change. The building is oriented towards the street. A public sidewalk exists.

- (5) **Usable Open Space.** *The proposed development shall contain at least as much open space as would otherwise be required by the existing underlying zoning.*

COMMENTS: This is met.

(6) **Landscaping and Maintenance of Common Areas.** *All required yards and common areas shall be landscaped and adequately and permanently maintained by the property owner, tenant, or organization responsible for maintaining common areas. Through an irrevocable conveyance, such as deed restrictions or covenants that run with the land, the developer shall assure that all yards and common areas will be developed in accordance to the site plan and not changed to another use.*

COMMENTS: There are no common areas; this is a one-tenant project. The owner will be responsible for all maintenance.

(7) **Additional Considerations.** *During review of a proposed planned development, the Planning Commission shall take into account the following considerations which may be relevant to a particular project:*

- *perimeter setbacks and screening;*
- *thoroughfares, drainage, as provided for in best management practices as appropriate, and utility design;*
- *underground installation of utilities;*
- *insulating pedestrian circulation from vehicular thoroughfares and ways;*
- *achievement of an integrated development with respect to signage, lighting, landscaping and building materials;*
- *and noise reduction mechanisms, particularly in cases where non-residential uses adjoin off-site residentially-zoned property.*

COMMENTS: The site plan aims to integrate the site into the character of the neighborhood. The plans to add windows, landscaping, and a rolling door will add transparency and accessibility to the site. The proposed fencing on the east side of the building provide a strong boundary with the residential area; the outdoor café may serve as a community gathering space. The herb garden proposed to the front, presumably seasonal as is the outdoor café, softens the existing hardscape. No new utilities or impervious surfaces are proposed. All food preparation will take place in a fully-enclosed building. Lighting as shown is down-directed.

SITE PLAN: CRITERIA AND REVIEW

§122-128

Section 122-571 provides review procedures for Planned Unit Development applications:

- 1) Pre-application conference
- 2) Formal PUD Application
- 3) *Planning Commission review, public hearing, and recommendation (we are here)*
- 4) City Council Action

STANDING

§122-128(1)

The applicant is legally eligible to apply for site plan review, and all required information has been provided.

REQUIREMENTS**§122-128(2)**

"The proposed site plan conforms with all the provisions and requirements, as well as the spirit and intent of this chapter and the Master Plan. The proposed development will meet all the regulations of the zoning district in which it is located."

"[Centers] are mixed-use areas with historic buildings. These are the places where people shop, go to school, live, come to work, visit, drop by City Hall, eat, gather and have fun. They host events that bring thousands of visitors each year and bring the City together as a community. The intent of the zoning district is preserve the urban form, walkable nature and vibrant mix of uses in these areas."

Figure 4: Requirements

ORDINANCE REFERENCE		REQUIRED		EXISTING CONDITIONS	PROPOSED
C: §122-274	BUILDING TYPE	Determined by lot size and building type limitations		Single story commercial (nonconforming building type)	unchanged
LOT REQUIREMENTS					
Width ft		Min 50	Max 300	43'-2"	43'-2"
Depth ft		Min 100	Max 300	66'	66'
Area sf		Min 7,500	Max 90,000	2,852sf	2,852sf
Coverage %		Min -	Max 60%	77%	72 %
BUILDING ENVELOPE AND HEIGHT					
Street setback ft		Min 5	Max 15	10'	10'
Side setback ft		Min 0	Max -	6'	6'
Rear setback ft		Min 25'	Max -	0'	8'
Frontage buildout %		Min 50	Max 100	60	60
Height stories		Min 1	Max 1	1	1
PARKING PROVISIONS		Location: Side and rear yards		Side yard	No onsite parking

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
PRIVATE FRONTAGES	Commercial • Max distance between openings: 2' • Door recess: Max 5' • Ground floor transparency: min 60% • Height to bottom of window: max 2.5'	Commercial	Commercial
§122-861 et seq SIGNAGE	Master sign plan: HC, NC, GC, C, PMD, P; nonres uses in R1, CN-SF, CN-Mid, CN, MD	None	Sign permit required.
Area maximum	By sign type	None	

Please note that as applicant is bettering the nonconformities vis a vis the rear setback and lot coverage. No parking is being provided onsite, thus its location (at this phase) is moot.

Items to be Addressed: None.

BUILDING LOCATION AND SITE ARRANGEMENT

§122-128(3)

"All elements of the site plan shall be harmoniously and efficiently organized in relation to the character of the proposed use, the size and type of lot, the size and type of buildings, and the character of the adjoining property. The site shall be so developed as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter."

The building and its additions currently take up the vast majority of the lot; a small portion is hardscaped to the south, between the building and the street. An outdoor café is proposed to the east of the building, in the current driveway/parking area, near the building's entrance. Trash receptacles to the rear of the building, in the footprint of the addition proposed to be demolished, appear as though they will have to be maneuvered through the building for pickup, but still are located in the most optimal location.

Items to be Addressed: None.

SITE ACCESS, TRAFFIC, AND PARKING**§122-128(4)**

"With respect to vehicular and pedestrian circulation on the site, including walkways, interior drives, and parking; circulation shall to the extent possible create potential cross-and joint-access to adjacent parcels and the existing block layout. Special attention shall be given to the location, number and spacing of ingress and egress points; general interior circulation including turnaround areas; adequate provisions for delivery of services (trash removal, school buses, mail and parcel delivery); separation of pedestrian and vehicular traffic; avoidance of building corners next to access drives; identification of addresses; storage of plowed snow; and arrangement of parking areas that are safe and convenient, and insofar as practicable, do not detract from the design of the proposed buildings and structures, neighboring properties, pedestrian and bicyclist safety, access to transit and flow of traffic on adjacent streets. All buildings or groups of buildings shall be so arranged as to permit adequate access by emergency vehicles as required by the city building code."

Figure 5: Vehicle Circulation Standards

ORDINANCE REFERENCE		REQUIRED	EXISTING CONDITIONS	PROPOSED
C: §122-273	CIRCULATION STANDARDS	CN, C, HC, NC, GC, HHS: Sites < 3 acres: circulation plan to ID potential cross and joint access to adjacent parcels	Parcel has its own vehicular access drive.	Access drive to be unused when seasonal outdoor café is in place. Primary access will be nonmotorized.
		Easements: nonmotorized plan, ReImagine Washtenaw, other	n/a	n/a
§122-834	PARKING Dimensions	• 9'x18' minimum, exceptions if adjacent to wall or overhang provided • May have 20% small car (8'x16', signed) • May have 10% motorcycle (5x8', signed)	Concrete drive could fit one vehicle.	No on-site parking, only public street parking.
§122-835	Access	5' walkway from parking lot to parks, commercial, transit, walkways, institutions; raised/marked crosswalks within parking lot	Frontage is all concrete	6' wide path from sidewalk to door. More detail on paving materials required; demonstrate barrier-free compliance.
	Ingress & Egress	• Aligned across ROW, or offset by 25' • >50' from intersection • 20'-30' driveway	30' driveway	Disused curb cut. No motorized vehicle access.

	Internal Maneuvering	10' minimum drive 90°: 22' maneuvering lane Total w 1 tier: 42' Total w 2 tiers: 62'	n/a	n/a
	Surfacing	Durable bonded material or acceptable alternative	Concrete	n/a
	Drainage	Graded and drained to public storm sewers Alt. BMPs considered	No detail.	n/a.
	Striping	Required	n/a	n/a
	Wheel Stops	Required (curbing acceptable); 6" high at sidewalks	n/a	n/a
	Screening & Landscaping (internal)	1 tree per 8 spaces = $72/8 = 9$	No parking lot, n/a	n/a
		1 landscape island for each continuous 16 spaces	n/a	n/a
		Islands w trees: 9' wide min and 160' sf Islands w 5' min walkway: 11' wide min Islands: curbed or used for stormwater	n/a	n/a
		All aisle-ends & corners protected w curbed island	n/a	n/a
		3' between curb and planting (5' if vehicle overhang)	...n/a – easement?	n/a
	Screening & Landscaping (perimeter)	Screened in accordance with 703 if abutting R1, MD, CN, CN-Mid, CN-SF	No fence or screen	n/a
		3'-4' screen 80% opacity where visible from ROW	None	n/a
		Landscaped areas, walls, structures, walks- must be protected by curbing	Existing curb on east edge of drive, none elsewhere	n/a.
§122-836	Motor spaces	1 per 100 sq ft usable floor area (800 = 8) OR 1 per 3 persons allowed per building code.	1 parking space in drive	None provided. Request exception from motor vehicle parking.

	Bicycle spaces	1 per 5 motor spaces, minimum of 2	None	None proposed. Applicant to provide at least 2 bicycle parking spaces.
§122-837	Parking discounts	Transit <i>20% if w/in 300' of commuter rail or 100' of transit stop</i>	None	Within 100' of bus stop
		Alternative Vehicles <i>1 car –sharing spot = 4 spaces 1 carpooling/vanpooling = 2 spaces-</i>	None	None
		Bicycle <i>4 covered bike spaces = 1 space; free employee showers = 4 spaces</i>	None	None
		PC discretion, special circumstances not listed above	None	Walkable neighborhood use.
§122-647	SIDEWALKS	provide a sidewalk or shared-use path	Existing sidewalk	Existing sidewalk
§122-649	TRAFFIC VISIBILITY	Maintain shrubs/other obstructions lower than 30" and trees/other obstructions higher than 8': At driveway: within a 10'x10' triangle formed by the street ROW line and the edge of the driveway At intersection: within a 25' x 25' triangle formed by an extension of the property lines, as measured from the pavement edges.	n/a	n/a

Items to be Addressed:

- (1) Applicant to provide more information about new paving materials at front of building. Ensure barrier-free compliance.
- (2) Exception requested from parking requirements; change of use on first floor in "center" (base) district.
- (3) Applicant to provide at least two bicycle parking spaces. Consider covered bicycle parking.

ENGINEERING & STORMWATER**§122-128(6), §122-128(7)**

"Adequate services and utilities including sanitary sewers shall be available or provided, with sufficient capacity to properly serve the development. Appropriate measures will be taken to ensure that site drainage will not adversely affect adjoining properties or the capacity of the public storm drainage system, or nearby bodies of water. Provisions shall be made to accommodate stormwater and prevent soil erosion. All stormwater management facilities, including but not limited to storm sewers and detention/retention facilities, shall be designed in accordance with the "Rules of the Washtenaw County Water Resources Commissioner," together with any special provisions established by the city.

Natural resources will be protected to the maximum feasible extent. The proposed development will not cause soil erosion or sedimentation problems, and will respect floodways or floodplains on or in the vicinity of the subject property."

No new impervious surfaces are being added, nor new utilities.

Items to be Addressed: None. Suggest adding rain barrel(s) for herb/planter watering.

SCREENING**§122-128(8)**

"The site plan shall provide reasonable visual and sound privacy for all dwelling units on or adjacent to the property. Fences, walks, barriers, and landscaping shall be used, as appropriate, for protection and enhancement of the property. All outdoor storage of materials, loading and unloading areas, and refuse containers shall be screened or located so as not to be a nuisance. Outdoor lighting shall be shielded so as to not adversely affect neighboring properties or traffic on adjacent streets."

Figure 5: Screening

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
§122-641 Lighting	• Dark Sky compliant; may be full cutoff where affecting residential uses • not >0.5 fc @ lot line • not >16' tall when abutting R1, CN-Mid, CN-SF or abutting one- or two-family homes. otherwise, NTE 30' or the height of the building, whichever less. • not < 0.3 fc at parking/loading areas or building entrances.	None operable.	Six fixtures attached to building, approx. 12' tall. Provide cut sheets/specs on lights to ensure compliance. Light shown, but no detail for service door at rear. Show detail.
§122-650 Refuse Containers	masonry enclosure 1' taller than dumpster (no less than 6'), in rear yard, 80% opaque swing door, on a concrete pad	None	Screen refuse location.
§122-703 Screening Between Land Uses if conflicting use	visual buffer of at least 80% opacity and 6' height	Opaque walls at rear and sides.	Waiver requested for screening, due to opacity of existing walls.

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
§122-704 Street Trees & §122-711(e)	1 tree per 30' of lineal frontage:	None	One tree required.
	Centered between sidewalk and back of curb	n/a	
	If part of Urban Forestry Plan, must conform	n/a	Vacancy identified ("vacant site, small") in street tree inventory.
§122-707 Foundation Landscaping <i>Required in MD, PMD zoning districts and with (Large Footprint) Single Story Commercial Buildings on front or sides of buildings facing public ROW, parking, or other access</i>	6 shrubs per 30 lineal feet of applicable building frontage in 6' wide planting area	None	Herb planters proposed at west side of building entrance, between building and street; herb planters also proposed on fence between seating area and street / neighbors to east. Waiver requested.
§122-708 Site Landscaping	10%	None	Existing nonconforming.
§122-710 Exterior Electrical	Screen when visible from any primary visual exposure area	n/a	n/a
§122-712 Maintenance	Readily available and acceptable water supply; may install underground sprinkler system	Unknown.	Recommend installation of rain barrel(s)

Items to be Addressed:

- (1) Applicant to provide more information on all exterior lighting.
- (2) Applicant to screen rear refuse collection area.
- (3) Waiver requested for conflicting land use screening due to opacity of building at rear and sides.
- (4) Applicant to plant a street tree. No-cost permit from the Department of Public Services required.
- (5) Waiver requested to allow seasonal herb planters in lieu of foundation landscaping.

MASTER PLAN CONSIDERATIONS

§122-128(11)

"An objective of site plan review shall be to protect and promote public health, safety, sustainability and general welfare. It is also the intent of site plan review to improve the quality of existing developments as they are expanded, contracted, or redeveloped in keeping with sound site development standards of this chapter and city master plan."

This location is at the intersection of the "core neighborhood" area and the "outlying neighborhood" area, on the "core neighborhood" side. The core neighborhoods generally accommodate a mix of uses, due to their dense, walkable character. Due to this location within sight and an easy walk of the park, and within the older, walkable, core neighborhood, a café or small food store could be a local asset in keeping with the character of the neighborhood.

RECOMMENDATIONS

Staff recommends the Planning Commission recommend to City Council **approval** of the Planned Unit Development Plan and rezoning to Planned Unit Development for Little Bird Cafe at 908 North Congress Street with the following findings, exceptions, waivers, and conditions:

Findings:

The conditions of §122-573 and 122-128(1) are met.

Exceptions:

1. *Exception from parking requirements due to Planned Unit Development enabling review as a change of use on first floor in "center" (base) district and the overall walkability of the area.*

Waivers:

1. *For conflicting land use screening required under §122-703, due to opacity of building at rear and sides, under §122-714(1).*
2. *For foundation landscaping required by §122-707, with the finding that seasonal herb planters will provide the public benefit intended to be secured by the requirement.*

Conditions:

The following items must be addressed and reviewed administratively by staff before review by City Council:

1. *Applicant to provide more information on all exterior lighting to determine compliance.*
2. *Applicant to screen rear refuse collection area.*
3. *Applicant to plant a street tree. No-cost permit from the Department of Public Services required.*
4. *Applicant to provide more information about new paving materials at front of building. Ensure barrier-free compliance.*
5. *Applicant to provide at least two bicycle parking spaces. Consider covered bicycle parking.*

Bonnie Wessler
City Planner, Community & Economic Development Department

Cc: File
Applicant (Beth Kwiatkowski)
Architect (Neal Robinson)

Project Name: The Little Bird Café
Project Location: 908 North Congress Street, Ypsilanti, MI 48197
Project Owner: Beth Kwiatkowski_ 4340 Willis Road, Milan MI 48160
Date: 04/22/2015

General Project Description + Zoning Variance Request

The proposed Little Bird Café will inhabit an existing single story commercial brick building near the intersection of Congress and Cross streets in Ypsilanti Michigan.

The current zoning of the existing building is CN-MID.

Current Zoning does not permit carry out and/or delivery restaurants nor does it permit cafes or coffee shops. (section 122-272) However, we believe the nature and scale of Little Bird Café fits squarely inside the neighborhood goals of the CN-Mid zoning and as a result are seeking a special use variance for this property.

Sect. 122-271 (a) (2) CN-Mid Core Neighborhood Mid.

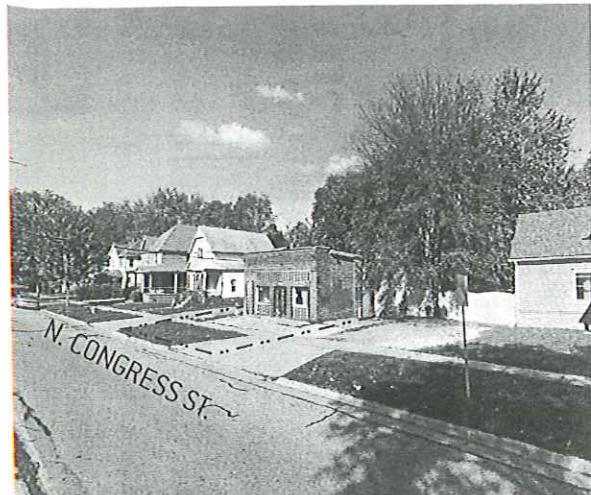
"These neighborhoods generally about the Core Neighborhoods, and offer a less dense and less intense residential area with opportunities for accessibly-placed low-intensity walkable, neighborhood businesses. Housing types range from mansions to cottages, with multiple-family and single-family uses. This zoning may also be used as a transition zone between single-family districts and mixed use districts."

To explain our logic: The vision for Little Bird Café is that of a small neighborhood-gathering place with limited hours, great coffee and gracious camaraderie. Given the precedent use of the building as a Party Store, we view The Little Bird Café as break from and an improvement in spirit on that history. The Café will have a landscaped outdoor garden amenity and outdoor seating in the warmer months that invites a pedestrian destination. No additional parking spots are required and the footprint of the existing building is proposed to be slightly reduced, not increased, in size. We'd like to literally open up the building towards the intersection of Congress and Cross Streets to become literally more transparent to the community and with a more approachable and inviting materiality.

The current building has a primary brick shell of 1200sf and two wood frame and vinyl clad additions totaling 433sf. The Little Bird Café proposes to remove the rear addition (153sf) as it is in a state of disrepair, un-insulated and structurally weak. The existing (but separate) floor slab in this location will be kept and used by the café to store refuse and recycle bins out of view of the general public.

122sf of herb garden (planter boxes on existing concrete surface) is planned for the front of the building adjacent to the city sidewalk and 400 sf of outdoor seating is planned on the front and east sides of the building.

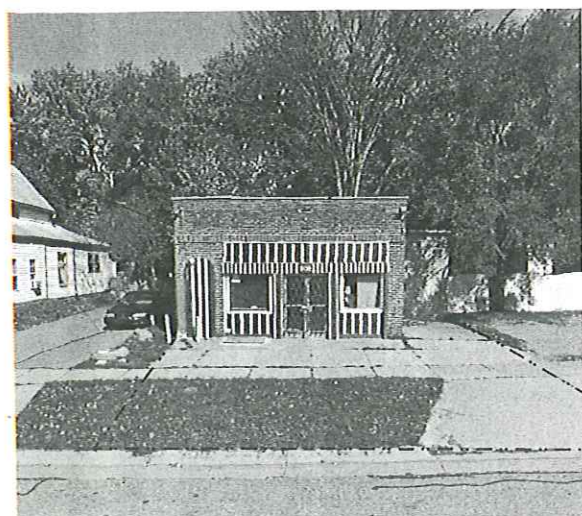
A new large window on the east side of the building is planned so as to allow more light into the existing building and a large south-facing roll-up aluminum storefront door is planned in the east addition. Both of these windows serve to break down the defensive character of the project without compromising its structure and to provide view corridors both into and from the space. The central window on the west side will be replaced and enlarged to provide evening light into the building and a view towards the nearby park.



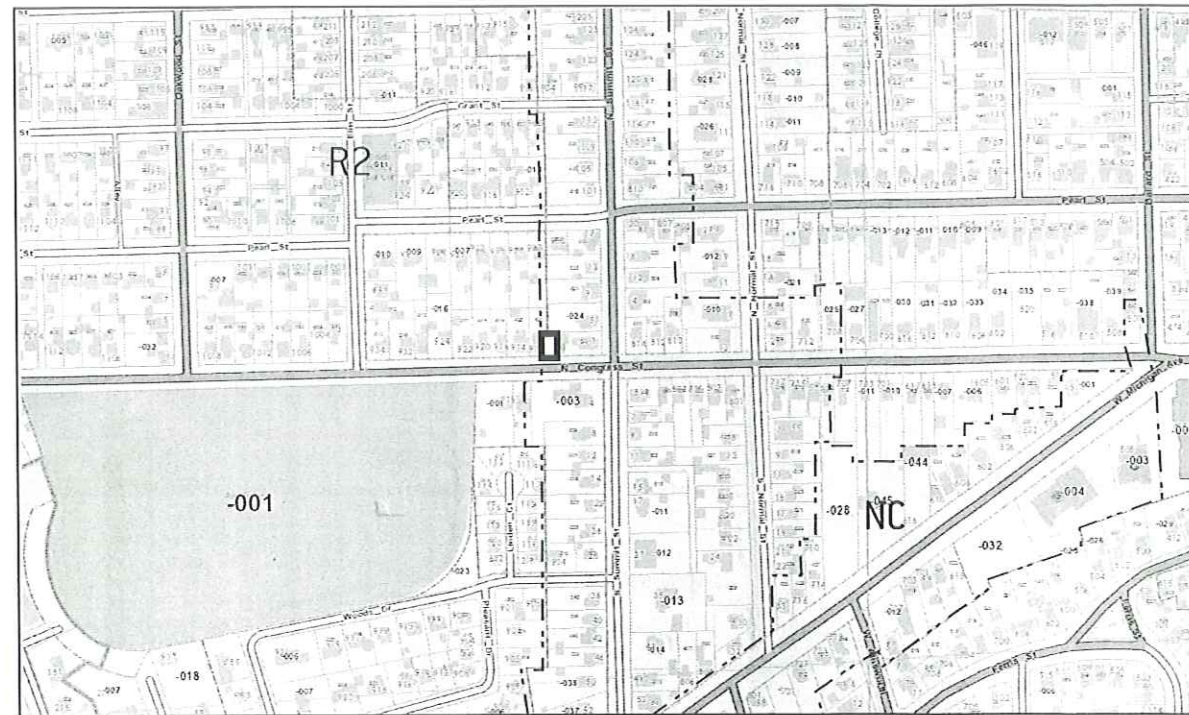
VIEW LOOKING WEST



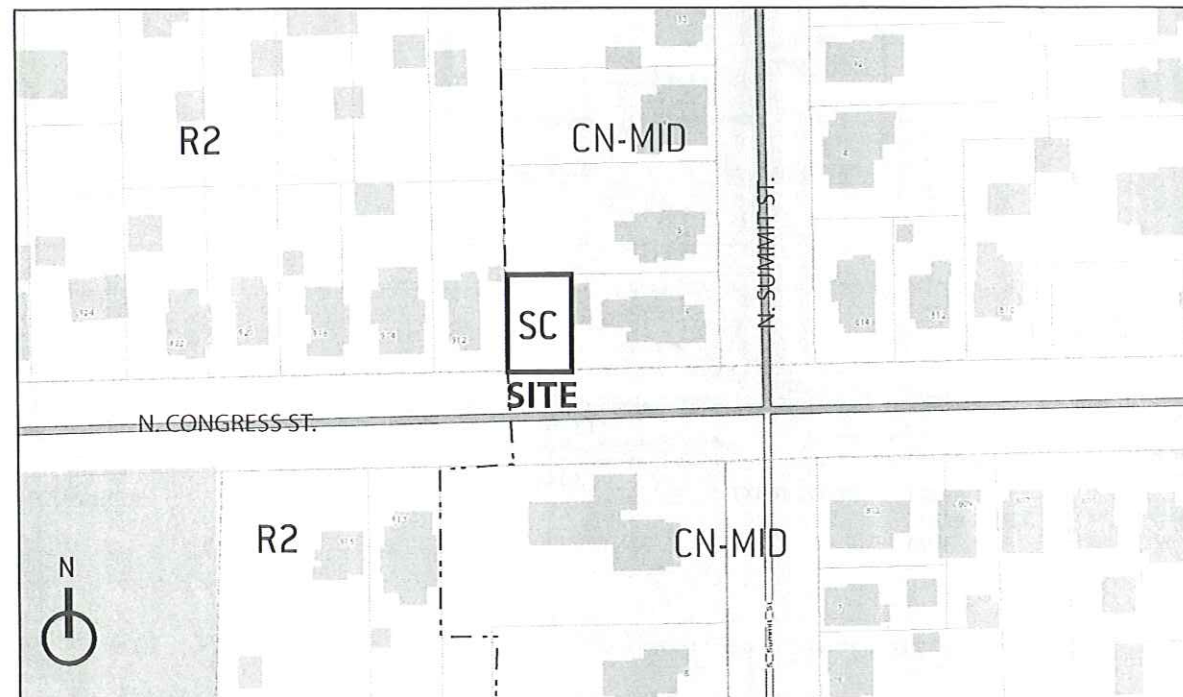
VIEW LOOKING EAST



VIEW LOOKING NORTH



LOCATION AND ZONING (EXISTING)



LOCATION AND ZONING (EXISTING) (ZOOM)

PROJECT DATA

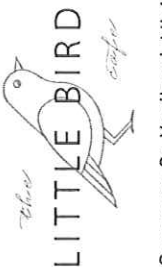
Project Name:	Little Bird Café 908 North Congress Street Ypsilanti, MI, 48197
Project Description:	Renovations and Alterations to Existing Brick Building
Parcel Information:	PARCEL No: 11-11-40-432-022 SITE AREA: 2851 sq. ft. or 0.065 acres ZONING: Bldg. Type: SC (single-story commercial) District: CN-MID (core neighborhood mid)
Proposed use:	Neighborhood coffee shop serving on-site roasted/brewed coffees and teas. Off-site, prepared pastry and sundries will also be served.
Owner:	Beth Kwiatkowski 4340 Willis Road Milan, MI 48160 Phone: 734 417 6621
Architect:	Neal Robinson, Architect 2200 Fuller Ct #1009B Ann Arbor, MI 48105 Phone: 734-417-5838 nealr@nspacearch.com License # 1301047006

n_space

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nealr@nspacearch.com
2200 Fuller Court Suite 1009B
Ann Arbor MI 48105
734-417-5838

SHEET TITLE:
LOCATION + ZONING PLANS

SCALE: VARIES



908 Congress St. Ypsilanti, MI 48197

SEAL

[Signature]

DATE: 4/22/15

SHEET NO.

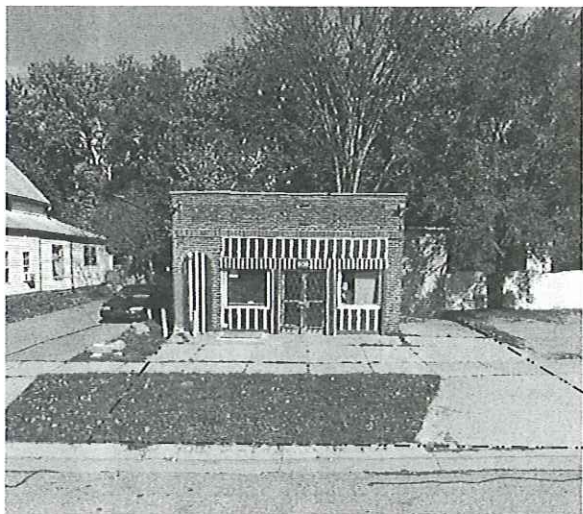
S-1



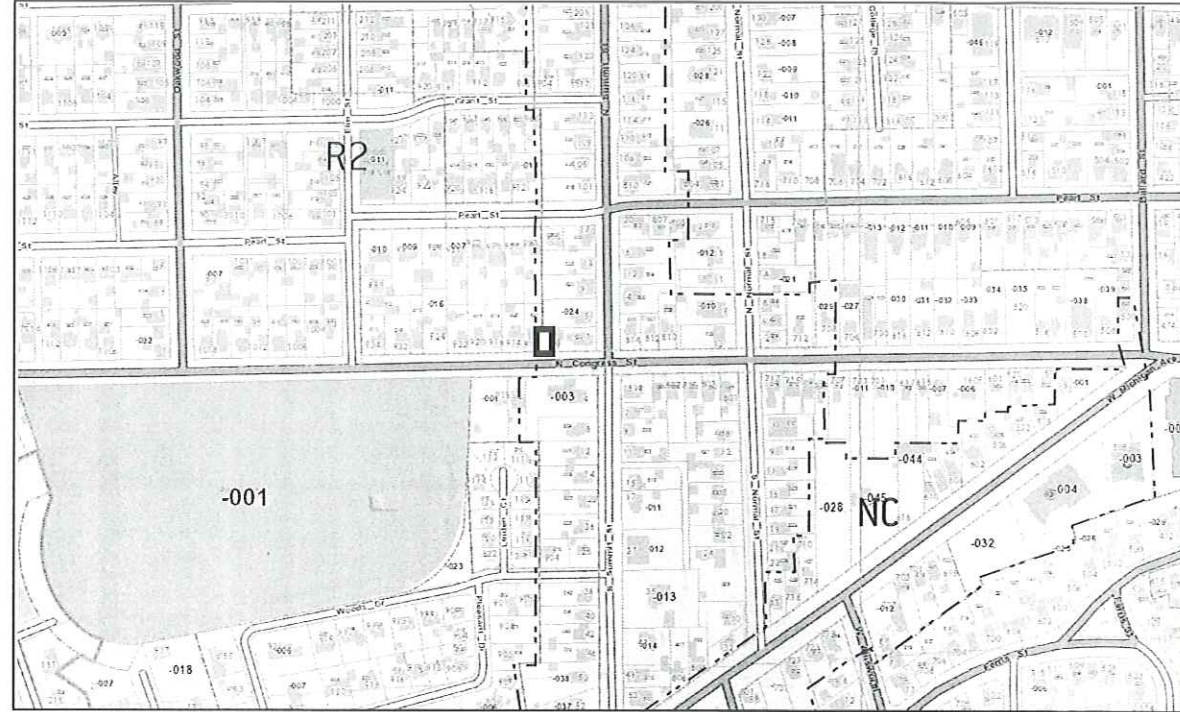
VIEW LOOKING WEST



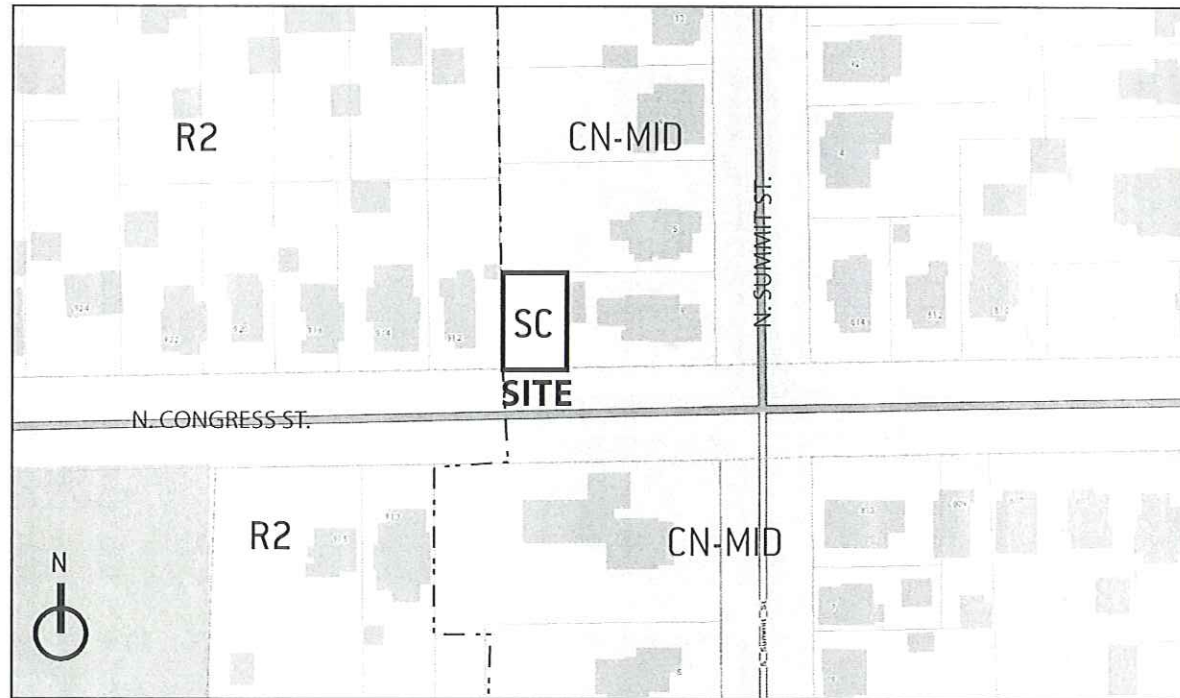
VIEW LOOKING EAST



VIEW LOOKING NORTH



LOCATION AND ZONING (EXISTING)



LOCATION AND ZONING (EXISTING) (ZOOM)

PROJECT DATA

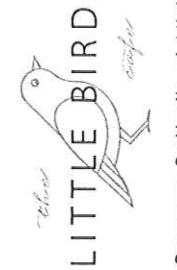
Project Name:	Little Bird Café 908 North Congress Street Ypsilanti, MI, 48197
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Ann Arbor MI 48105
734.417.5838

SHEET TITLE:
LOCATION + ZONING PLANS

SCALE: VARIES



908 Congress St. Ypsilanti, MI 48197

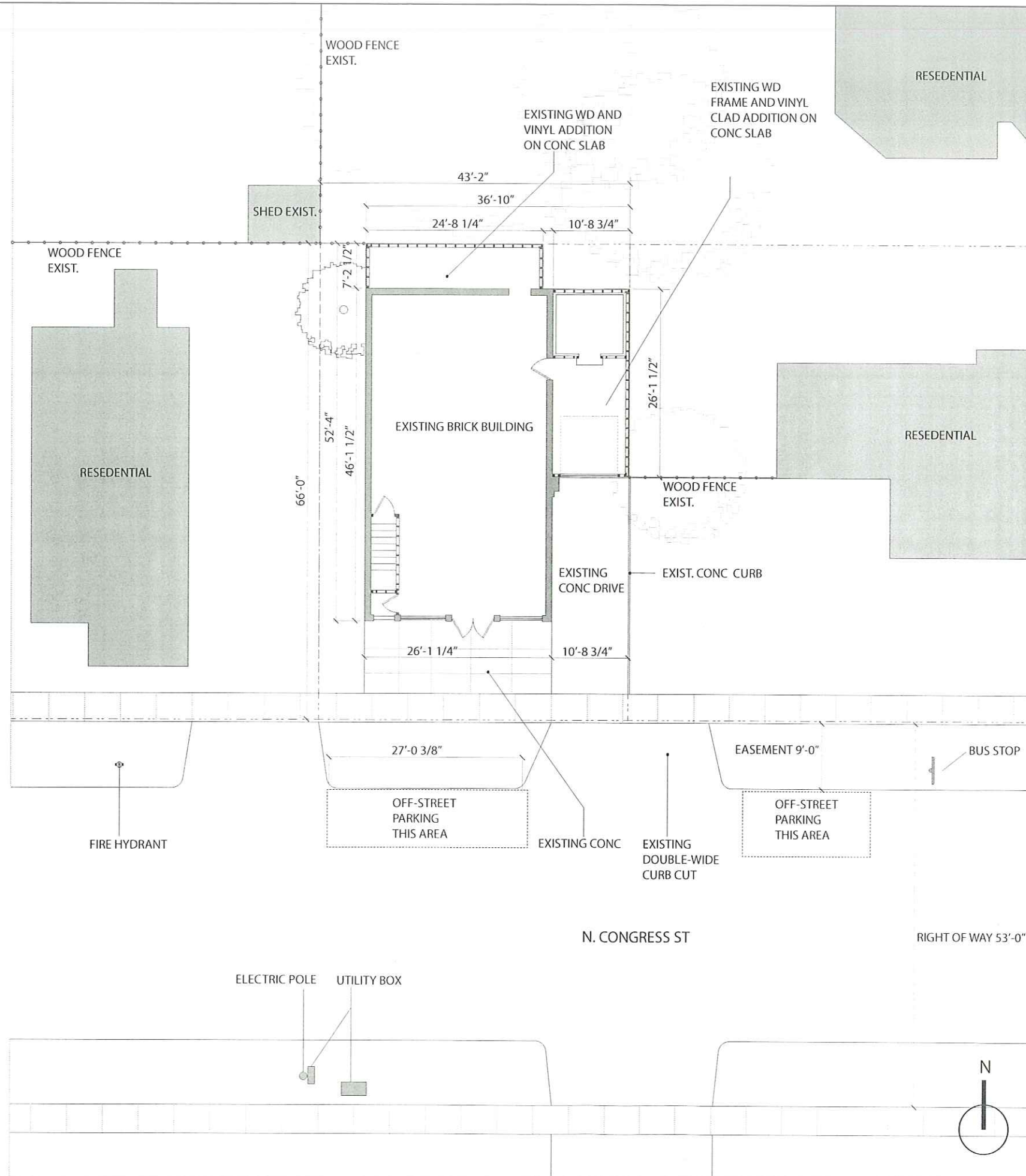
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[Signature]

DATE: 4/22/15

SHEET NO.

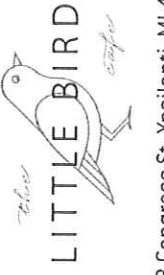
S-1



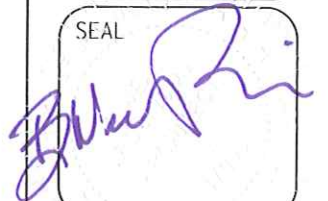
n_space

Neal Robinson, Architect
neal@nspacearch.com
2200 Fuller Court Suite 1009B
Ann Arbor MI 48105
734-417-5838

SHEET TITLE:
SITE PLAN:
EXISTING CONDITIONS
SCALE: 1/16" = 1'0"


LITTLE BIRD
908 Congress St. Ypsilanti, MI 48197

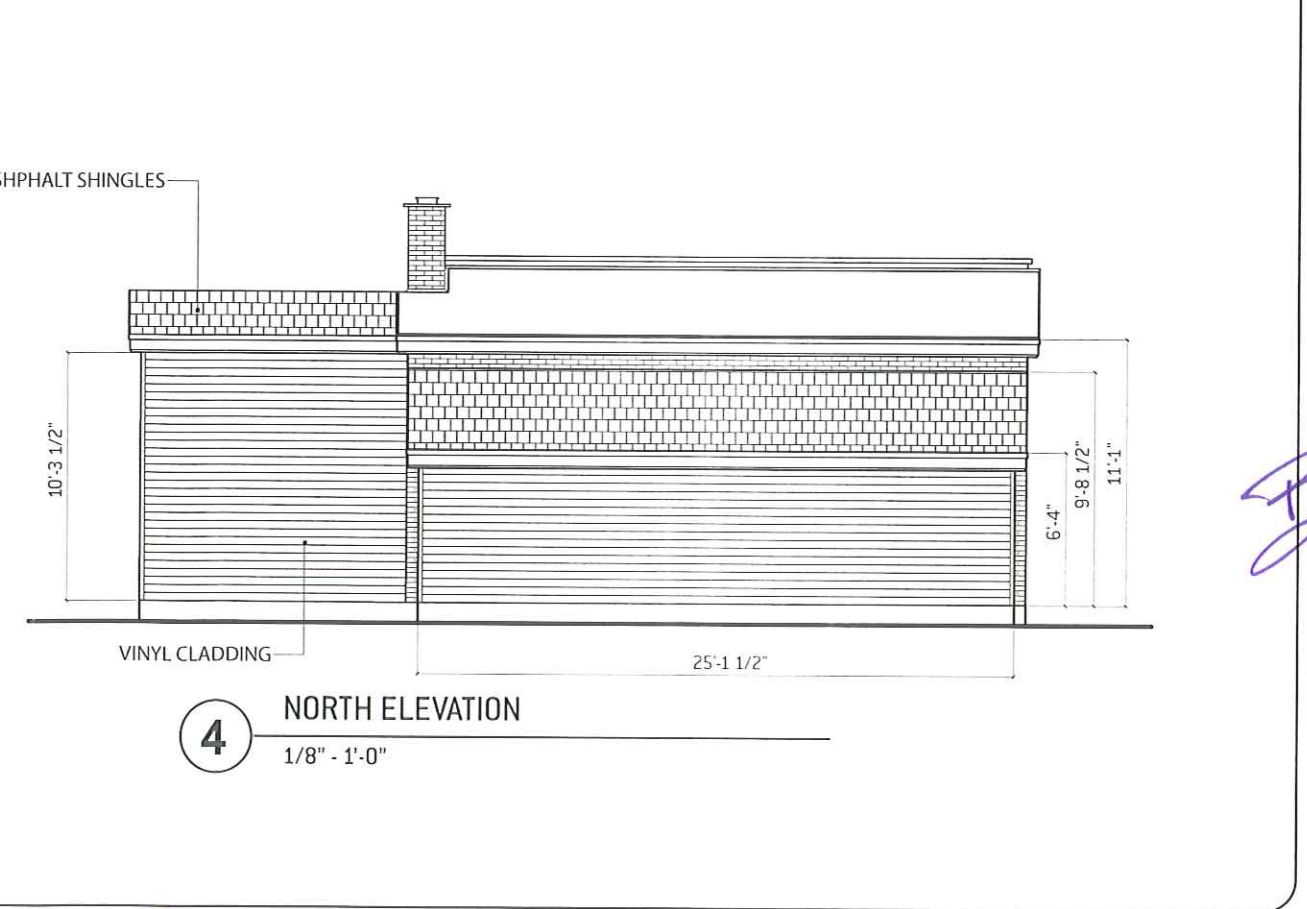
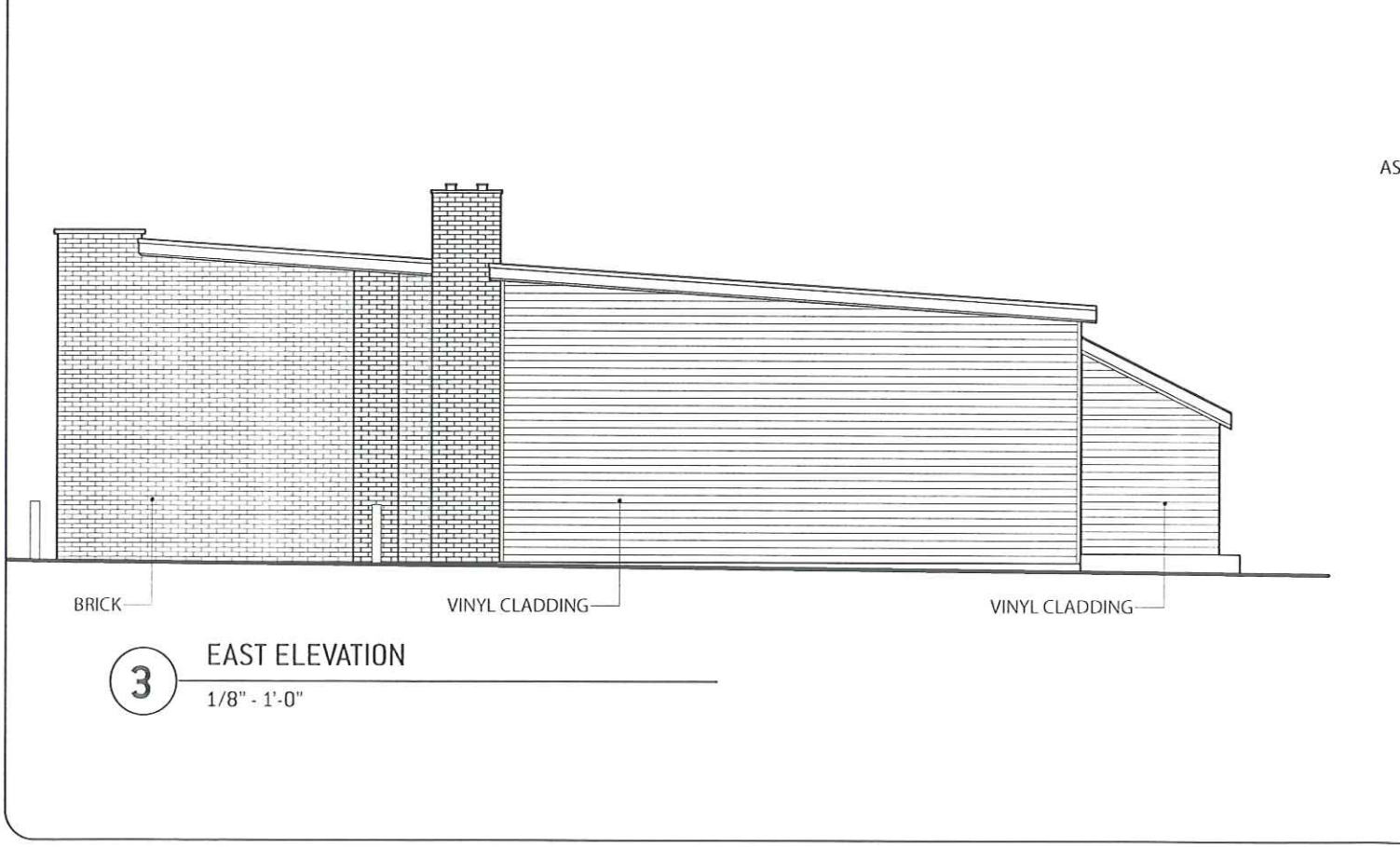
SEAL



DATE: 4/22/15

SHEET NO.

S-2



n_space
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2200 Fuller Court Suite 1009B
Ann Arbor MI 48105
734.412.5838

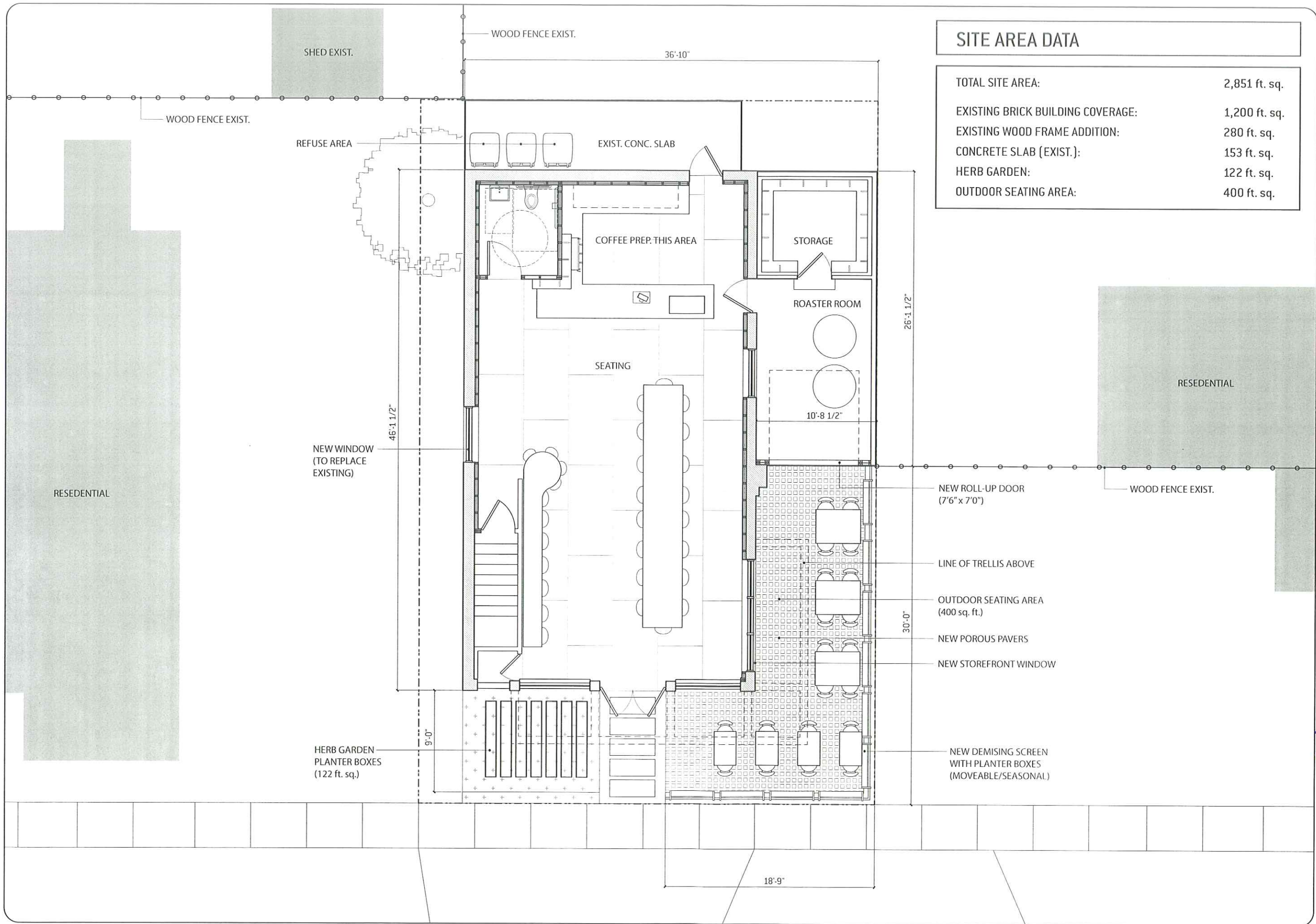
SHEET TITLE:
EXISTING ELEVATIONS
SCALE: 1/8" = 1'-0"


LITTLE BIRD GROUP
308 Congress St. Ypsilanti, MI 48197

SEAL


DATE: 4/22/15

SHEET NO.
S-3



SITE AREA DATA

TOTAL SITE AREA:	2,851 ft. sq.
EXISTING BRICK BUILDING COVERAGE:	1,200 ft. sq.
EXISTING WOOD FRAME ADDITION:	280 ft. sq.
CONCRETE SLAB (EXIST.):	153 ft. sq.
HERB GARDEN:	122 ft. sq.
OUTDOOR SEATING AREA:	400 ft. sq.

n_space

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neal@nspacearch.com
2200 Fuller Court Suite 1009B
Ann Arbor MI 48105
734.417.5838

SHEET TITLE:
PROPOSED PLAN

SCALE: 1/8" = 1'-0"

LITTLE BIRD
cafe

908 Congress St. Ypsilanti, MI 48197

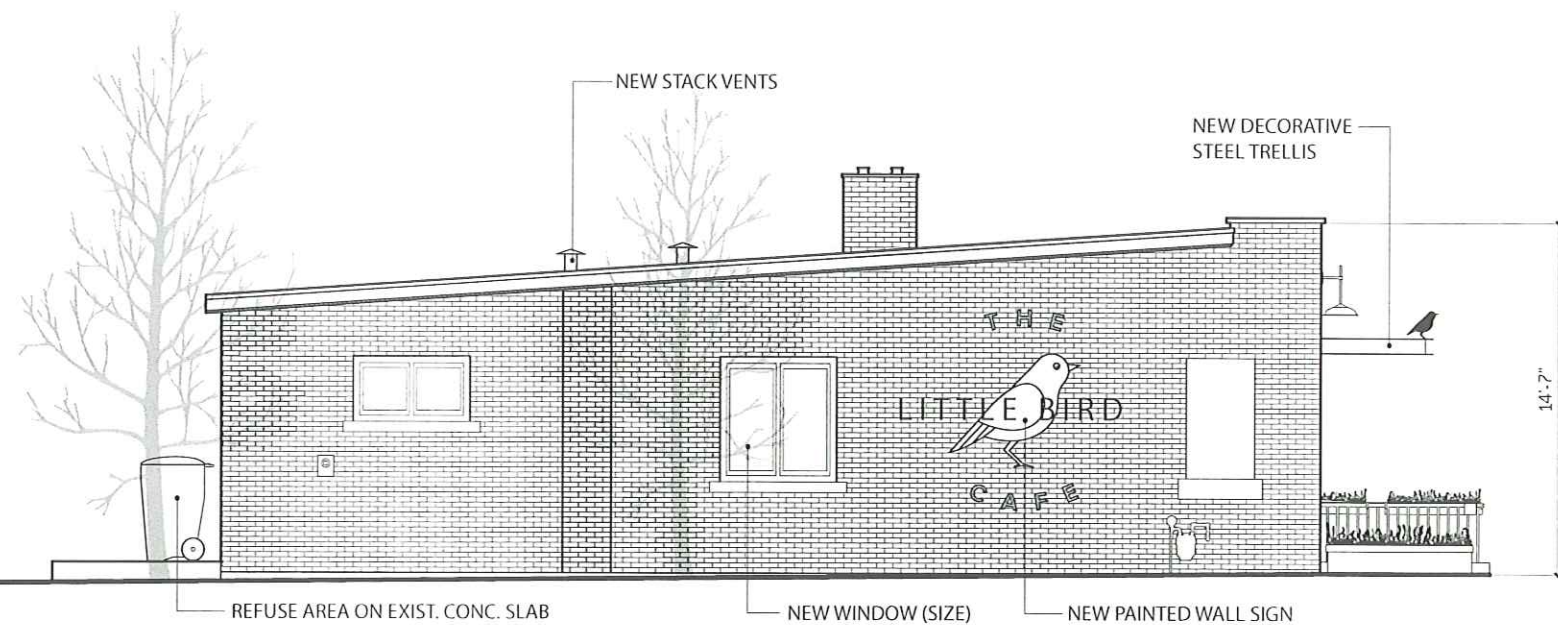
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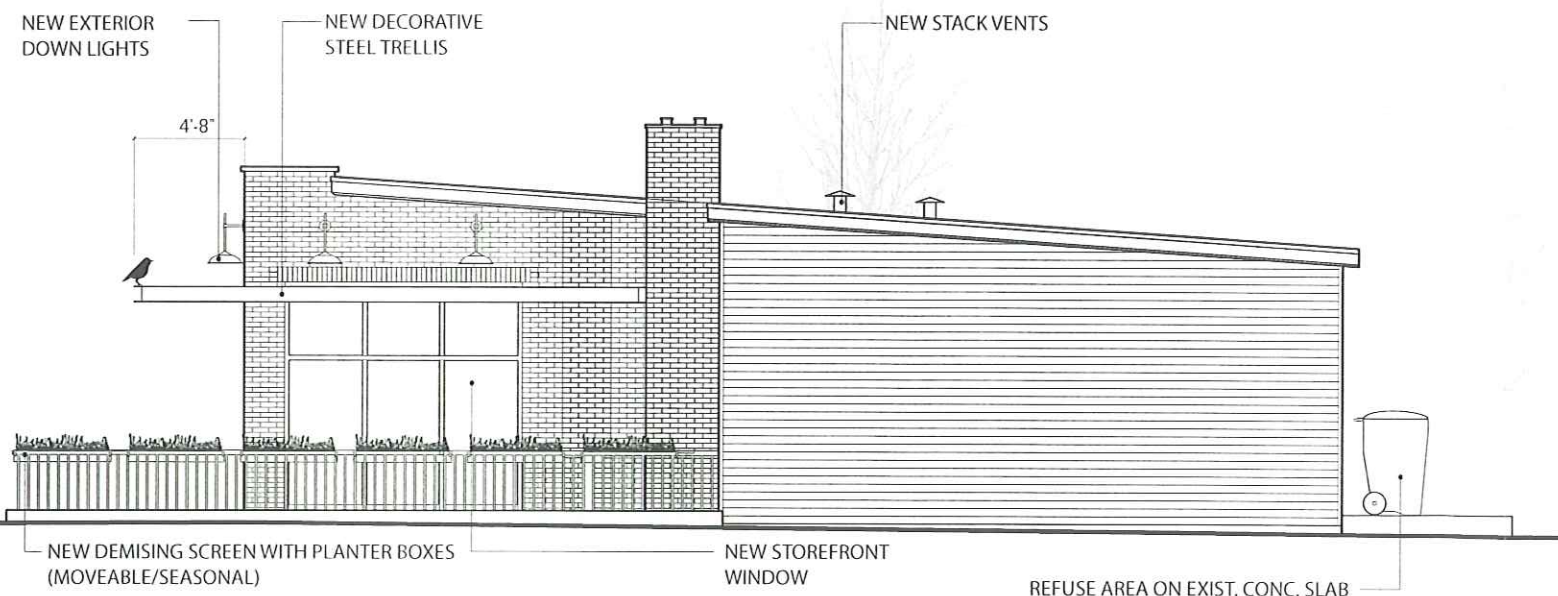
DATE: 4/22/15

SHEET NO.

S-4



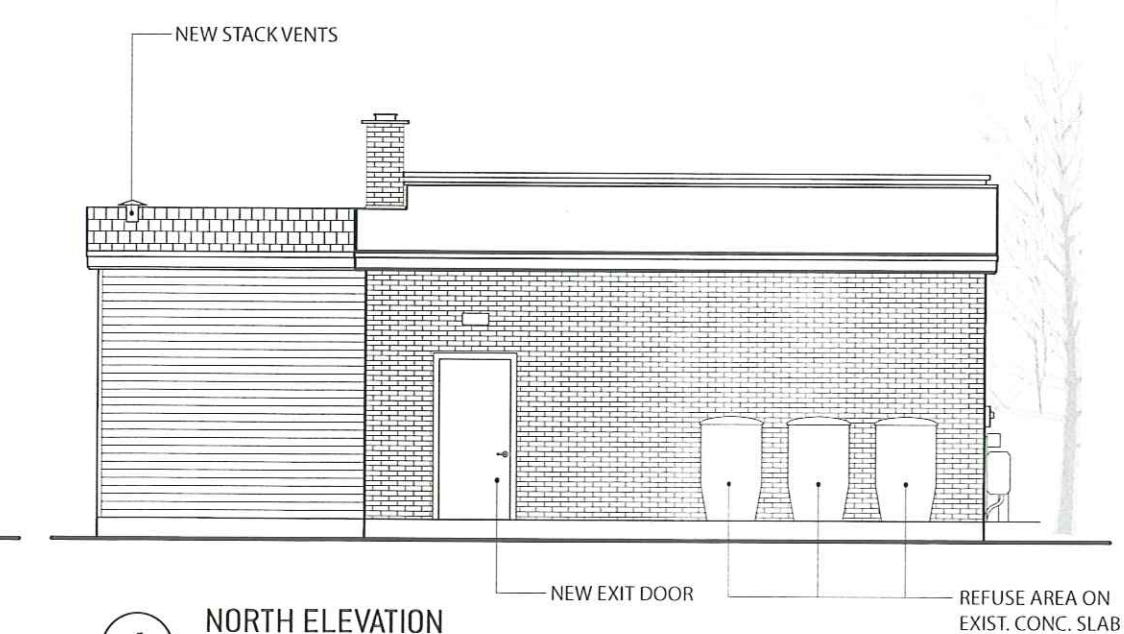
1 WEST ELEVATION
1/8" - 1'-0"



3 EAST ELEVATION
1/8" - 1'-0"



2 SOUTH ELEVATION
1/8" - 1'-0"



4 NORTH ELEVATION
1/8" - 1'-0"

n_space

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neal@nspacearch.com
2200 Fuller Court Suite 1009B
Ann Arbor MI 48105
734.417.5838

SHEET TITLE:
PROPOSED ELEVATIONS

SCALE: 1/8" = 1'-0"



908 Congress St. Ypsilanti, MI 48197

SEAL

[Signature]

DATE: 4/22/15

SHEET NO.

S-5



11 June 2015

**Staff Review of Special Nonconforming Status Application
Strong Housing
723 & 729 Maus Ave**

GENERAL INFORMATION

Applicant: Zachary Fosler
Strong Future LDHA LP
Ypsilanti Housing Commission
Ypsilanti, MI 48198

Project: Strong Housing - Maus

Application Date: 07 June 2015

Location: North side of Maus Ave, between Emerick St and S Prospect St.

Zoning: R-1, Single Family Residential

Action Requested: Approval for nonconforming class A use as duplex.

Staff Recommendation: Approval

PROJECT AND SITE DESCRIPTION

Note: the conditions for both 729 and 723 Maus are identical. Thus, one review has been performed that can stand for both properties.

The lot is 6,096 square feet in size fronting on Maus Ave. The current vacant structure will be demolished and a new structure will be built; as permits for the project were issued prior to the ordinance change, such construction is considered lawful nonconforming.

The new structure will be a front entry building with two units. The structure will be 2,355 square feet total with a 1,100 square foot building footprint. The structure will have four parking spaces', two on each side in tandem with a concrete approach. Site improvements include landscaping, new fencing, parking spaces and driveways.

Figure 1: Subject Site Location

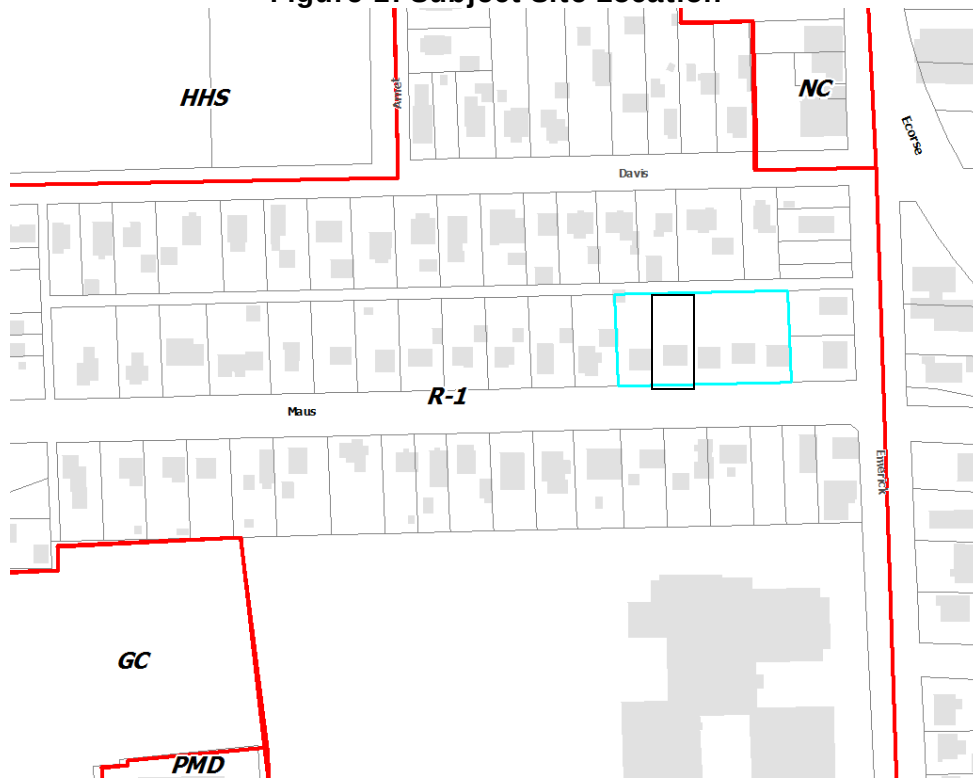


Figure 2: Site Aerial (2010)
723: black outline; 729: orange outline.



Figure 3: Future Land use map

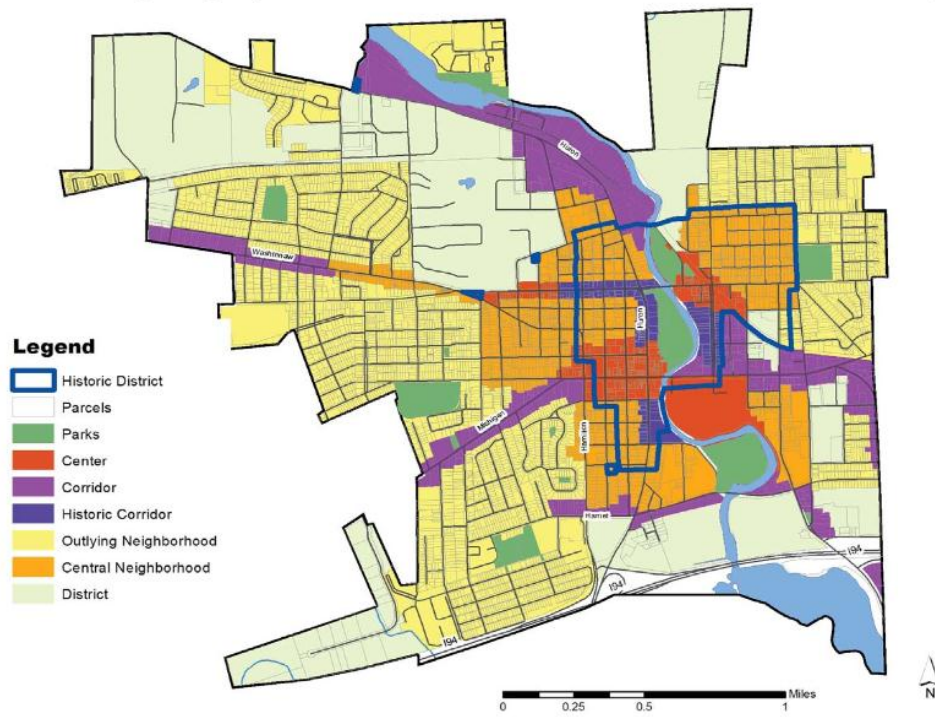


Figure 4: Existing building (to be demolished)



Figure 5: Proposed elevation



Figure 6: Land Use and Zoning of Surrounding Area

	LAND USE	ZONING
NORTH	Single-family detached	R-1, Single family residential
EAST	Single-family detached	R-1, Single family residential
SOUTH	Single-family detached	R-1, Single family residential
WEST	Single-family detached	R-1, Single family residential

CRITERIA AND REVIEW

§122-207

"Nonconforming uses of buildings shall be designated class A provided that the Planning Commission finds all of the following exists with respect to the use or structure:

(1) The use of structure was lawful at its inception.

COMMENTS: This is met.

(2) The decision to continue the nonconforming use, if granted, will not alter the essential character of the area or neighborhood.

COMMENTS: The overall nonconformity of the area is being reduced as part of this project. Other duplexes in the area are being removed, and the homes are designed to mimic single-family housing in form, setbacks, landscaping, and parking.

(3) *Continuance of the use or structure would not be contrary to the public health, safety, or welfare or the spirit of the chapter.*

COMMENTS: The existing duplex is in poor condition. The newly constructed duplex will be more easily maintained.

(4) *No useful purpose would be served by strict application of the provisions of this chapter with which the use or structure does not conform.*

COMMENTS: Without the approval, the applicant has demonstrated an inability to finance the project. Without financing, at best these will become vacant lots.

CONDITIONS OF APPROVAL

§122-207(2)

The Planning Commission may condition its approval on the following:

(a) *Screening and landscaping in keeping with community standards to ensure compatibility with adjacent uses.*

COMMENTS: Landscaping will be typical of a single-family home.

(b) *Restrictions on lighting, noise, odor, or visual impact.*

COMMENTS: Lighting, noise, etc will be at levels typical for a single-family home.

(c) *Signage must comply with current zoning district requirements. Existing nonconforming signs may be required to be eliminated or reduced in size and number.*

COMMENTS: No signage is proposed. Any signage will require a permit.

(d) *Replacement of a building must not create a more nonconforming yard setback condition which would impact on conforming properties in the immediate vicinity.*

COMMENTS: The reconstructed duplex will be more conforming than the existing duplex.

(e) *Other reasonable safeguards and improvements may be imposed by the Planning Commission to protect conforming uses in the surrounding area.*

COMMENTS: No other safeguards appear necessary.

Items to be addressed: None.

STAFF RECOMMENDATION

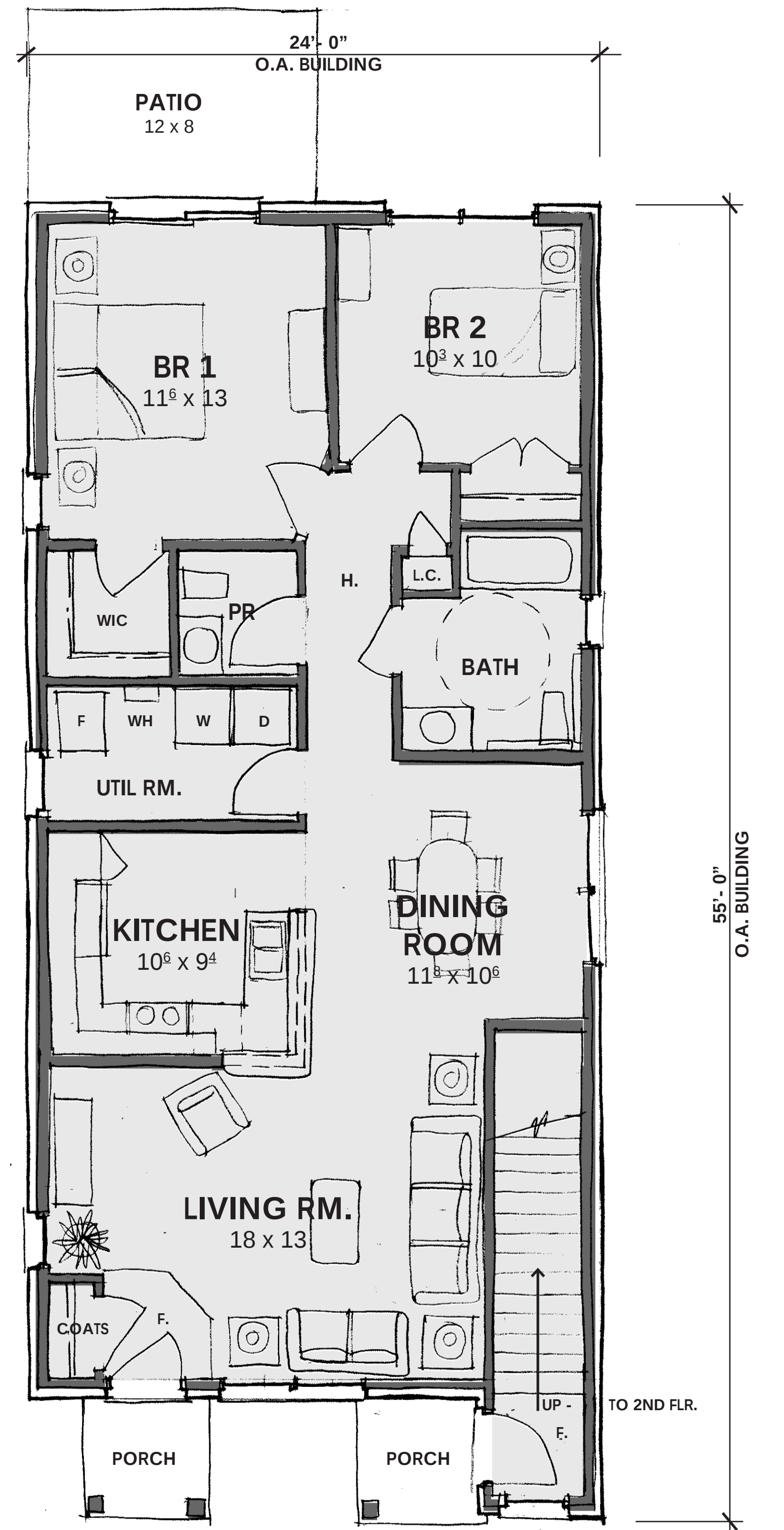
Staff recommends the Planning Commission designate 723 and 729 Maus as “Nonconforming A” properties, with the following findings and conditions:

Findings

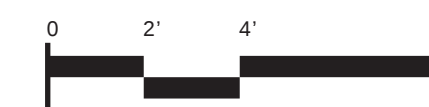
1. The application substantially complies with the ordinance.

Bonnie Wessler
City Planner, Community & Economic Development Department

CC File
 Applicant



FIRST FLOOR PLAN - (SECOND FLOOR SIM.) 1/4" = 1'-0"
2 BEDROOM UNIT - STACKED FLAT UNITS
 1130 S.F. (FIRST/ SECOND W/O STAIR)
 1225 S.F. (SECOND W/ STAIR)



BUILDING PLANS

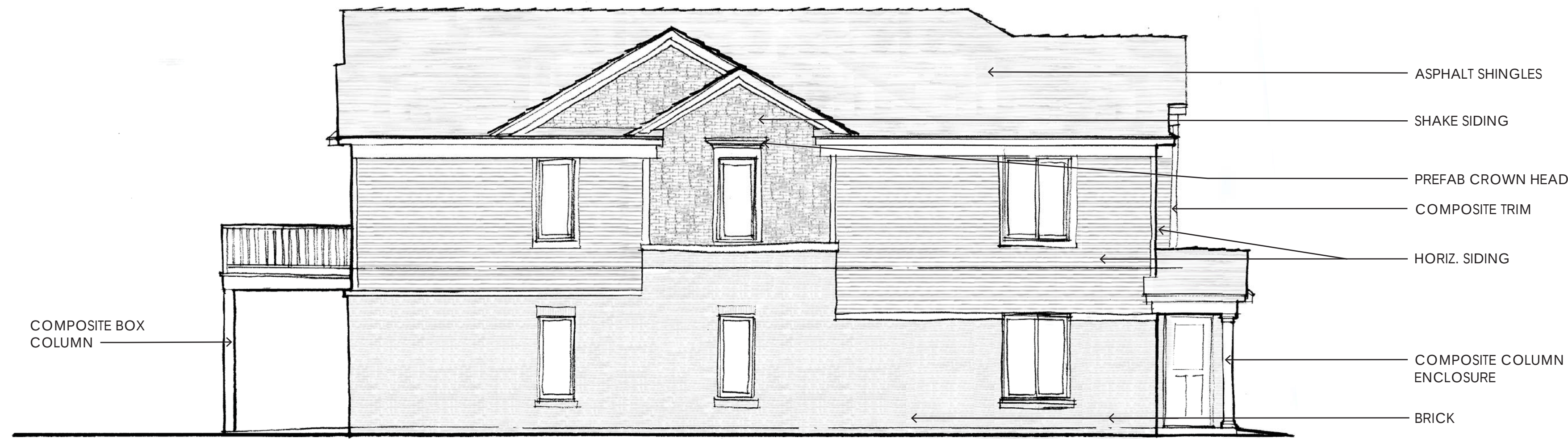
MAUS AVENUE APARTMENTS

RENOVATIONS

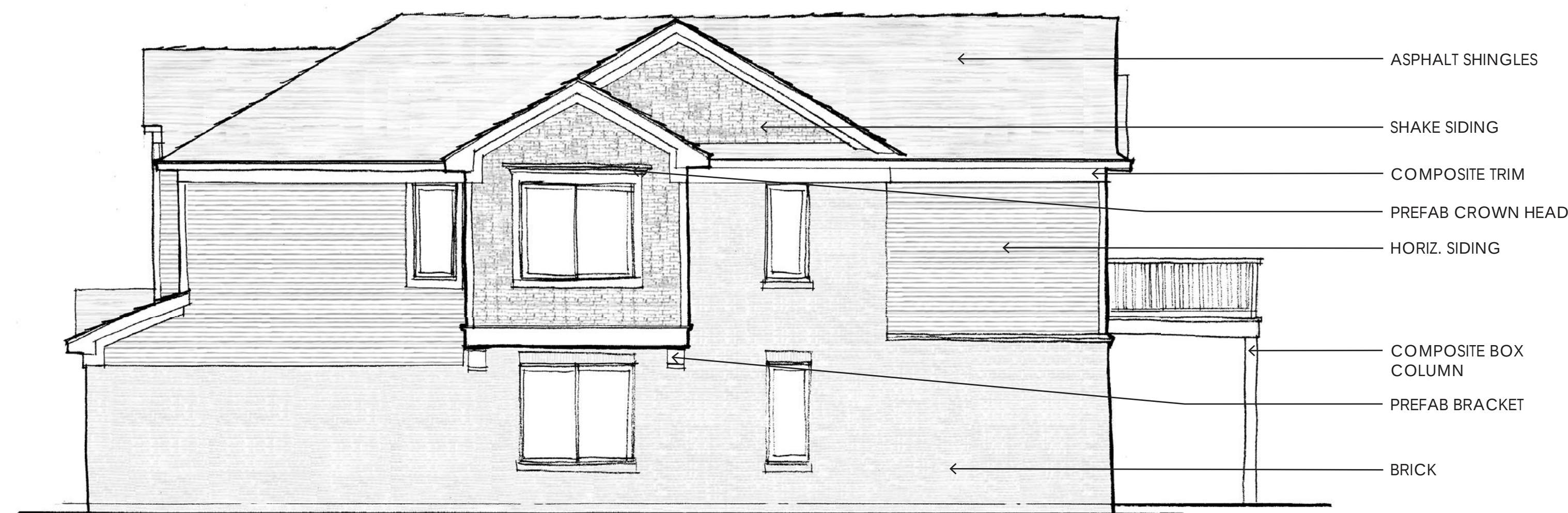
YPSILANTI MICHIGAN

FSP FUSCO,
 SHAFFER &
 PAPPAS, INC.
 ARCHITECTS & PLANNERS
 550 E. NINE MILE RD.
 FERNDALE, MICHIGAN 48220
 PHONE 248.543.4100 FAX 248.543.4141
 www.fsparchitects.com

MAY 11, 2015



LEFT SIDE ELEVATION (BLDGS 723,729) $3/16" = 1'-0"$
2 BEDROOM UNITS - STACKED



RIGHT SIDE ELEVATION (BLDGS 723,729) $3/16" = 1'-0"$
2 BEDROOM UNITS - STACKED



REAR ELEVATION (BLDGS 723,729) $3/16" = 1'-0"$
2 BEDROOM UNITS - STACKED



FRONT ELEVATION (BLDGS 723,729) $3/16" = 1'-0"$
2 BEDROOM UNITS - STACKED

APARTMENT BUILDING ELEVATIONS MAUS AVENUE APARTMENTS RENOVATIONS

YPSILANTI

MICHIGAN

FSP FUSCO,
SHAFFER &
PAPPAS, INC.
ARCHITECTS & PLANNERS
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MAY 11, 2015



City of Ypsilanti
Community & Economic Development Department

07 June 2015

**Staff Review of Special Nonconforming Status Application
Strong Housing
610& 614 First Ave**

GENERAL INFORMATION

Applicant: Zachary Fosler
Strong Future LDHA LP
Ypsilanti Housing Commission
Ypsilanti, MI 48198

Project: Strong Housing - First

Application Date: 07 June 2015

Location: West side of First St, between Monroe & Madison

Zoning: R-1, Single Family Residential

Action Requested: Approval for nonconforming class A use as duplex.

Staff Recommendation: Approval

PROJECT AND SITE DESCRIPTION

The lot is approximately 16,000 square feet, fronting on First Street. The current structure will be completely rehabilitated, as shown in the attached drawings. The remainder of the site will largely remain the same.

Figure 1: Subject Site Location

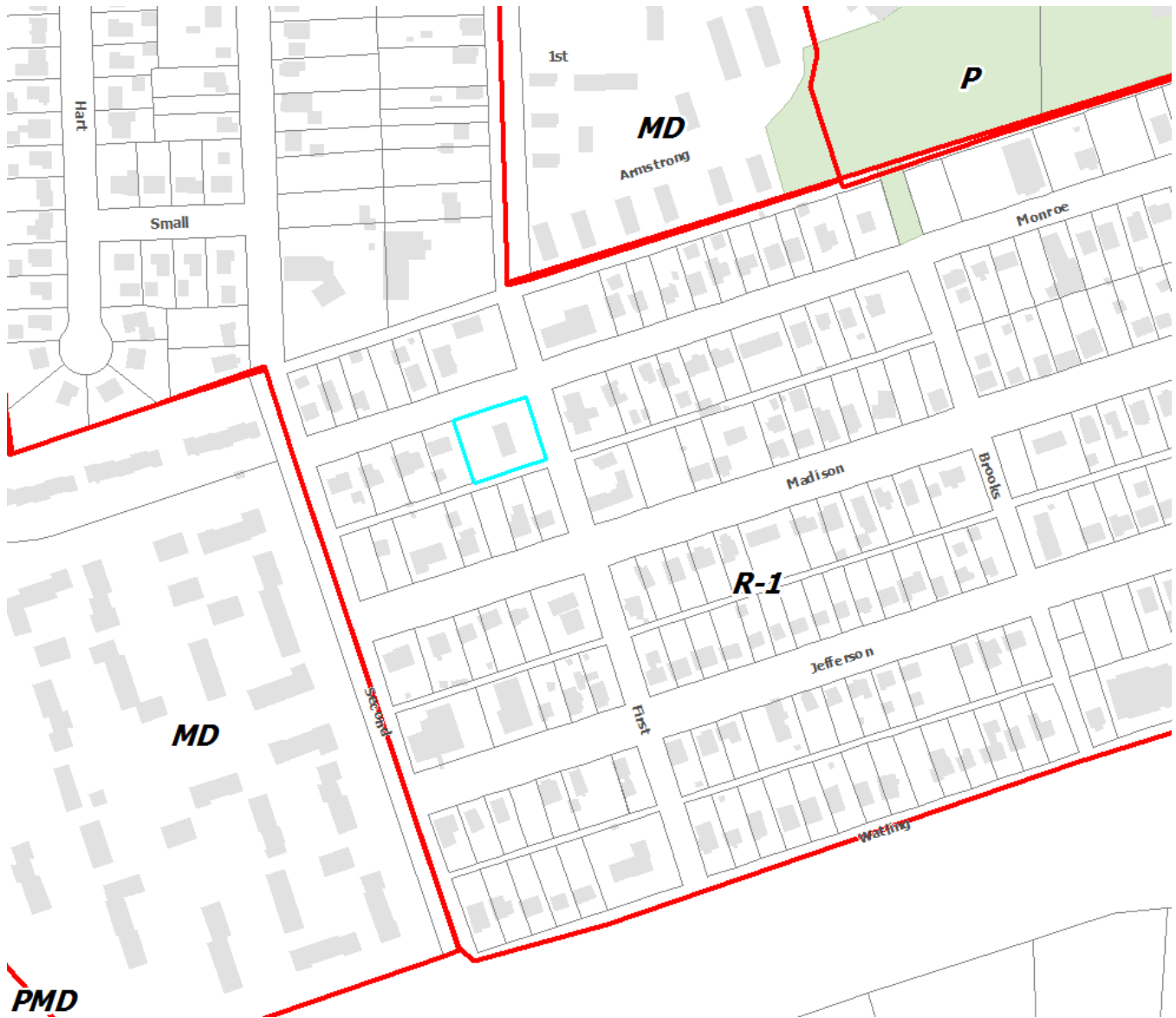


Figure 2: Site Aerial (2010)

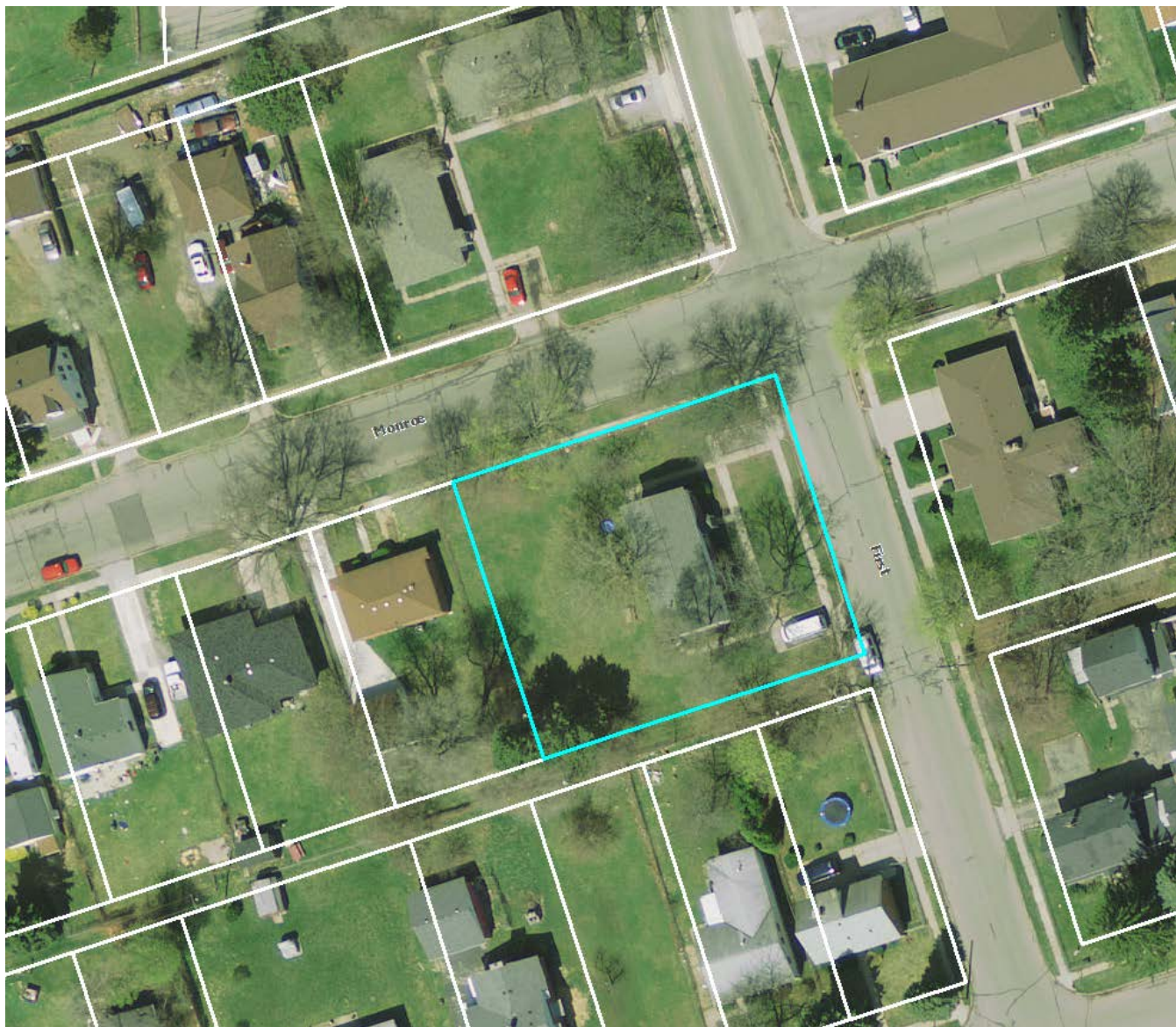


Figure 3: Future Land use map

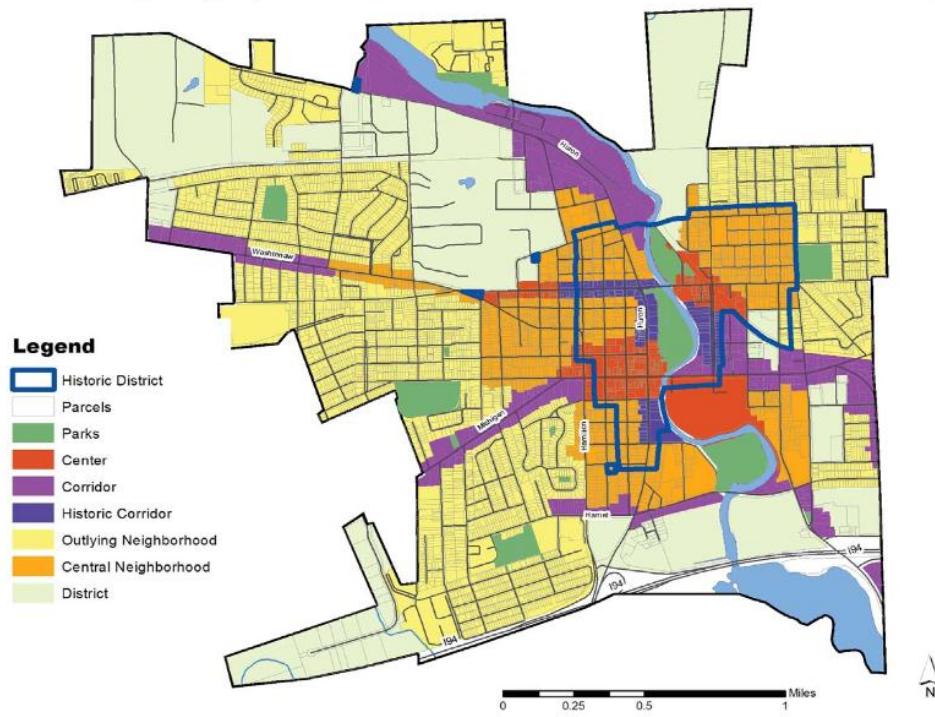


Figure 4: Existing building



Figure 5: Land Use and Zoning of Surrounding Area

	LAND USE	ZONING
NORTH	Duplexes (YHC /Strong Housing)	R-1, Single family residential
EAST	Single-family detached	R-1, Single family residential
SOUTH	Single-family detached	R-1, Single family residential
WEST	Single-family detached	R-1, Single family residential

CRITERIA AND REVIEW

§122-207

"Nonconforming uses of buildings shall be designated class A provided that the Planning Commission finds all of the following exists with respect to the use or structure:

- (1) *The use of structure was lawful at its inception.*

COMMENTS: This is met.

- (2) *The decision to continue the nonconforming use, if granted, will not alter the essential character of the area or neighborhood.*

COMMENTS: This will not alter the existing character of the neighborhood.

- (3) *Continuance of the use or structure would not be contrary to the public health, safety, or welfare or the spirit of the chapter.*

COMMENTS: The existing duplex is in poor condition. The rehabilitation will significantly improve it.

- (4) *No useful purpose would be served by strict application of the provisions of this chapter with which the use or structure does not conform.*

COMMENTS: Without the approval, the applicant has demonstrated an inability to finance the project. Without financing, the units will degrade further.

CONDITIONS OF APPROVAL

§122-207(2)

The Planning Commission may condition its approval on the following:

- (a) *Screening and landscaping in keeping with community standards to ensure compatibility with adjacent uses.*

COMMENTS: Landscaping will be typical of a single-family home.

- (b) *Restrictions on lighting, noise, odor, or visual impact.*

COMMENTS: Lighting, noise, etc will be at levels typical for a single-family home.

- (c) *Signage must comply with current zoning district requirements. Existing nonconforming signs may be required to be eliminated or reduced in size and number.*

COMMENTS: No signage is proposed. Any signage will require a permit.

- (d) *Replacement of a building must not create a more nonconforming yard setback condition which would impact on conforming properties in the immediate vicinity.*

COMMENTS: There will be no replacement of a building.

- (e) *Other reasonable safeguards and improvements may be imposed by the Planning Commission to protect conforming uses in the surrounding area.*

COMMENTS: No other safeguards appear necessary.

Items to be addressed: None.

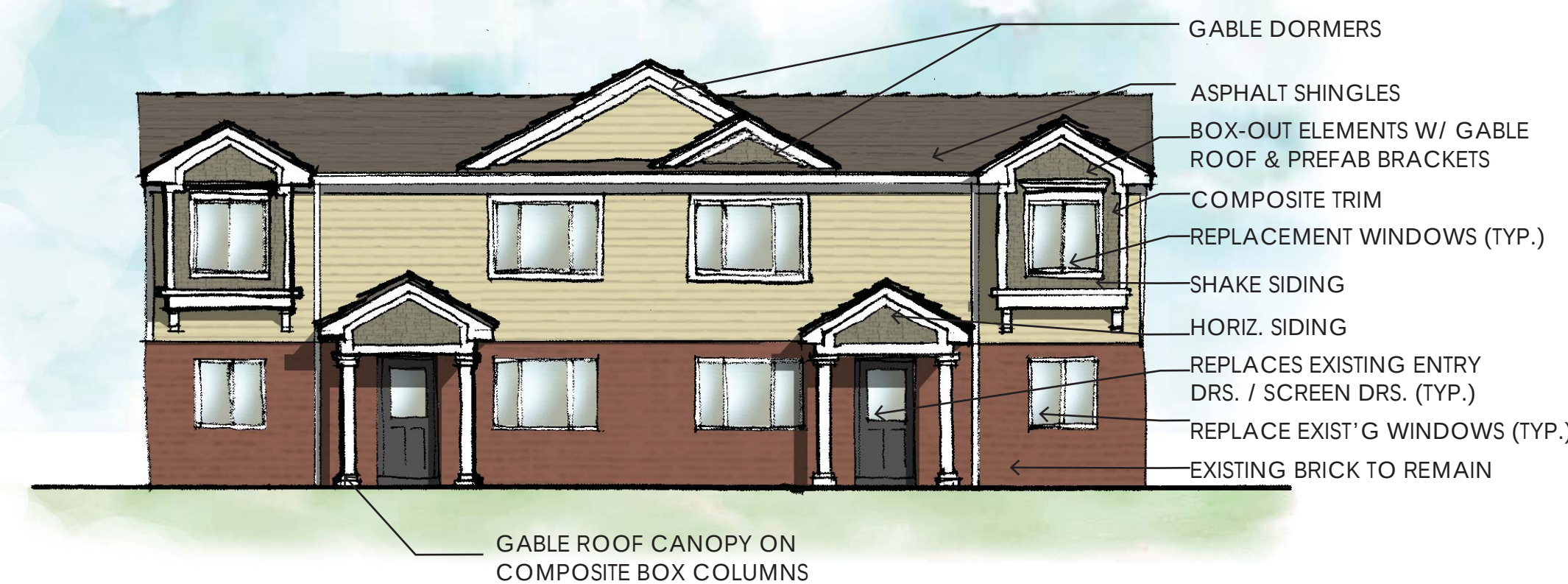
STAFF RECOMMENDATION

Staff recommends the Planning Commission designate 610 & 614 First Street as "Nonconforming A" properties, with the following findings and conditions:

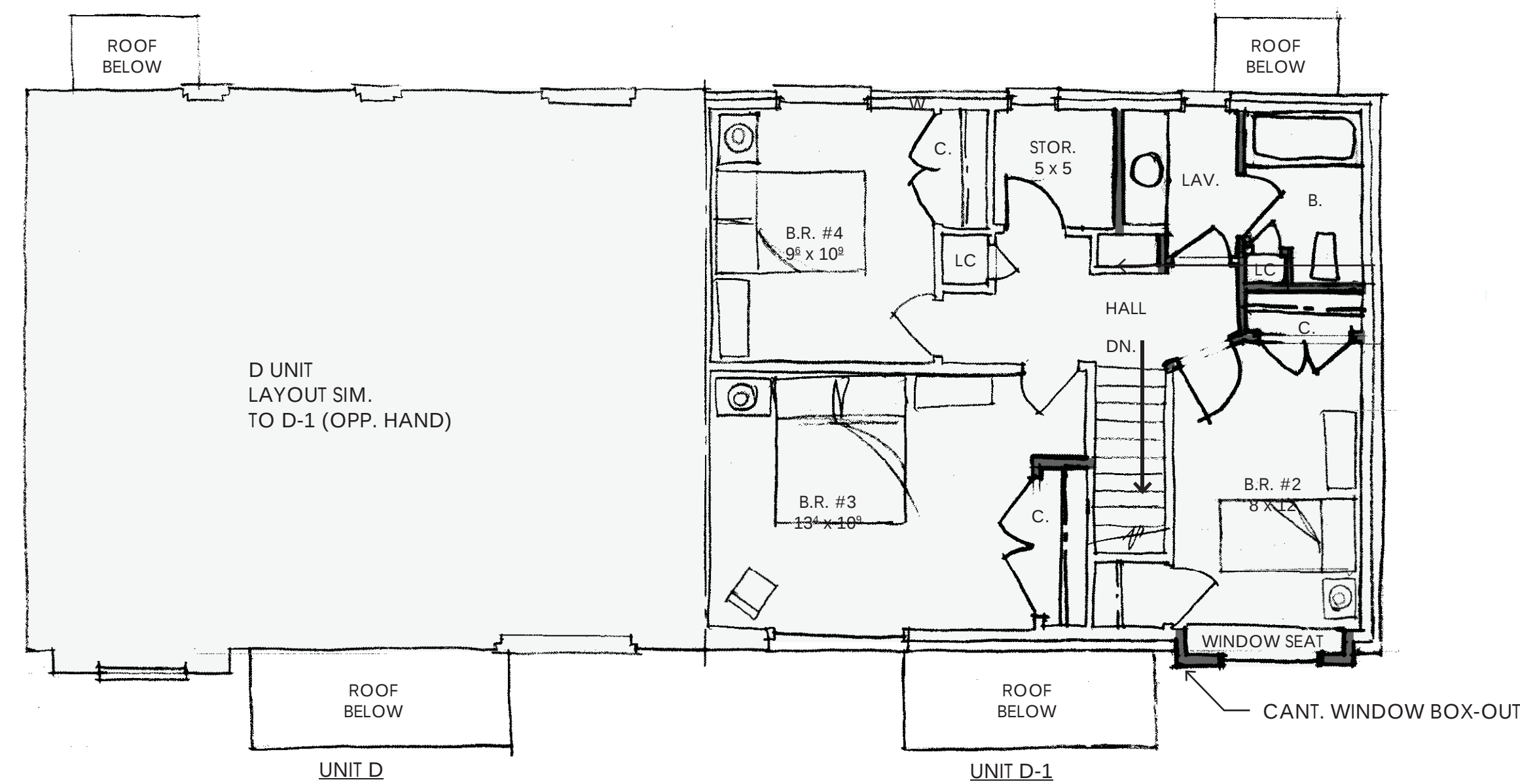
Findings

1. The application substantially complies with the ordinance.

Bonnie Wessler
City Planner, Community & Economic Development Department



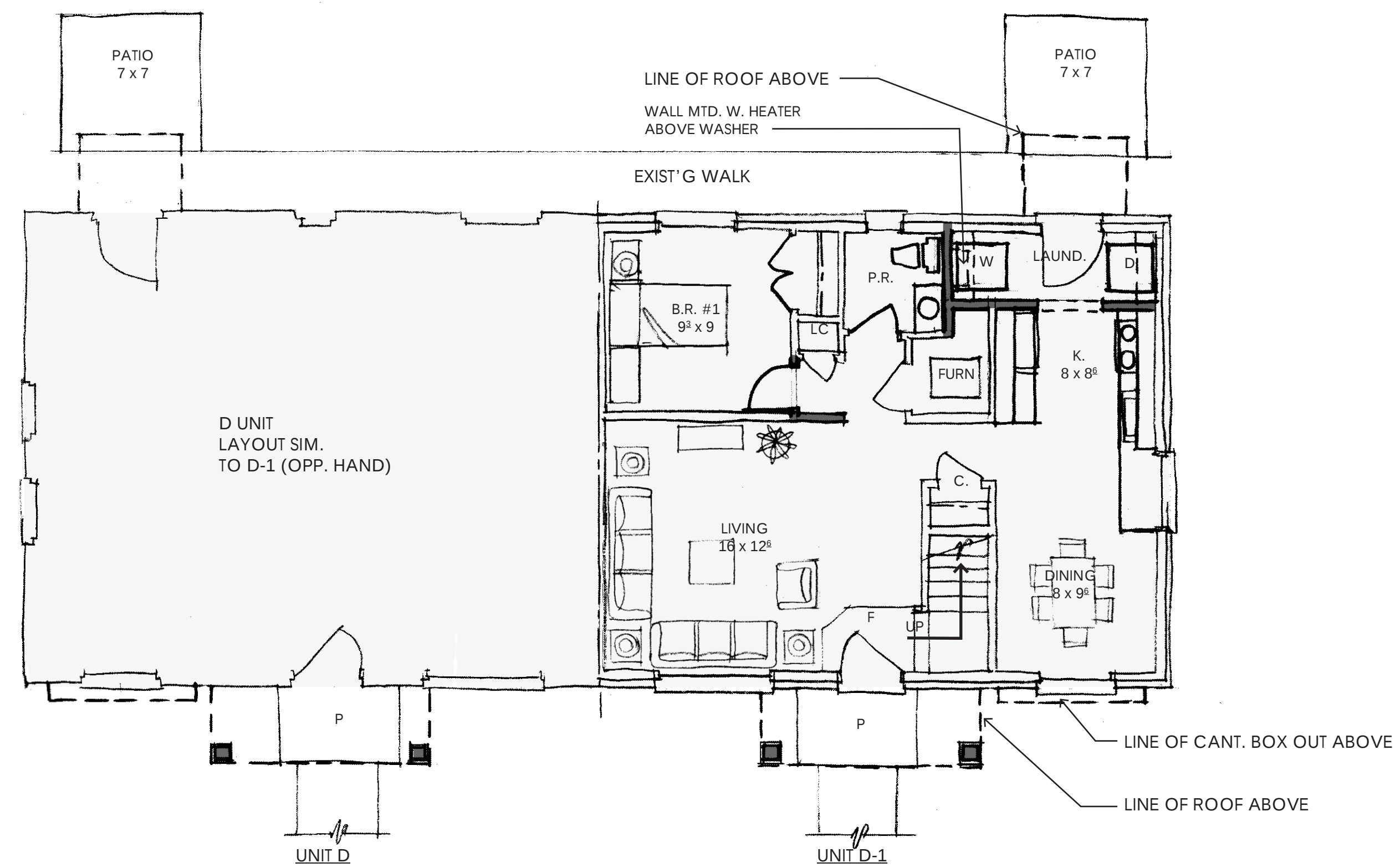
FRONT ELEVATION - BUILDING 'D' **1/8" = 1'-0"**



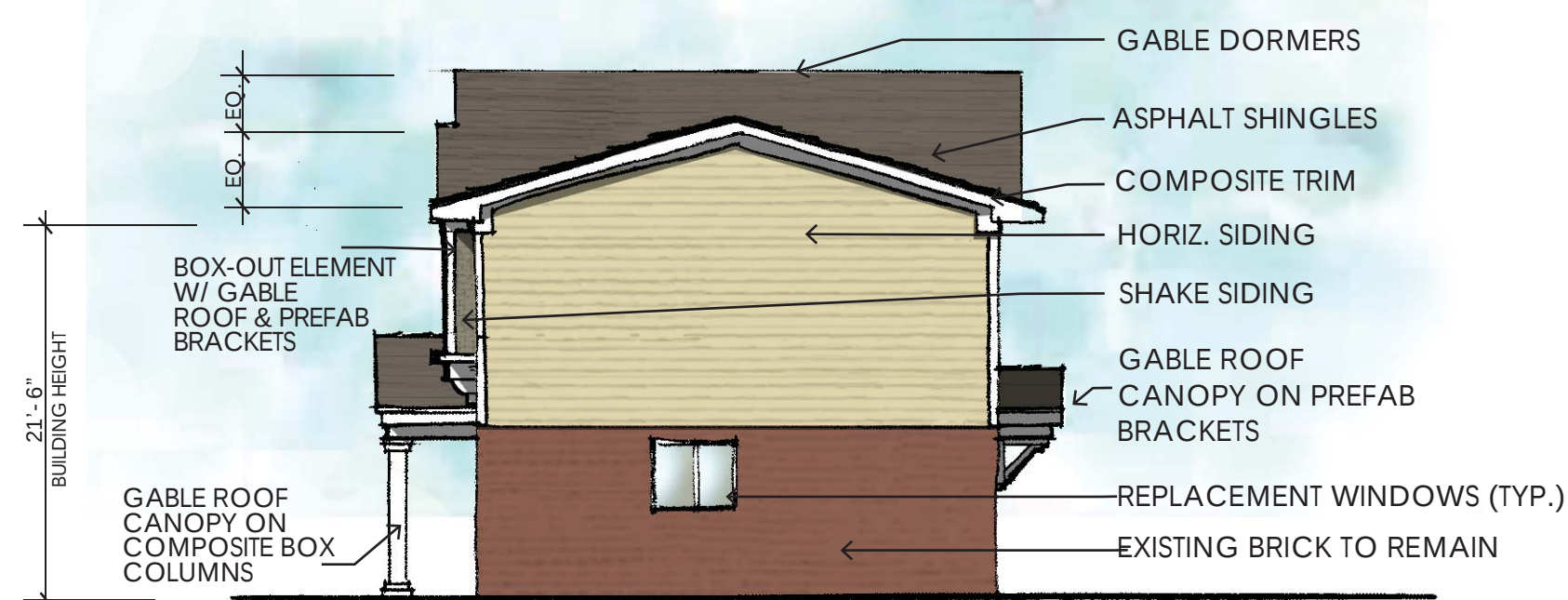
SECOND FLOOR PLAN - BUILDING 'D' **3/16" = 1'-0"**



REAR ELEVATION - BUILDING 'D' **1/8" = 1'-0"**



FIRST FLOOR PLAN - BUILDING 'D' **3/16" = 1'-0"**



RIGHT SIDE ELEVATION - BUILDING 'D' **1/8" = 1'-0"**
(LEFT SIDE SIM. OPP. HAND)

BUILDING ELEVATIONS & FLOOR PLANS FIRST STREET APARTMENTS RENOVATIONS

YPSILANTI, MICHIGAN

FSP FUSCO,
SHAFFER &
PAPPAS, INC.
ARCHITECTS & PLANNERS
550 E. NINE MILE RD.
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PHONE 248.543.4100 FAX 248.543.4141
www.fsparchitects.com

MAY 11, 2015

SHEET 1 of 1



City of Ypsilanti
Community & Economic Development Department

07 June 2015

**Staff Review of Special Nonconforming Status Application
Strong Housing
881 and 885 Madison**

GENERAL INFORMATION

Applicant: Zachary Fosler
Strong Future LDHA LP
Ypsilanti Housing Commission
Ypsilanti, MI 48198

Project: Strong Housing – 800s Madison

Application Date: 07 June 2015

Location: South side of Madison, between Hawkins & Brooks

Zoning: R-1, Single Family Residential

Action Requested: Approval for nonconforming class A use as duplex.

Staff Recommendation: Approval

PROJECT AND SITE DESCRIPTION

The lot is approximately 12,000 square feet, fronting on Madison Boulevard. The current structure will be completely rehabilitated, as shown in the attached drawings. The remainder of the site will largely remain the same.

Figure 1: Subject Site Location

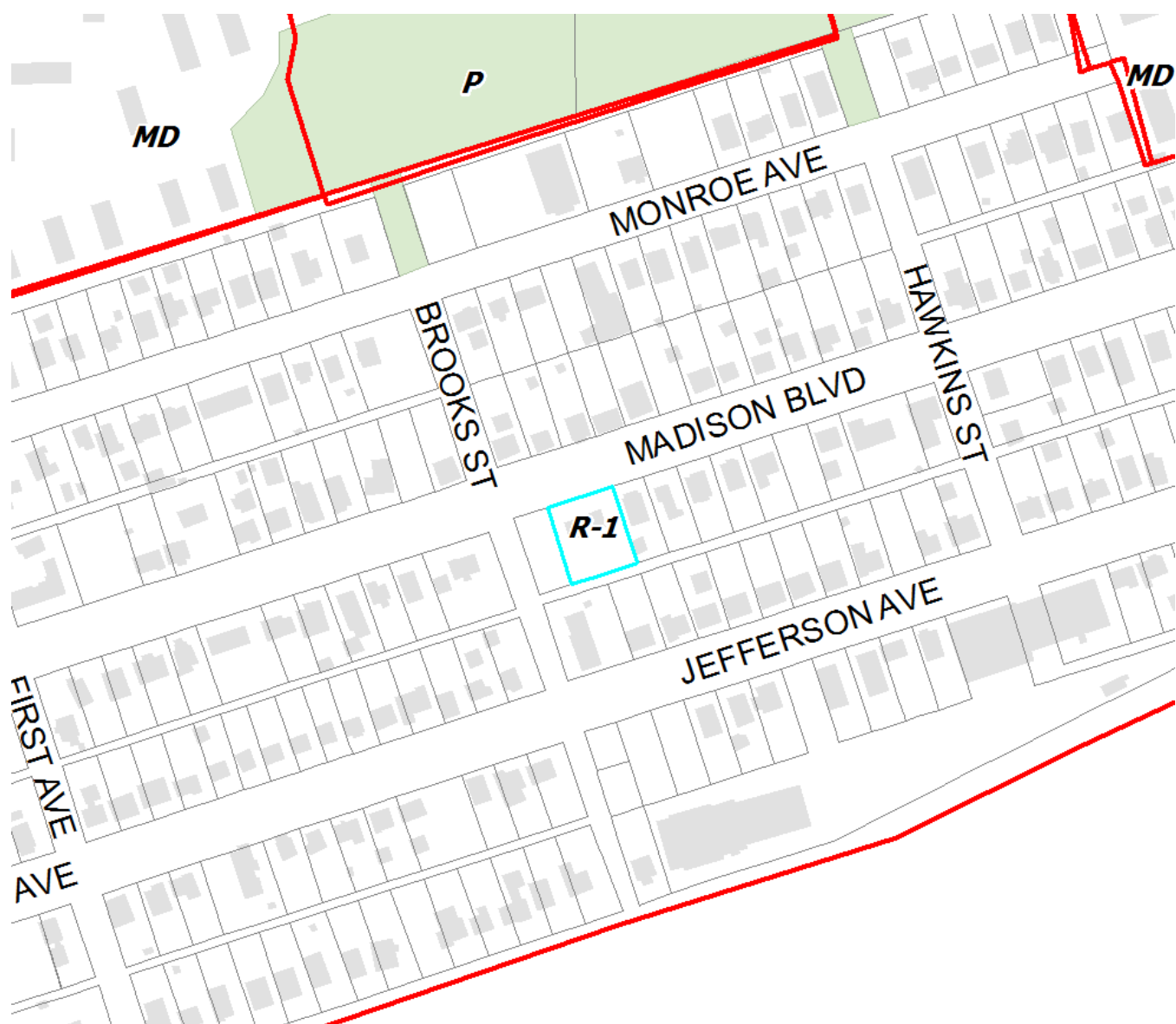


Figure 2: Site Aerial (2010)



Figure 3: Future Land use map

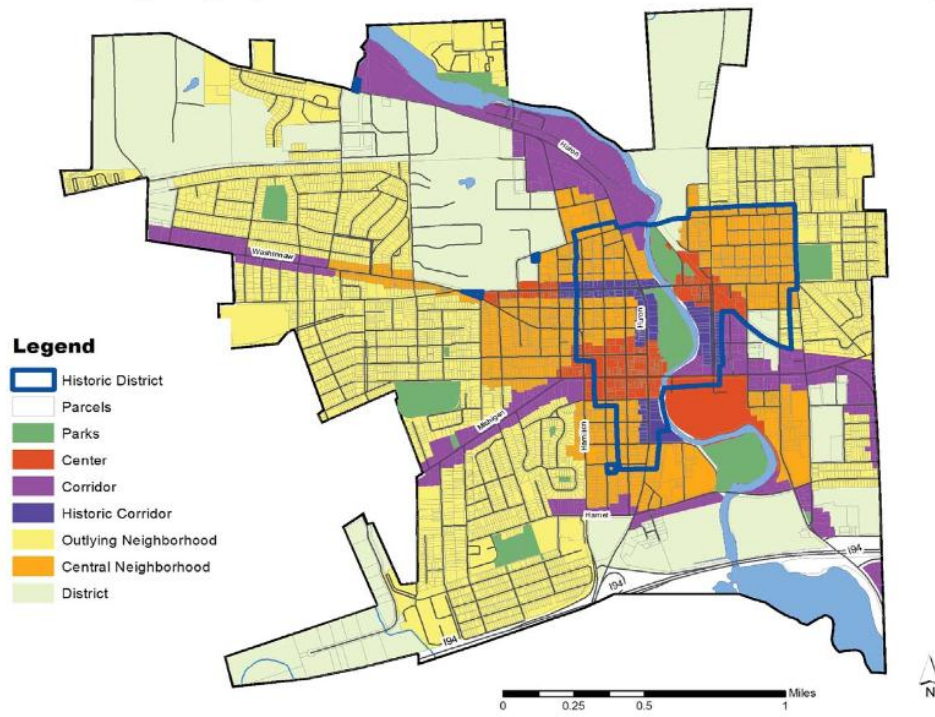


Figure 4: Existing building



Figure 5: Land Use and Zoning of Surrounding Area

	LAND USE	ZONING
NORTH	Single family detached & duplex	R-1, Single family residential
EAST	Vacant lot	R-1, Single family residential
SOUTH	Single-family detached & duplex	R-1, Single family residential
WEST	Single-family detached	R-1, Single family residential

CRITERIA AND REVIEW

§122-207

"Nonconforming uses of buildings shall be designated class A provided that the Planning Commission finds all of the following exists with respect to the use or structure:

- (1) *The use of structure was lawful at its inception.*

COMMENTS: This is met.

- (2) *The decision to continue the nonconforming use, if granted, will not alter the essential character of the area or neighborhood.*

COMMENTS: This will not alter the existing character of the neighborhood.

- (3) *Continuance of the use or structure would not be contrary to the public health, safety, or welfare or the spirit of the chapter.*

COMMENTS: The existing duplex is in poor condition. The rehabilitation will significantly improve it.

- (4) *No useful purpose would be served by strict application of the provisions of this chapter with which the use or structure does not conform.*

COMMENTS: Without the approval, the applicant has demonstrated an inability to finance the project. Without financing, the units will degrade further.

CONDITIONS OF APPROVAL

§122-207(2)

The Planning Commission may condition its approval on the following:

- (a) *Screening and landscaping in keeping with community standards to ensure compatibility with adjacent uses.*

COMMENTS: Landscaping will be typical of a single-family home.

- (b) *Restrictions on lighting, noise, odor, or visual impact.*

COMMENTS: Lighting, noise, etc will be at levels typical for a single-family home.

- (c) *Signage must comply with current zoning district requirements. Existing nonconforming signs may be required to be eliminated or reduced in size and number.*

COMMENTS: No signage is proposed. Any signage will require a permit.

- (d) *Replacement of a building must not create a more nonconforming yard setback condition which would impact on conforming properties in the immediate vicinity.*

COMMENTS: There will be no replacement of a building.

- (e) *Other reasonable safeguards and improvements may be imposed by the Planning Commission to protect conforming uses in the surrounding area.*

COMMENTS: No other safeguards appear necessary.

Items to be addressed: None.

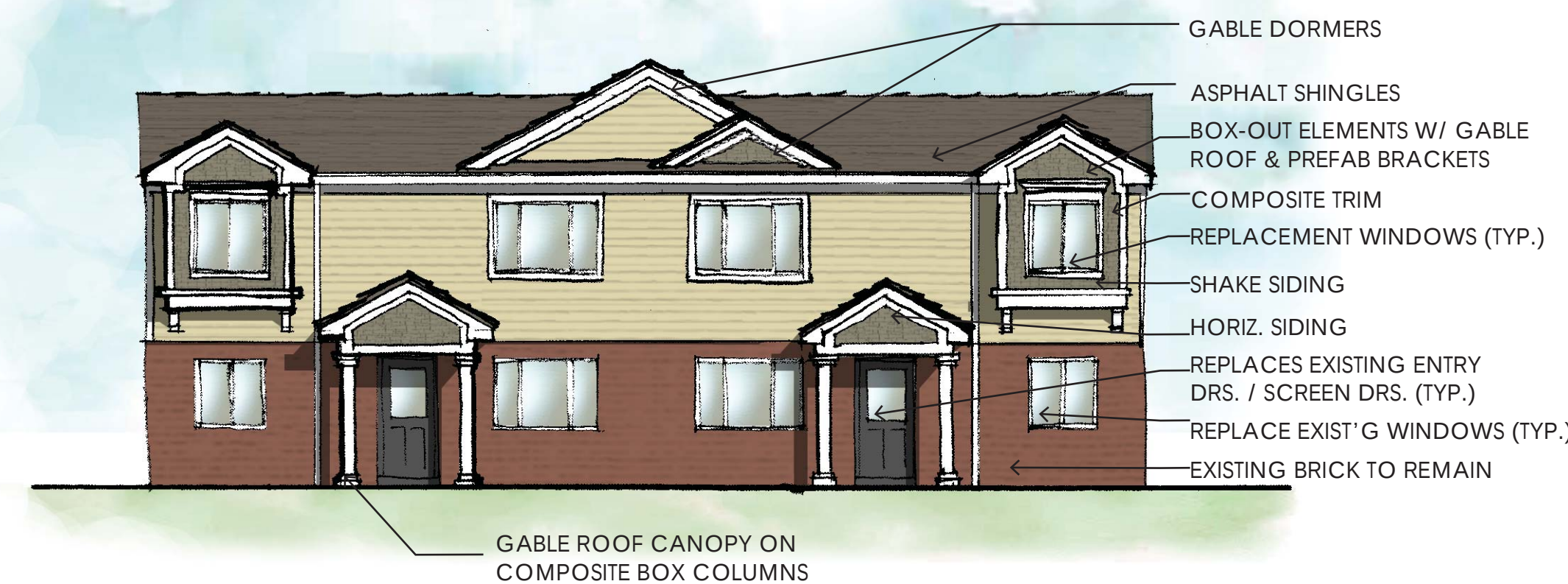
STAFF RECOMMENDATION

Staff recommends the Planning Commission designate 881 & 885 Madison as "Nonconforming A" properties, with the following findings and conditions:

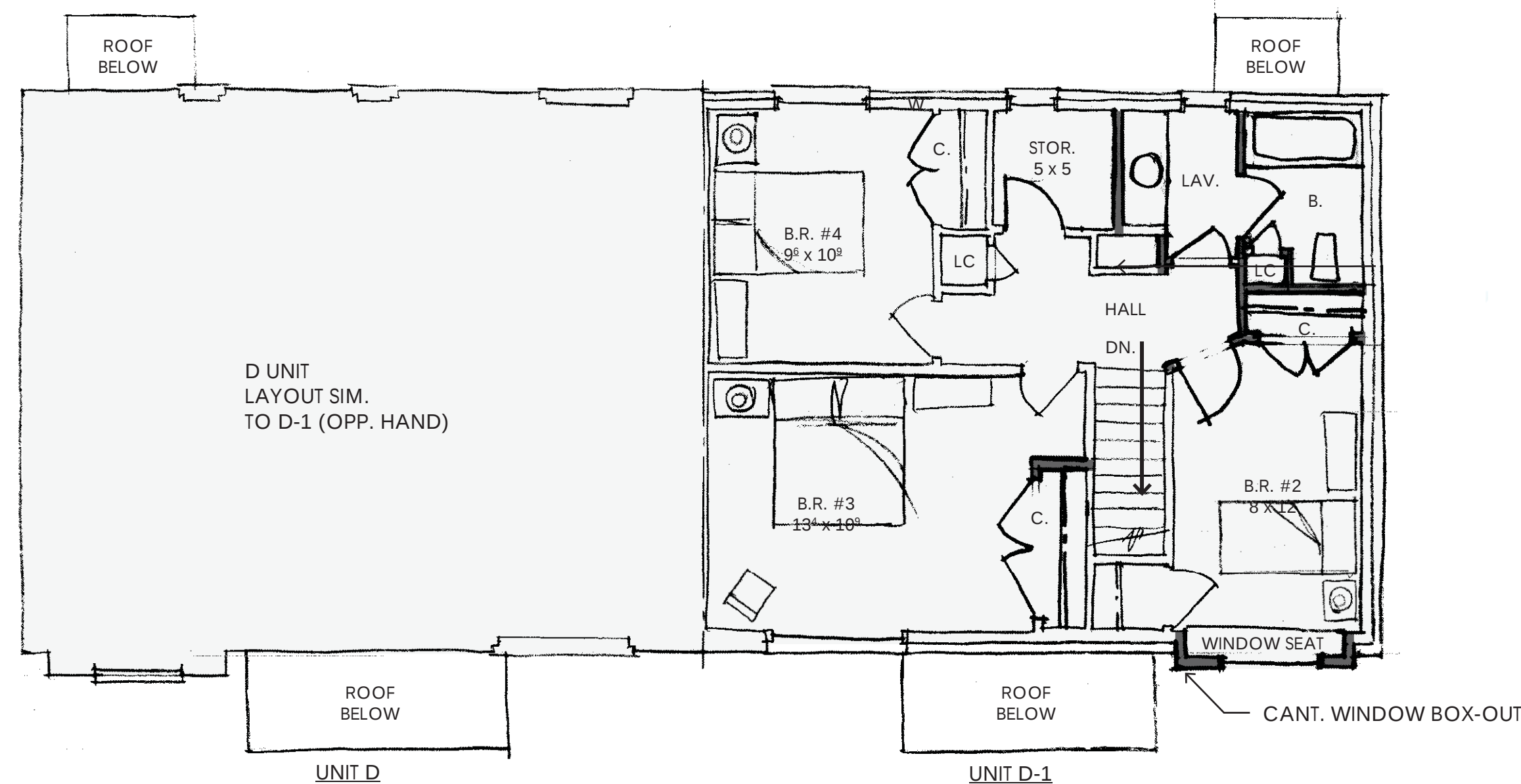
Findings

1. The application substantially complies with the ordinance.

Bonnie Wessler
City Planner, Community & Economic Development Department



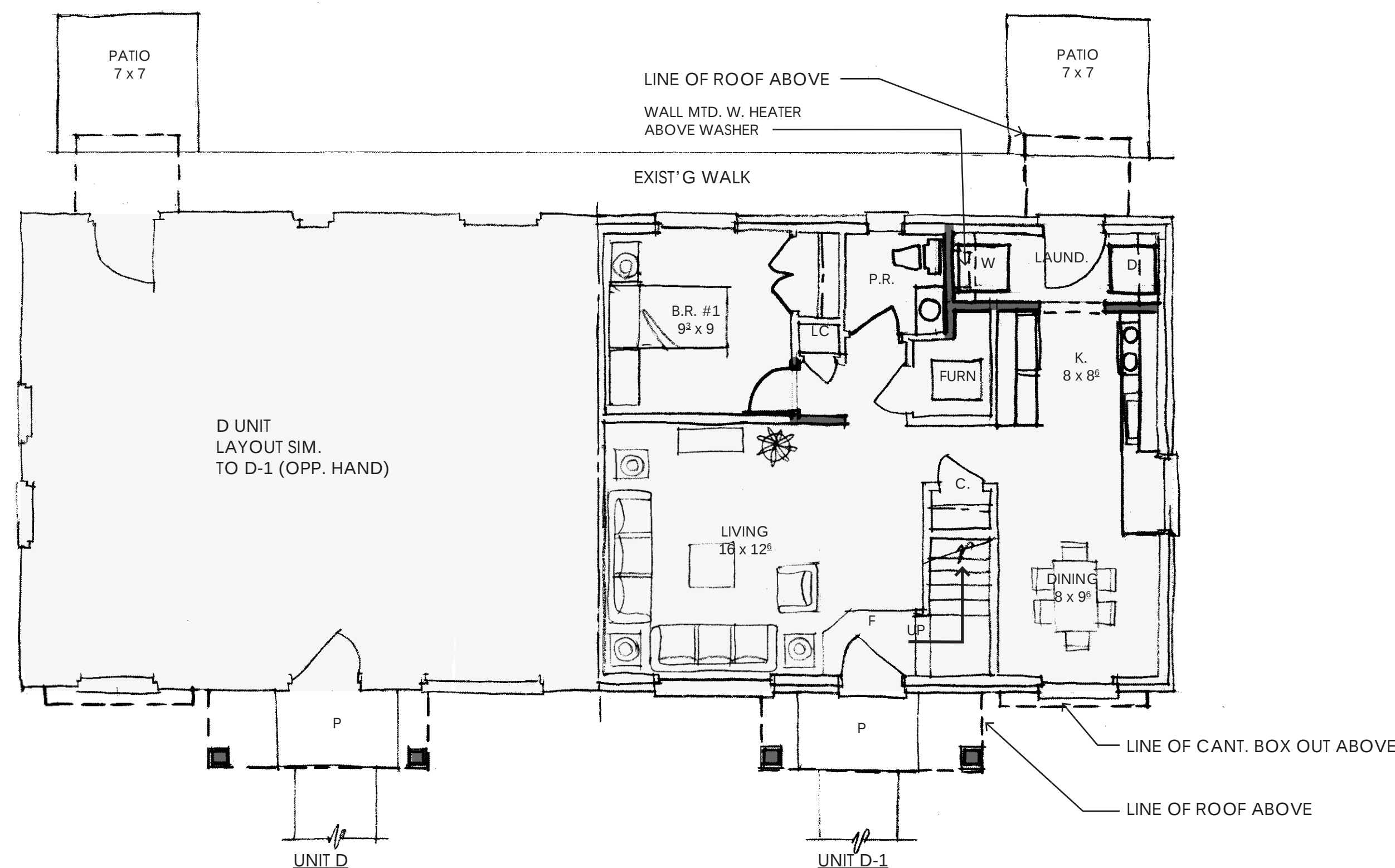
FRONT ELEVATION - BUILDING 'D' $1/8" = 1'-0"$



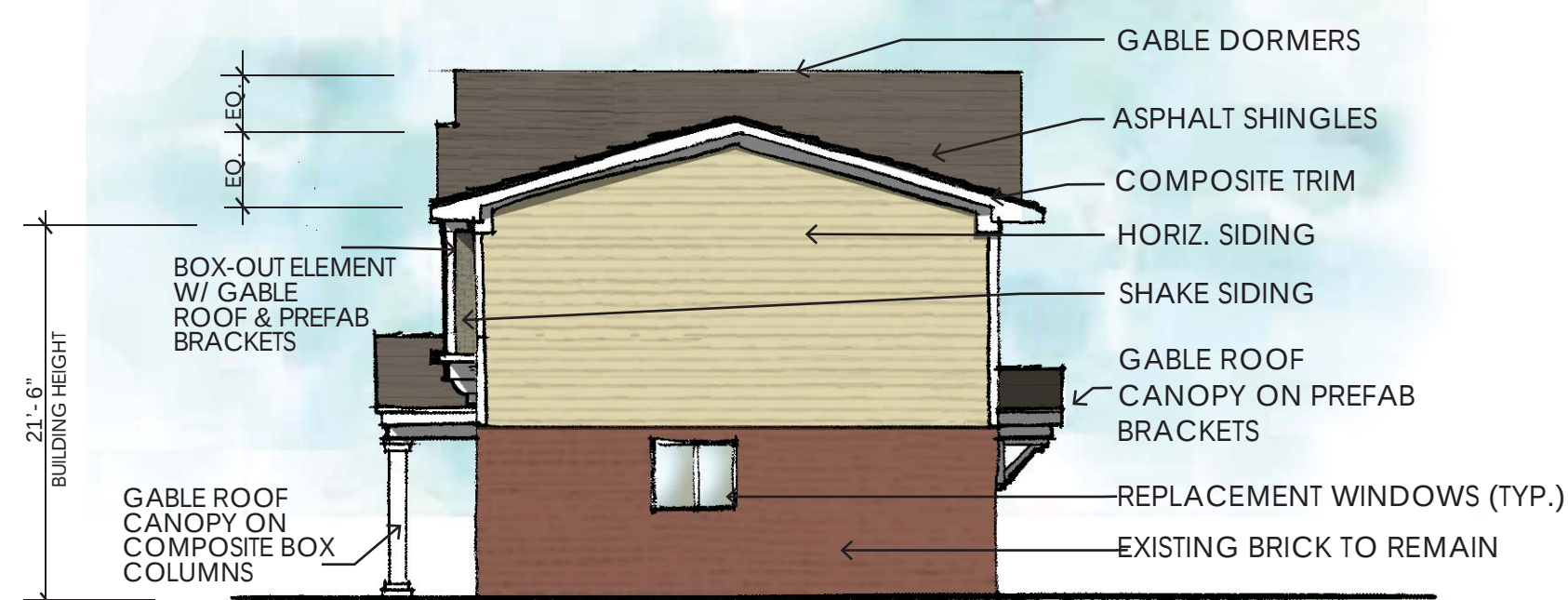
SECOND FLOOR PLAN - BUILDING 'D' $3/16" = 1'-0"$



REAR ELEVATION - BUILDING 'D' $1/8" = 1'-0"$



FIRST FLOOR PLAN - BUILDING 'D' $3/16" = 1'-0"$



RIGHT SIDE ELEVATION - BUILDING 'D' $1/8" = 1'-0"$
(LEFT SIDE SIM. OPP. HAND)

BUILDING ELEVATIONS & FLOOR PLANS 881 & 885 MADISON APARTMENTS RENOVATIONS

YPSILANTI, MICHIGAN
FSP FUSCO,
SHAFFER &
PAPPAS, INC.
ARCHITECTS & PLANNERS
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MAY 11, 2015

SHEET 1 of 1



City of Ypsilanti
Community & Economic Development Department

07 June 2015

**Staff Review of Special Nonconforming Status Application
Strong Housing
951 & 955 Madison**

GENERAL INFORMATION

Applicant: Zachary Fosler
Strong Future LDHA LP
Ypsilanti Housing Commission
Ypsilanti, MI 48198

Project: Strong Housing – 900s Madison

Application Date: 07 June 2015

Location: South side of Madison, between First & Brooks

Zoning: R-1, Single Family Residential

Action Requested: Approval for nonconforming class A use as duplex.

Staff Recommendation: Approval

PROJECT AND SITE DESCRIPTION

The lot is approximately 12,000 square feet, fronting on Madison Boulevard. The current structure will be completely rehabilitated, as shown in the attached drawings. The remainder of the site will largely remain the same.

Figure 1: Subject Site Location

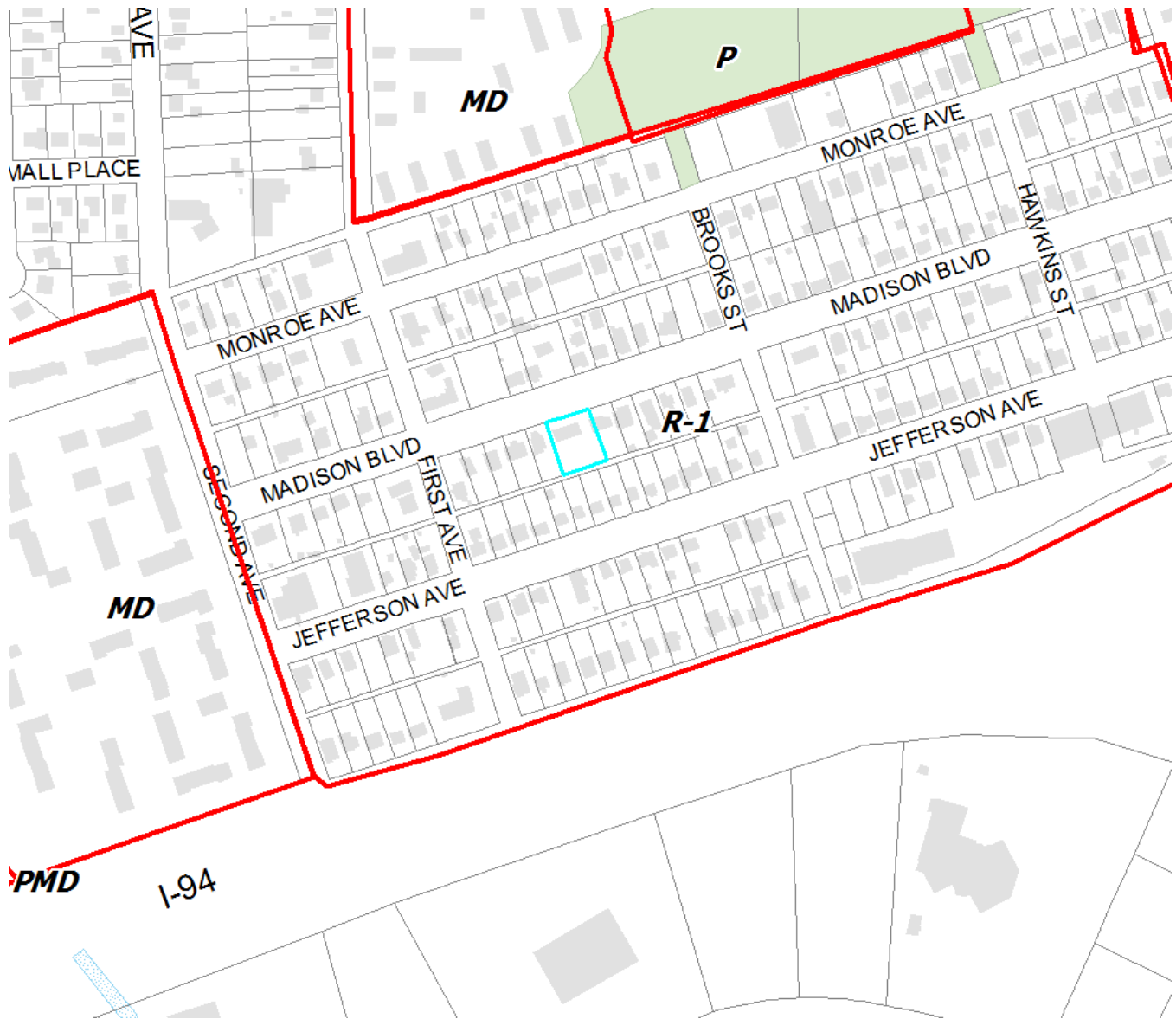


Figure 2: Site Aerial (2010)



Figure 3: Future Land use map

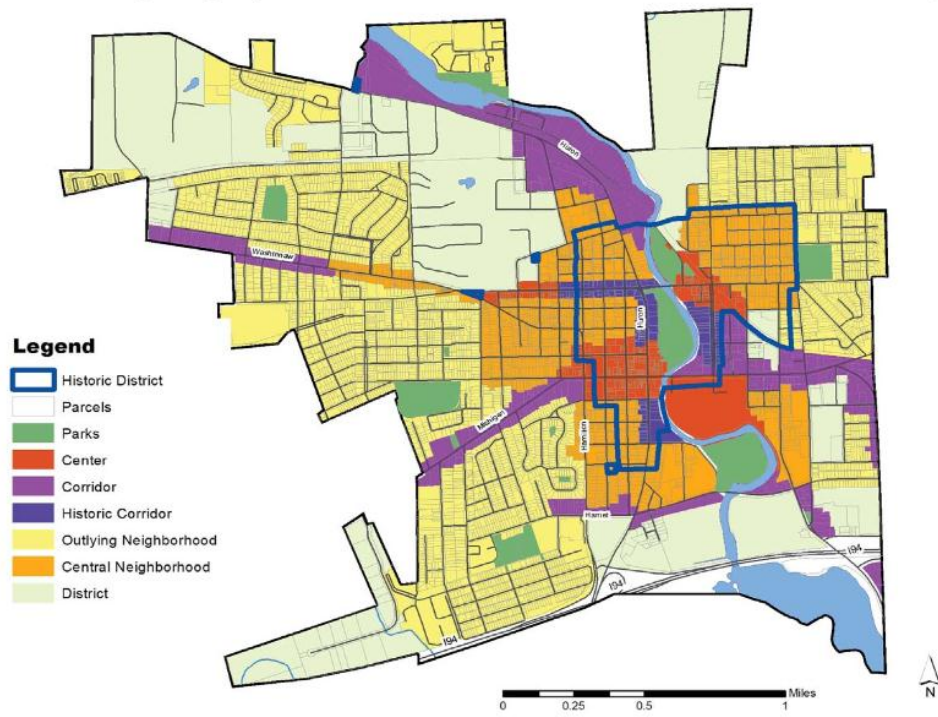


Figure 4: Existing building



Figure 5: Land Use and Zoning of Surrounding Area

	LAND USE	ZONING
NORTH	Duplex & single-family	R-1, Single family residential
EAST	Single-family	R-1, Single family residential
SOUTH	Single-family	R-1, Single family residential
WEST	Single-family	R-1, Single family residential

CRITERIA AND REVIEW

§122-207

"Nonconforming uses of buildings shall be designated class A provided that the Planning Commission finds all of the following exists with respect to the use or structure:

- (1) *The use of structure was lawful at its inception.*

COMMENTS: This is met.

- (2) *The decision to continue the nonconforming use, if granted, will not alter the essential character of the area or neighborhood.*

COMMENTS: This will not alter the existing character of the neighborhood.

- (3) *Continuance of the use or structure would not be contrary to the public health, safety, or welfare or the spirit of the chapter.*

COMMENTS: The existing duplex is in poor condition; a blue tarp is visible on the roof in the above picture. The rehabilitation will significantly improve it.

- (4) *No useful purpose would be served by strict application of the provisions of this chapter with which the use or structure does not conform.*

COMMENTS: Without the approval, the applicant has demonstrated an inability to finance the project. Without financing, the units will degrade further.

CONDITIONS OF APPROVAL

§122-207(2)

The Planning Commission may condition its approval on the following:

- (a) *Screening and landscaping in keeping with community standards to ensure compatibility with adjacent uses.*

COMMENTS: Landscaping will be typical of a single-family home.

- (b) *Restrictions on lighting, noise, odor, or visual impact.*

COMMENTS: Lighting, noise, etc will be at levels typical for a single-family home.

- (c) *Signage must comply with current zoning district requirements. Existing nonconforming signs may be required to be eliminated or reduced in size and number.*

COMMENTS: No signage is proposed. Any signage will require a permit.

- (d) *Replacement of a building must not create a more nonconforming yard setback condition which would impact on conforming properties in the immediate vicinity.*

COMMENTS: There will be no replacement of a building.

- (e) *Other reasonable safeguards and improvements may be imposed by the Planning Commission to protect conforming uses in the surrounding area.*

COMMENTS: No other safeguards appear necessary.

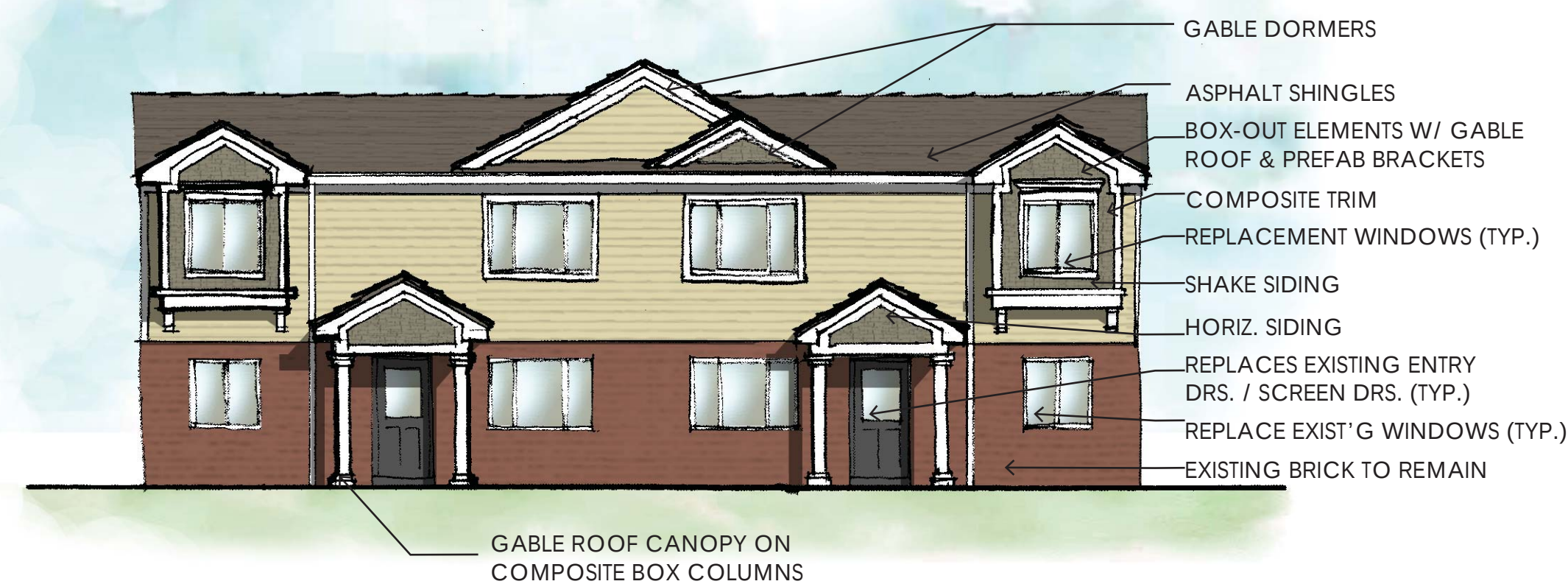
Items to be addressed: None.

STAFF RECOMMENDATION

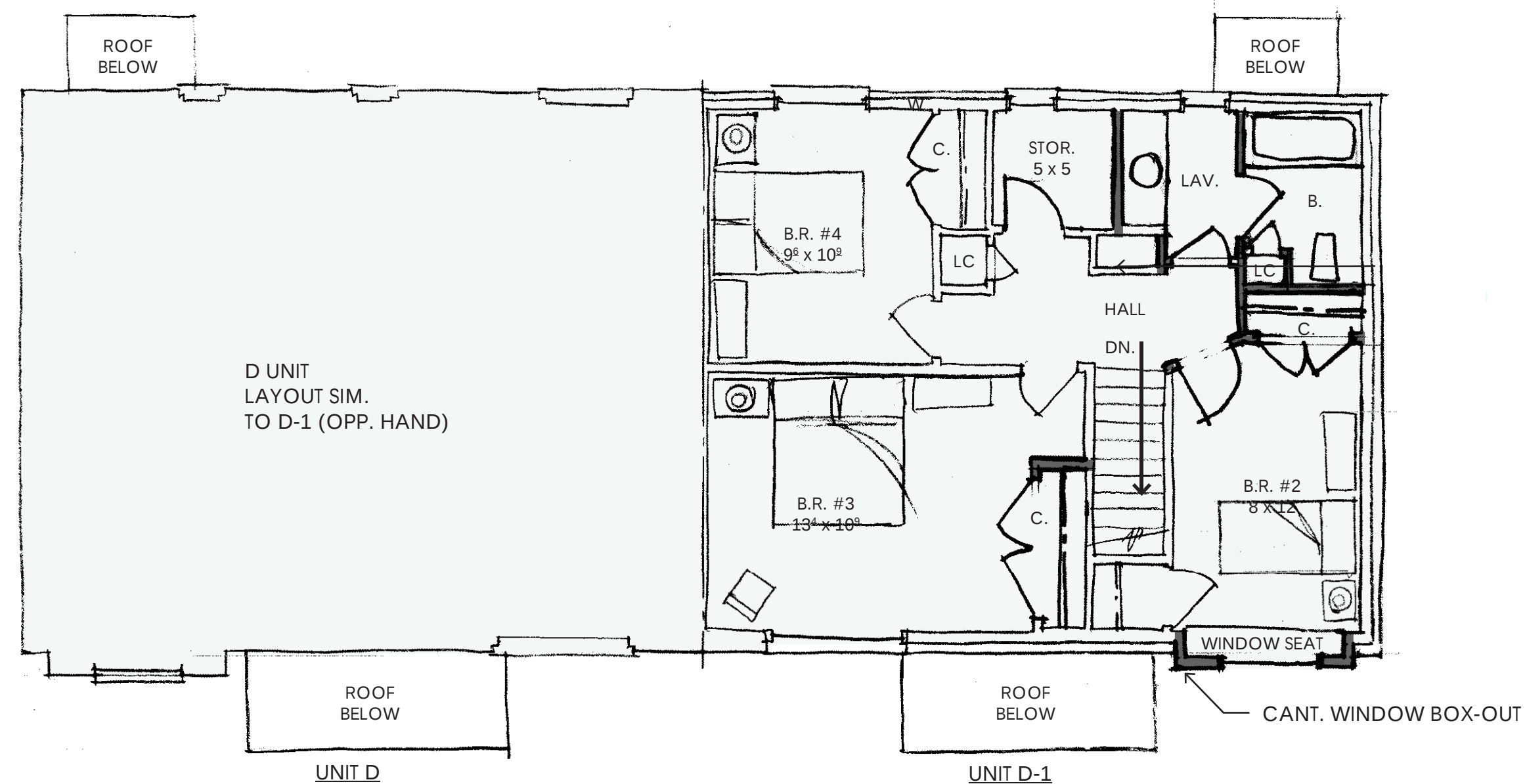
Staff recommends the Planning Commission designate 951 & 955 Madison as "Nonconforming A" properties, with the following findings and conditions:

Findings: The application substantially complies with the ordinance.

Bonnie Wessler, City Planner, Community & Economic Development Department



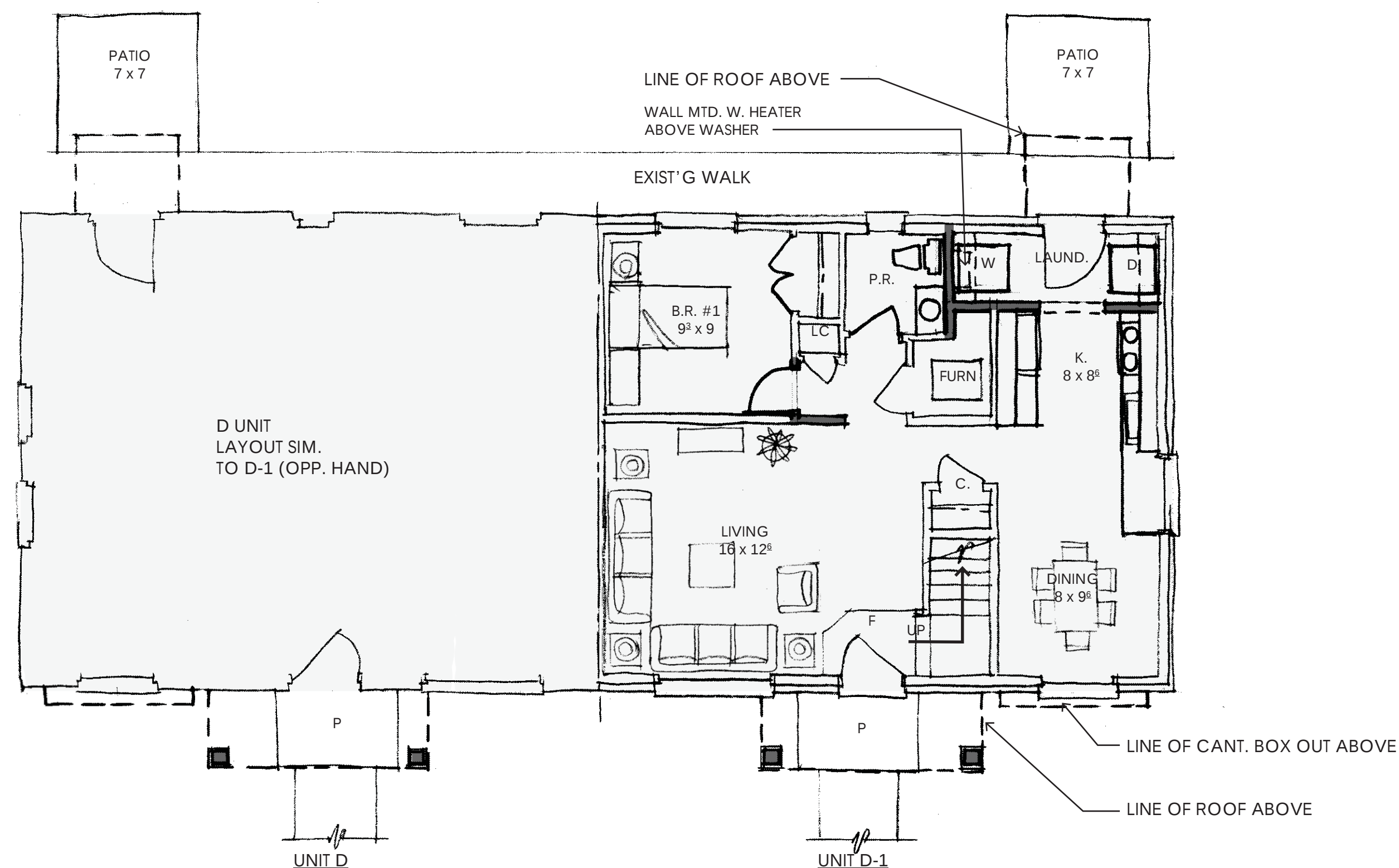
FRONT ELEVATION - BUILDING 'D' $1/8" = 1'-0"$



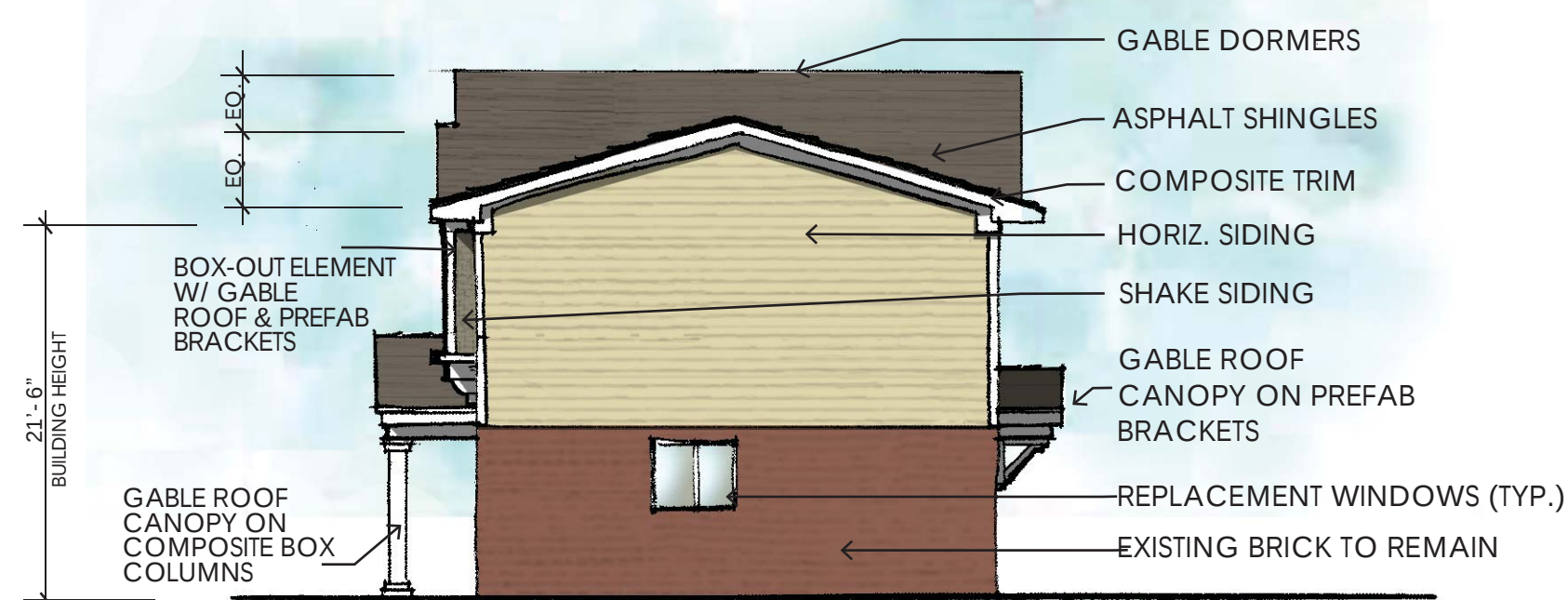
SECOND FLOOR PLAN - BUILDING 'D' $3/16" = 1'-0"$



REAR ELEVATION - BUILDING 'D' $1/8" = 1'-0"$



FIRST FLOOR PLAN - BUILDING 'D' $3/16" = 1'-0"$



RIGHT SIDE ELEVATION - BUILDING 'D' $1/8" = 1'-0"$
(LEFT SIDE SIM. OPP. HAND)

BUILDING ELEVATIONS & FLOOR PLANS 951 & 955 MADISON APARTMENTS RENOVATIONS YPSILANTI, MICHIGAN

FSP FUSCO,
 SHAFFER &
 PAPPAS, INC.
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MAY 11, 2015

SHEET 1 of 1



City of Ypsilanti
Community & Economic Development Department

07 June 2015

**Staff Review of Special Nonconforming Status Application
Strong Housing
1004, 1008, 1012, & 1016 Monroe**

GENERAL INFORMATION

Applicant: Zachary Fosler
Strong Future LDHA LP
Ypsilanti Housing Commission
Ypsilanti, MI 48198

Project: Strong Housing – Monroe

Application Date: 07 June 2015

Location: North side of Monroe, between First & Second

Zoning: R-1, Single Family Residential

Action Requested: Approval for nonconforming class A use as two duplexes.

Staff Recommendation: Approval

PROJECT AND SITE DESCRIPTION

The lot is approximately 19,000 square feet, each duplex set back quite a bit from the streets upon which they front, Monroe and First. The current structures will be completely rehabilitated, as shown in the attached drawings. The remainder of the site will largely remain the same.

Figure 1: Subject Site Location

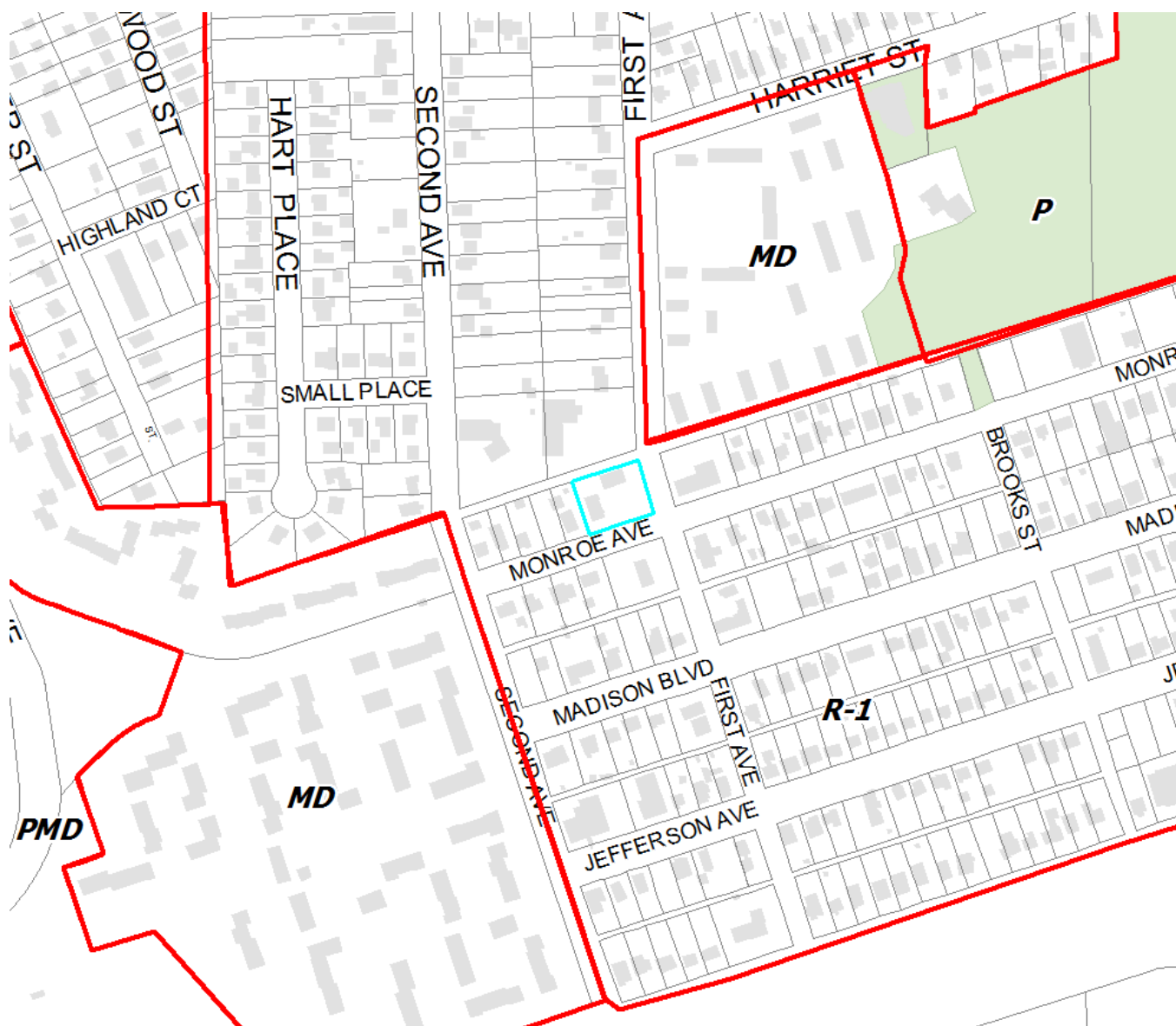


Figure 2: Site Aerial (2010)



Figure 3: Future Land use map

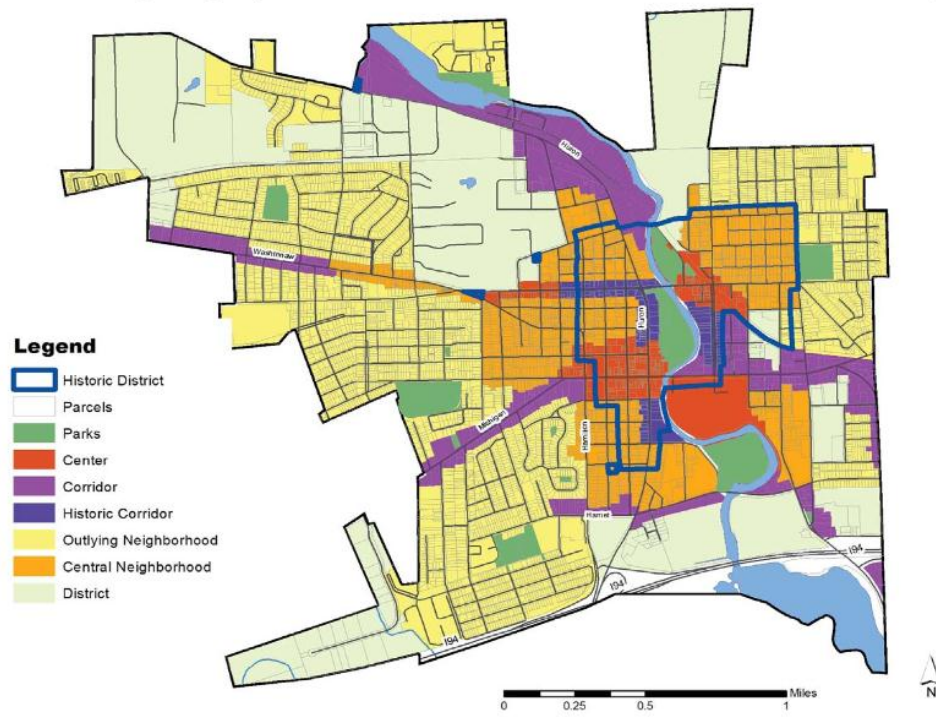


Figure 4: Existing buildings



Figure 5: Land Use and Zoning of Surrounding Area

	LAND USE	ZONING
NORTH	Church	R-1, Single family residential
EAST	Church	R-1, Single family residential
SOUTH	Duplex (YHC)	R-1, Single family residential
WEST	Single-family	R-1, Single family residential

CRITERIA AND REVIEW

§122-207

"Nonconforming uses of buildings shall be designated class A provided that the Planning Commission finds all of the following exists with respect to the use or structure:

- (1) *The use of structure was lawful at its inception.*

COMMENTS: This is met.

- (2) *The decision to continue the nonconforming use, if granted, will not alter the essential character of the area or neighborhood.*

COMMENTS: This will not alter the existing character of the neighborhood.

- (3) *Continuance of the use or structure would not be contrary to the public health, safety, or welfare or the spirit of the chapter.*

COMMENTS: The existing duplex is in poor condition. The rehabilitation will significantly improve it.

- (4) *No useful purpose would be served by strict application of the provisions of this chapter with which the use or structure does not conform.*

COMMENTS: Without the approval, the applicant has demonstrated an inability to finance the project. Without financing, the units will degrade further.

CONDITIONS OF APPROVAL

§122-207(2)

The Planning Commission may condition its approval on the following:

- (a) *Screening and landscaping in keeping with community standards to ensure compatibility with adjacent uses.*

COMMENTS: Landscaping will be typical of a single-family home.

- (b) *Restrictions on lighting, noise, odor, or visual impact.*

COMMENTS: Lighting, noise, etc will be at levels typical for a single-family home.

- (c) *Signage must comply with current zoning district requirements. Existing nonconforming signs may be required to be eliminated or reduced in size and number.*

COMMENTS: No signage is proposed. Any signage will require a permit.

- (d) *Replacement of a building must not create a more nonconforming yard setback condition which would impact on conforming properties in the immediate vicinity.*

COMMENTS: There will be no replacement of a building.

- (e) *Other reasonable safeguards and improvements may be imposed by the Planning Commission to protect conforming uses in the surrounding area.*

COMMENTS: No other safeguards appear necessary.

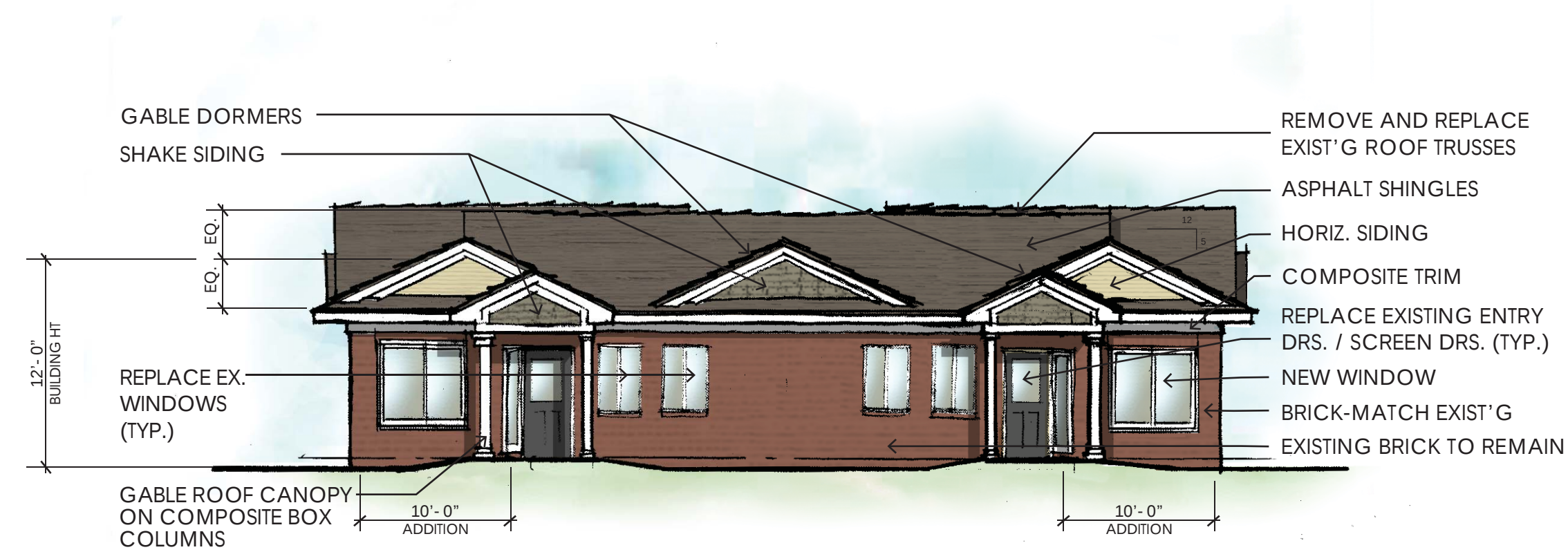
Items to be addressed: None.

STAFF RECOMMENDATION

Staff recommends the Planning Commission designate 1004, 1008, 1012, & 1016 Madison as "Nonconforming A" properties, with the following findings and conditions:

Findings: The application substantially complies with the ordinance.

Bonnie Wessler, City Planner, Community & Economic Development Department



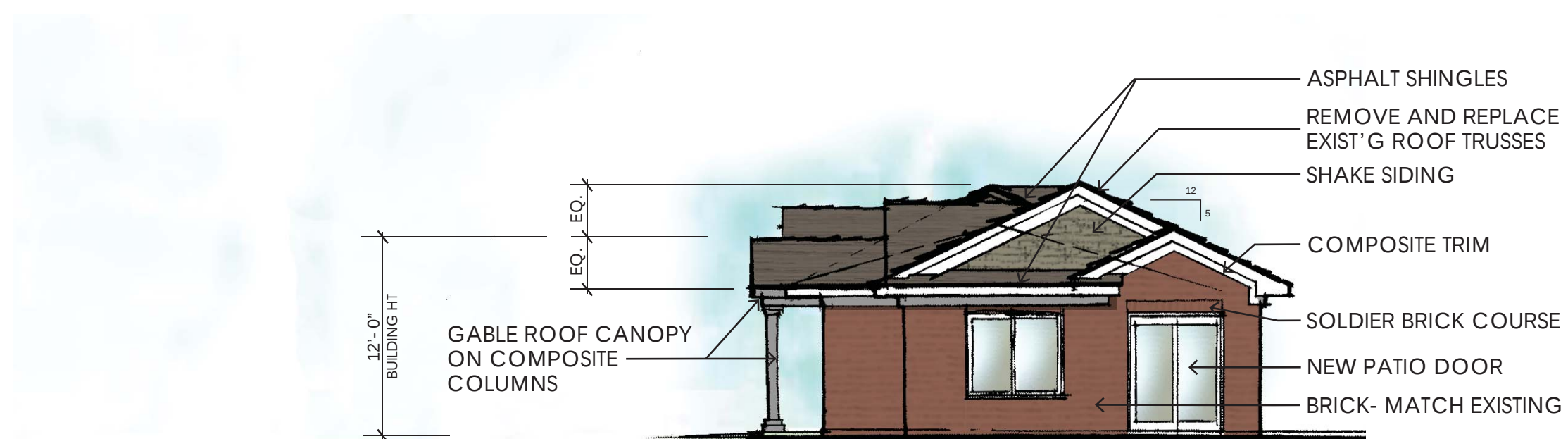
FRONT ELEVATION - BUILDING 'C'

1/8" = 1'-0"



REAR ELEVATION - BUILDING 'C'

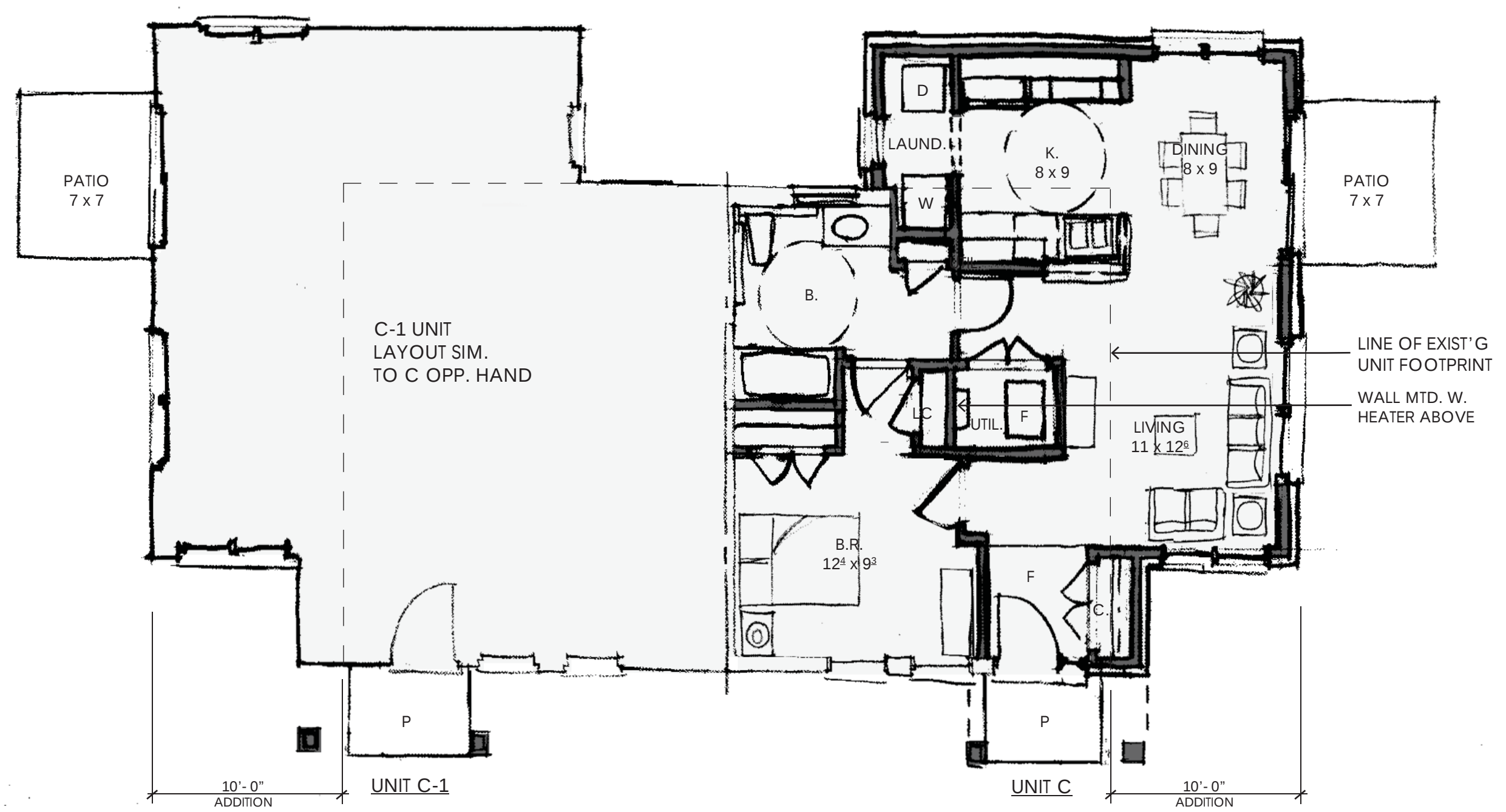
1/8" = 1'-0"



RIGHT SIDE ELEVATION - BUILDING 'C'

1/8" = 1'-0"

LEFT SIDE SIM. - OPP. HAND



FLOOR PLAN - BUILDING 'C' (PH)

3/16" = 1'-0"

756 S.F. / UNIT

BUILDING ELEVATIONS MONROE APARTMENTS RENOVATIONS

YPSILANTI, MICHIGAN

FSP FUSCO,
SHAFFER &
PAPPAS, INC.
ARCHITECTS & PLANNERS
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MAY 11, 2015

SHEET 1 of 1



April 21st, 2015

**Staff Review of special use Application
Complete Auto
311 S Grove**

GENERAL INFORMATION

Applicant: Ayad Jacksi
Complete Auto
311 S Grove St
Ypsilanti, MI 48198

Project: Complete Auto

Application Date: 4/20/15

Location: Located in the Southeast corner of S Grove street and E Spring Street

Zoning: GC General Corridor

Action Requested: Approval

Staff Recommendation: Approval with conditions

PROJECT AND SITE DESCRIPTION

The applicant is currently a legal nonconforming auto repair shop, and is applying for a special use permit for auto sales. They had applied for a conditional rezoning to B4 in 2012. The conditional rezoning was approved, but the conditions had to be met by the end of 2013. They were not; they were granted until the end of 2014 to meet the conditions. They obtained site plan approval in August of 2014, but were unable to purchase the land to the north, due to lack of a complete survey, or to start work on the site plan, as asphalt plants had closed.

Staff recommended that their conditional rezoning not be renewed upon its expiration in December of 2014 for two reasons: first, so that the "conditional B4" not conflict with the new zoning ordinance, second, because the conditions had not been met for the better part of two years. Staff recommended to the applicant that since they were now zoned GC, General Corridor, they were eligible to apply for a special use permit for the existing site. Thus, this review uses the 2014 site plan (which has expired) as its basis, disregarding entirely those items to the north of the existing property line.

This is a unique case in many respects due to the complicated and extended timeline. It is not intended to set precedent in any way, shape, or form.

Figure 1: Lot outline, zoning, and building footprints

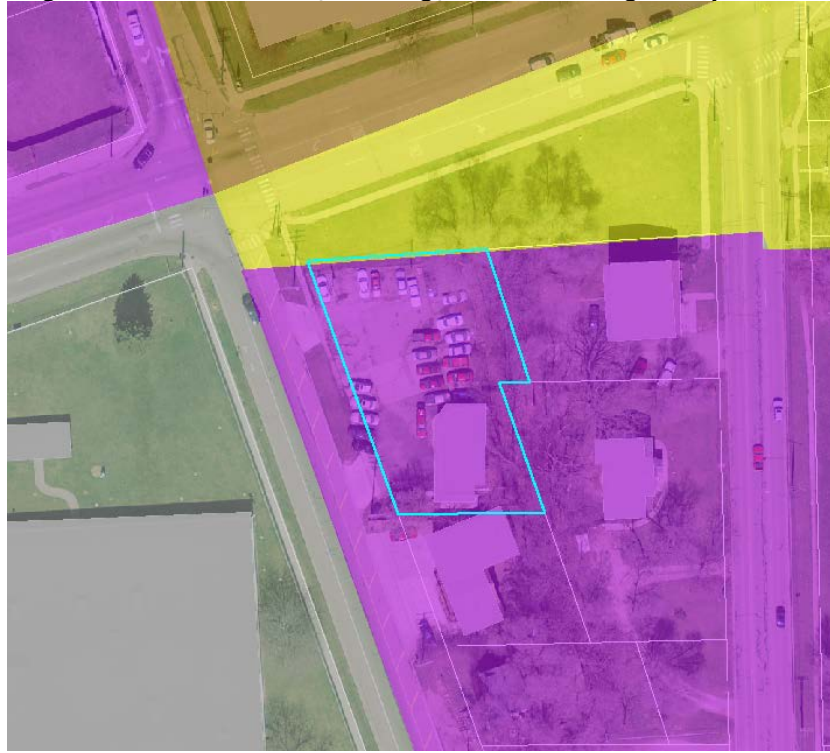


Figure 2: Subject Site Location and 2010 Aerial Photo



Figure 3: Looking south along Grove property line



Figure 4: Looking south-east from inside the Grove entrance.



Figure 5: Land Use and Zoning of Surrounding Area

	LAND USE	ZONING
NORTH	138-unit multifamily Commercial Garage (major repair)	Core Neighborhood (directly north) General Corridor (northwest)
EAST	Multifamily residential (6 unit bldg & 3 unit bldg)	General Corridor (directly east) Single Family Residential (northeast)
SOUTH	Two family residential	General Corridor
WEST	Manufacturing/Vacant Angstrom Capital Holdings, LLC	PMD- Production, Manufacturing, and Distribution

SPECIAL USE: CRITERIA AND REVIEW

§122-165(b)

- (1) *The proposed use conforms with all the provisions and requirements of this chapter, including site plan review standards (section 122-128) and the applicable site development standards for the specific use, as well as the spirit and intent of this chapter and the Master Plan. The location, scale, and intensity of the proposed use shall be compatible with adjacent uses and the zoning of the land. Height, location and size of buildings shall be compatible with uses and buildings on adjacent properties. The intensity of the proposed use, such as volume, frequency and times of operation, and its compatibility shall be considered.*

COMMENTS: This is addressed in the site plan review, below.

- (2) *The proposed use shall promote the use of land in a socially and economically sustainable manner and shall not be detrimental, hazardous, or disturbing to existing or future neighboring uses, persons, property or public welfare. Noise, odor, smoke and potential contamination of air, soil and water and its potential effect on neighboring uses, persons and property, as well as public welfare, shall be considered.*

COMMENTS: The site evidently faces ongoing maintenance challenges. As it is backed by a hill and a densely shrubby area, it is difficult to keep clean.

- (3) *The proposed special land use shall be designed, constructed, operated and maintained to assure long-term compatibility with surrounding land uses. Consideration shall be given to the placement, bulk, and height of structures; materials used in construction; location and screening of parking areas, driveways, outdoor storage areas, outdoor activity areas, and mechanical equipment; nature of landscaping and fencing; and hours of operation.*

COMMENTS: This is addressed in the site plan review, below.

- (4) *The proposed special land use shall not present unreasonable adverse impacts on the transportation system. Consideration shall be given to the estimated pedestrian, bicycle and vehicular traffic generated by such use, access to transit, proximity to major thoroughfares, proximity to intersections, required vehicular turning movements, and provisions for pedestrian and bicycle traffic.*

COMMENTS: This will not hinder any of the traffic or bike routes in the area.

- (5) *The proposed use shall not create additional requirements at public cost for public facilities and services that will be detrimental to the economic sustainability of the community.*

COMMENTS: No adverse impacts on public services are anticipated.

Items to be addressed: None.

SITE PLAN: CRITERIA AND REVIEW**§122-128****STANDING****§122-128(1)**

The applicant is legally eligible to apply for site plan review, and all required information has been provided.

REQUIREMENTS**§122-128(2)**

"The proposed site plan conforms with all the provisions and requirements, as well as the spirit and intent of this chapter and the Master Plan. The proposed development will meet all the regulations of the zoning district in which it is located."

Figure 6: Requirements

ORDINANCE REFERENCE	REQUIRED		EXISTING CONDITIONS	PROPOSED
GC: BUILDING TYPE §122-274	Determined by lot size		Single-story commercial	Single-story commercial
LOT REQUIREMENTS				
Width ft	Min 50	Max 300	160'	unchanged'
Depth ft	Min 100	Max 300	105'	unchanged
Area sf	Min 7500	Max 90,000	13,773 ft ²	unchanged
Coverage %	Min -	Max 60%	1383ft ² 10%	unchanged
BUILDING ENVELOPE AND HEIGHT				
Street setback ft	Min 5	Max 15	30 – 46'	30'-50'
Side setback ft	Min 0	Max -	South: ~13' North: ~90'	S: unchanged N: ~80'
Rear setback ft	Min 15 (25 if adjacent to existing SF)	Max -	3'2"	unchanged
Frontage buildout %	Min 50	Max 100	35'	None, essentially unchanged. The building does not enter the “frontage zone” at all.
Height stories	Min 1	Max 1	1	1
ACCESSORY BUILDING ENVELOPE, FOOTPRINT, AND HEIGHT				
Street setback ft	Min 30	Max --	29.9'	Unchanged
Side setback ft	Min 10	Max --	11'	Unchanged
Rear setback ft	Min 10	Max --	22'	

ORDINANCE REFERENCE	REQUIRED		EXISTING CONDITIONS	PROPOSED
Footprint sf	Min --	Max 800	162 sf	
Height ft	Min --	Max 15	N/A	
PARKING PROVISIONS	Location: side, street side, and rear		Front and street side yard	Street side and in-side. Frontage is used for merchandise.
§122-861 et seq	SIGNAGE	Master sign plan: HC, NC, GC, C, PMD, P; non-res uses in R1, CN-SF, CN-Mid, CN, MD	All signs on the property must be approved by the City of Ypsilanti. All signs must meet the regulations of the zoning code	Applicant to pull a permit for existing signs.

Items to be Addressed: Pull permit for signs.

BUILDING LOCATION AND SITE ARRANGEMENT

§122-128(3)

"All elements of the site plan shall be harmoniously and efficiently organized in relation to the character of the proposed use, the size and type of lot, the size and type of buildings, and the character of the adjoining property. The site shall be so developed as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter."

The building is proposed to be expanded slightly to the north. Otherwise unchanged.

Items to be Addressed: None

SITE ACCESS, TRAFFIC, AND PARKING

§122-128(4)

"With respect to vehicular and pedestrian circulation on the site, including walkways, interior drives, and parking; circulation shall to the extent possible create potential cross-and joint-access to adjacent parcels and the existing block layout. Special attention shall be given to the location, number and spacing of ingress and egress points; general interior circulation including turnaround areas; adequate provisions for delivery of services (trash removal, school buses, mail and parcel delivery); separation of pedestrian and vehicular traffic; avoidance of building corners next to access drives; identification of addresses; storage of plowed snow; and arrangement of parking areas that are safe and convenient, and insofar as practicable, do not detract from the design of the proposed buildings and structures, neighboring properties, pedestrian and bicyclist safety, access to transit and flow of traffic on adjacent streets. All buildings or groups of buildings shall be so arranged as to permit adequate access by emergency vehicles as required by the city building code."

Complete Auto's only access point is off South Grove Street. Sidewalks are along Spring and Grove.

Figure 5: Requirements

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
GC: §122-273 CIRCULATION STANDARDS	CN, C, HC, NC, GC, HHS: Sites <3 acres: circulation plan to ID potential cross and joint access to adjacent parcels Sites >3 acres: block plan		Not provided; adjacent parcels are residential. Access sharing is not desired in this location at this time.
	Easements: nonmotorized plan, ReImagine Washtenaw, other	N/A	N/A
§122-834 PARKING Dimensions	• 9'x18' minimum, exceptions if adjacent to wall or overhang provided • May have 20% small car (8'x16', signed) • May have 10% motorcycle (5x8', signed)		Met.
§122-835 Access	5' walkway from parking lot to parks, commercial, transit, walkways, institutions; raised/marked crosswalks within parking lot		No walkway provided. However, due to nature of the site, vehicle and pedestrian/nonmotorized traffic will be constantly mingling and outside of proscribed areas.
Ingress & Egress	• Aligned across ROW, or offset by 25' • >50' from intersection • 20'-30' driveway		Met.
Internal Maneuvering	Each driveway providing access to an off-street parking lot containing five or more parking spaces shall be a minimum of ten feet in width. Where a turning radius is necessary, it shall be an arc that allows unobstructed vehicle flow		Met
Surfacing	All parking and loading facilities and access drives shall be paved with a durable bonded material in accordance with accepted engineering standards	Provided	Existing. Maintenance shall be provided as needed.

Drainage	All off-street parking and loading areas shall be graded and drained to public storm sewers. As an alternative, if in the opinion of the City's consulting engineer		Existing.
Striping	For parking lots containing five or more spaces, all spaces shall be outlined with three-inch wide strips of white or yellow paint, except that barrier-free spaces shall be blue, with a symbol of compliance in blue.		Parking lot shall be restriped.
Wheel Stops	For parking lots containing five or more spaces, wheel stops or curbing shall be provided for all parking spaces to prevent any vehicle from projecting beyond the parking lot area, bumping any wall or fence, or encroaching upon any landscaping.		Curbing provided for parking area (east side).
Lighting	With the exception of facilities for one-and two-family dwellings and for multiple-family dwellings on individual lots containing no more than four units, parking and loading facilities utilized during night-time hours shall be artificially illuminated.		Show lighting detail.
Screening & Landscaping (internal)	1 tree per 8 spaces		n/a
	1 landscape island for each 16 spaces		n/a
	Islands w trees: 9' wide min and 160' sf Islands w 5' min walkway: 11' wide min Islands: curbed or used for stormwater		n/a
	All aisle-ends & corners protected w curbed island	Existing non-conforming	East parking bay shows aisle-end protection.
	3' between curb and planting (5' if vehicle overhang)	N/A	Met.
Screening & Landscaping (perimeter)	Screened in accordance with 703 if abutting R1, MD, CN, CN-Mid, CN-SF		n/a

		3'-4' screen 80% opacity where visible from ROW		Screening plantings of boxwoods & ornamental grass along Grove ROW.
		Landscaped areas, walls, structures, walks- must be protected by curbing		Met.
§122-836	Motor spaces	1 space per employee 1 space for each auto service stall. 1 space per 500 sqft sales room or outdoor sales area.	1 employee (1) 2 service stalls (2) 2430 outdoor sales area (5) =8	6 parking spaces.
122-837	Parking discounts	Transit		
		Alternative Vehicles		
		PC discretion, special circumstances not listed above		20 % reduction of requirement requested.
§122-647	SIDEWALKS	provide a sidewalk or shared-use path		
§122-649	TRAFFIC VISIBILITY	Maintain shrubs/other obstructions lower than 30" and trees/other obstructions higher than 8': At driveway: within a 10'x10' triangle formed by the street ROW line and the edge of the driveway At intersection: within a 25' x 25' triangle formed by an extension of the property lines, as measured from the pavement edges.		Met.

Items to be Addressed:

Detail on lighting required.

Request 20% waiver of parking requirement.

ENGINEERING & STORMWATER

§122-128(6), §122-128(7)

(6) Adequate services and utilities including sanitary sewers shall be available or provided, with sufficient capacity to properly serve the development. Appropriate measures will be taken to ensure that site drainage will not adversely affect adjoining properties or the capacity of the public storm drainage system, or nearby bodies of water. Provisions shall be made to accommodate stormwater and prevent soil erosion. All stormwater management facilities, including but not limited to storm sewers and detention/retention facilities, shall be designed in accordance with the "Rules of the Washtenaw County Water Resources Commissioner," together with any special provisions established by the city.

(7) Natural resources will be protected to the maximum feasible extent. The proposed development will not cause soil erosion or sedimentation problems, and will respect floodways or floodplains on or in the vicinity of the subject property.

The site, absent the area to the north, is not expanding its impervious footprint, nor does it require new utilities. No new engineering review is required.

Items to be Addressed: None

SCREENING**§122-128(8)**

"The site plan shall provide reasonable visual and sound privacy for all dwelling units on or adjacent to the property. Fences, walks, barriers, and landscaping shall be used, as appropriate, for protection and enhancement of the property. All outdoor storage of materials, loading and unloading areas, and refuse containers shall be screened or located so as not to be a nuisance. Outdoor lighting shall be shielded so as to not adversely affect neighboring properties or traffic on adjacent streets."

Figure 6: Screening

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
§122-641 Lighting	• Dark Sky compliant; may be full cutoff where affecting residential uses • not >0.5 fc @ lot line • not >16'in height • not < 0.3 fc		Show detail.
§122-650 Refuse Containers	Masonry enclosure 1' taller than dumpster (no less than 6'), in rear yard, 80% opaque swing door, on a concrete pad		No outdoor refuse storage shown.
§122-703 Screening Between Land Uses <i>if conflicting use</i>	Visual buffer of at least 80% opacity and 6' height		Request waiver, as grade change and existing brush provide adequate screening.
§122-704 Street Trees	1 tree per 30' of lineal frontage, centered between sidewalk and back of curb: 160'/30' = 6 trees		None shown. Provide street trees.
	Conformance with Urban Forestry plan		Provide street trees.
§122-707 Foundation Landscaping <i>Required in MD, PMD zoning districts and with (Large Footprint) Single Story Commercial Buildings on front or sides of buildings facing public ROW, parking, or other access</i>	6 shrubs per 30 lineal feet of applicable building frontage in 6' wide planting area		Waiver requested due to existing nonconforming site layout and auto-oriented nature of building.
§122-708 Site Landscaping	10%		10%
§122-710 Exterior Electrical	Screen when visible from any primary visual exposure area		n/a

Items to be Addressed: Waiver requested for screening between land uses due to existing conditions. Provide street trees. Waiver requested for foundation landscaping.

STAFF RECOMMENDATIONS: SPECIAL USE

Staff recommends the Planning Commission **approve** the Special Use Permit application for auto sales at 311 S Grove with the following findings and conditions:

Findings: The application is substantially in compliance with §122-165(b).

Conditions: Special use approval shall be subject to approval of sketch plan.

STAFF RECOMMENDATIONS: SKETCH PLAN

Staff recommends the Planning Commission **approve** the Sketch Plan for auto sales and minor repair, discarding the portions of the site shown not currently in their control, for at 311 S Grove with the following findings, waivers, and conditions:

Findings

1. The application substantially complies with §122-127.

Waivers

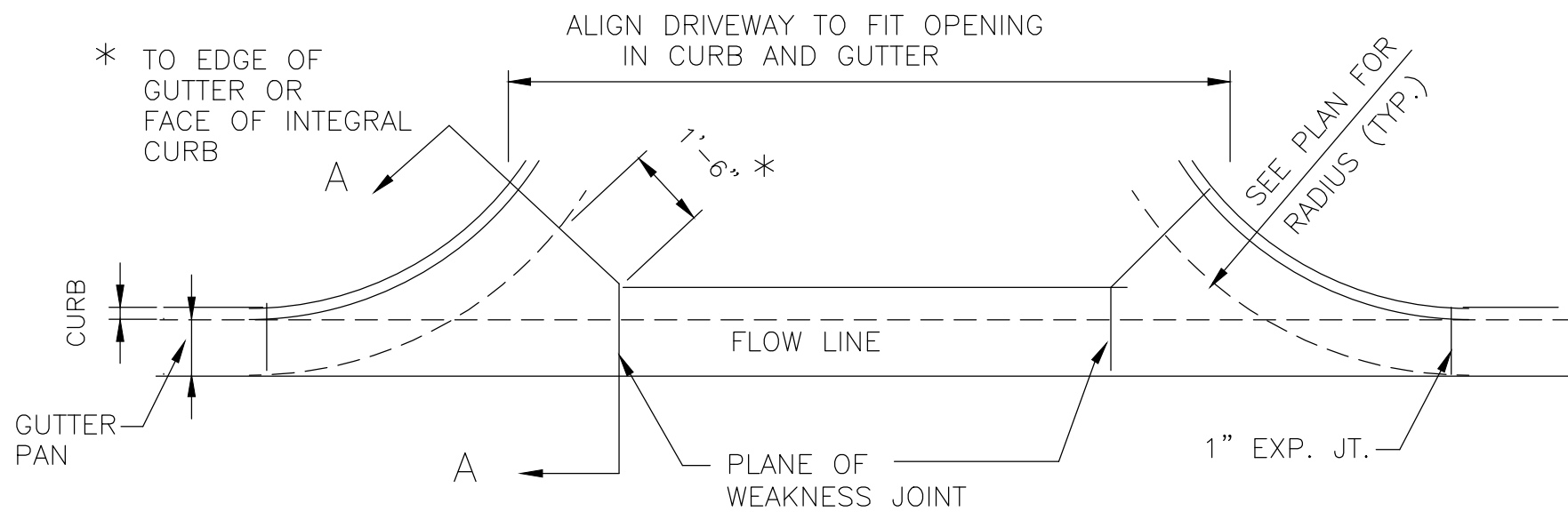
1. From foundation landscaping requirements, due to the auto-oriented nature of the existing nonconforming building.
2. From screening between land uses, due to the significant grade changes and existing vegetation.
3. From 20% of the parking requirement, due to the proximity of a bus stop, the border to border trail, and the sidewalk network.

Conditions

1. Provide information regarding site lighting.
2. Provide street trees in accordance with adopted Forestry Plan.
3. Provide a bicycle parking space.

Gino Piccirilli & Bonnie Wessler
Planning & Development Dept.

CC File
 Applicant

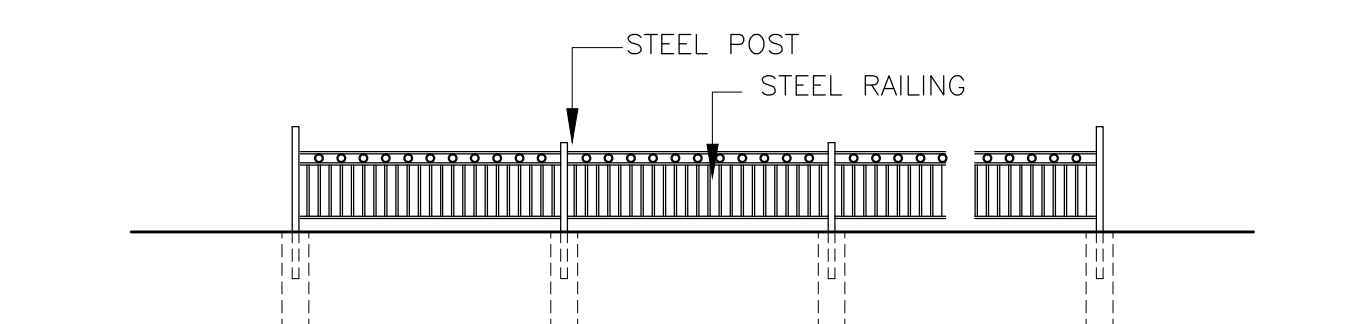


NEW CONCRETE APPROACH

M.DOT II-29E

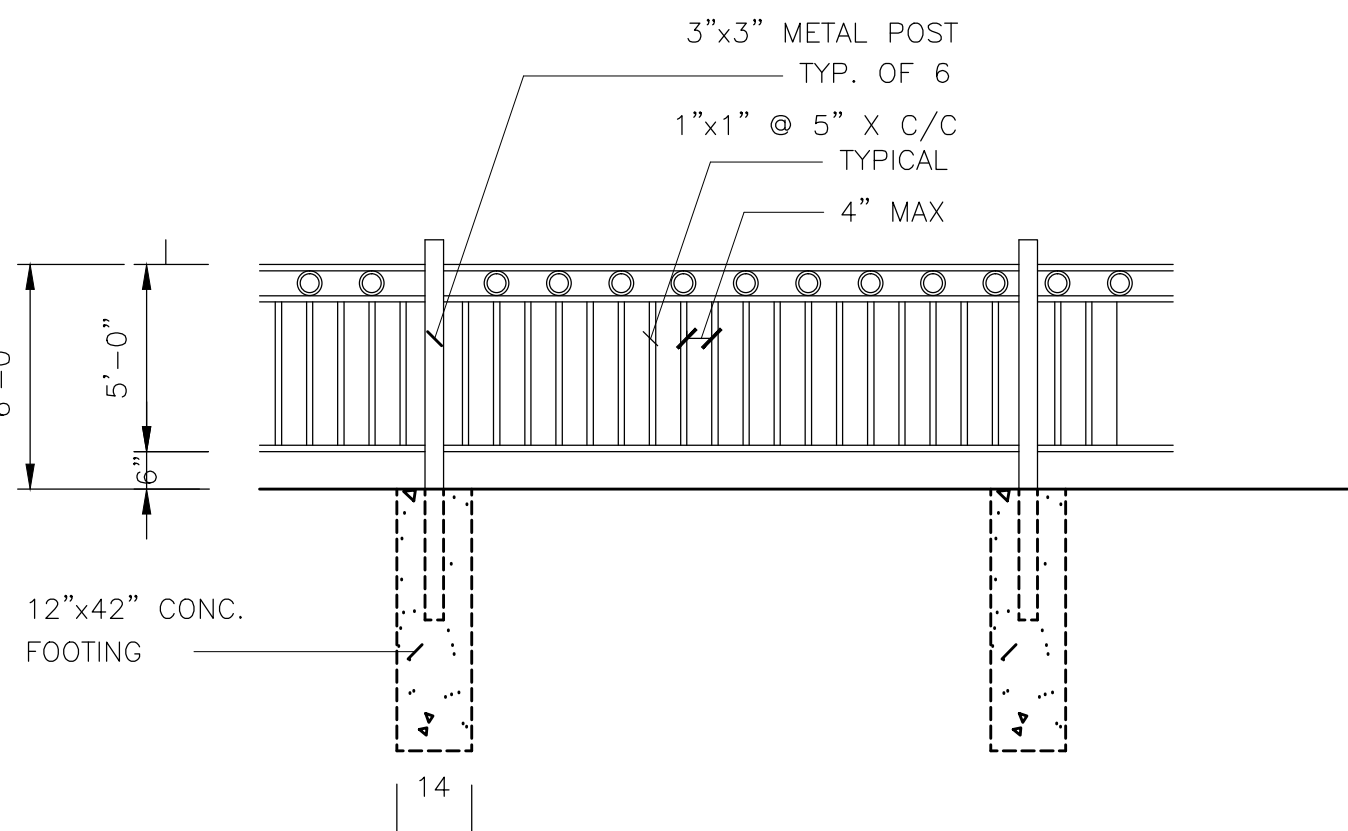
NEW LANDSCAPING TABLE

	QUANTITY	DESCRIPTION	SIZE
	32+	BOXWOOD	30" MIN SPREAD
	8	SUGAR MAPLE	2 1/2" CAL. 7' CLEAR STEM MIN
	1	DOGWOOD	1.75" CAL
	15	ORNAMENTAL GRASS	



PROSPECTIVE METAL ORNAMENTAL FENCE AT SPRING RD

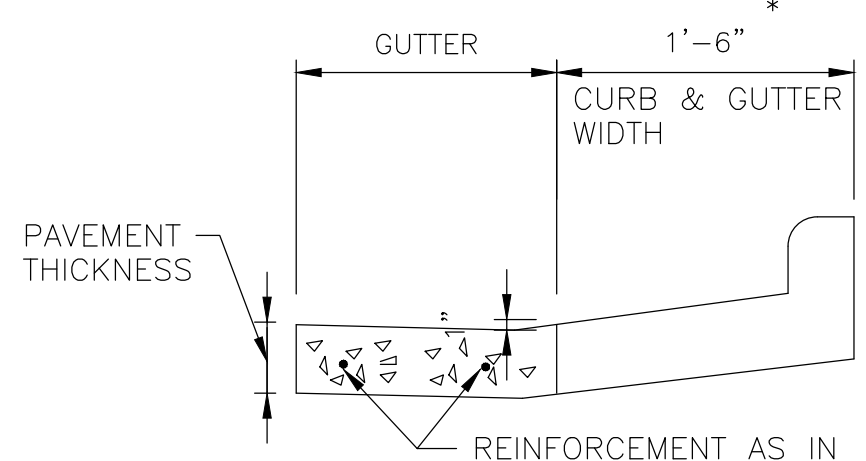
SCALE: 1"=20'-0"



PARTIAL FENCE ELEVATION

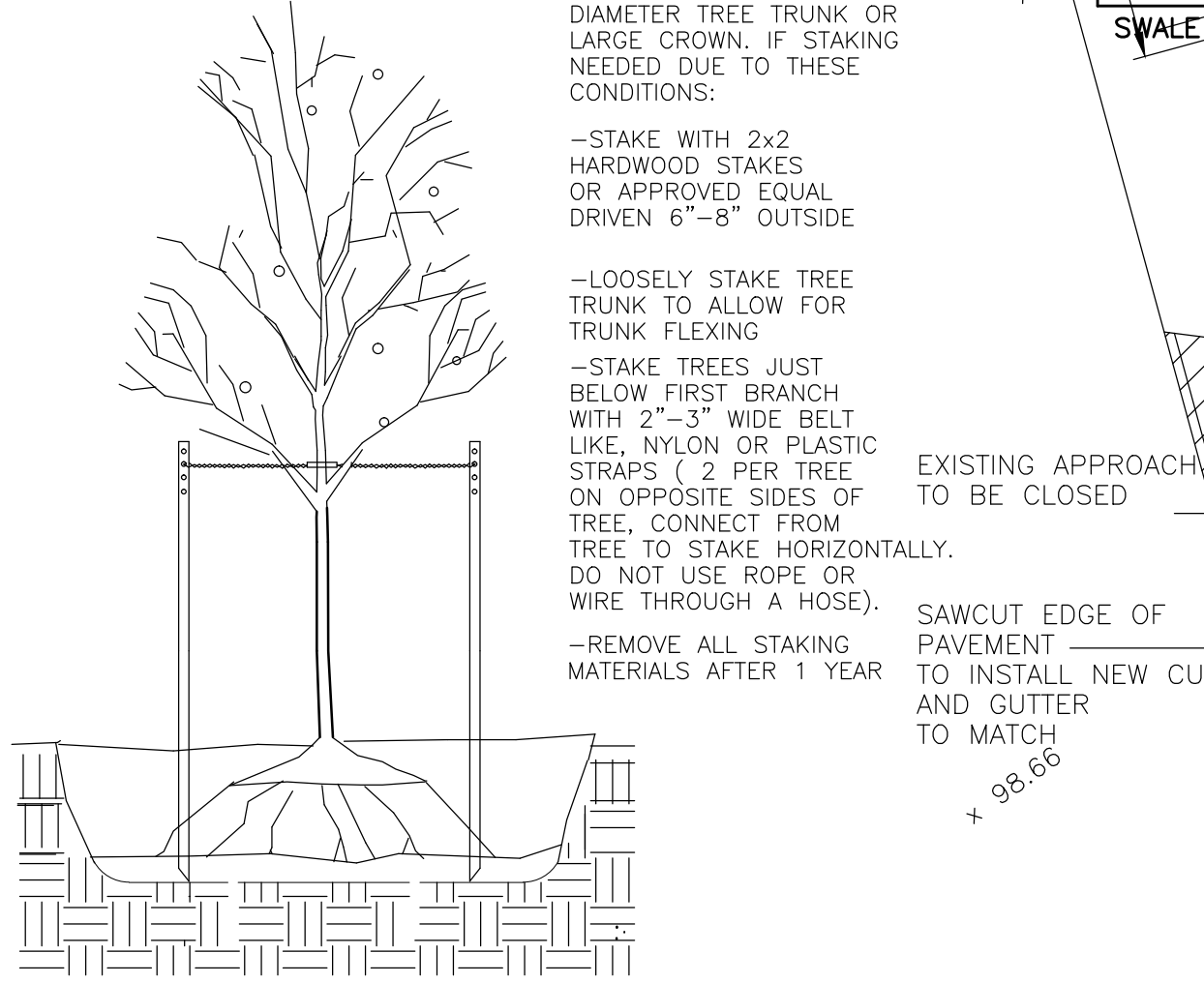
SCALE: 1/4"=1'-0"

CONSTRUCTION SEQUENCE	OPERATION TIME SCHEDULE - LATE 2013											
	OCT	NOV	DEC									
STAKE BUILDING												
SEDIMENT CONTROL MEASURES												
A.												
B.												
REMOVE TREES												
STOCKPILE TOPSOIL												
A.												
B.												
ROUGH GRADE												
TEMPORARY EROSION CONTROL												
A.												
B.												
EXCAVATE FOOTINGS/BASEMENT												
INSTALL UNDERGROUND UTILITIES												
CONSTRUCT FOOTINGS/FOUNDATIONS												
CONSTRUCT STRUCTURE												
APPLY AGGREGATE BASE TO DRIVES												
FINAL GRADE												
PERMANENT EROSION CONTROL												
A. SEEDING												
B. SODDING												
C.												

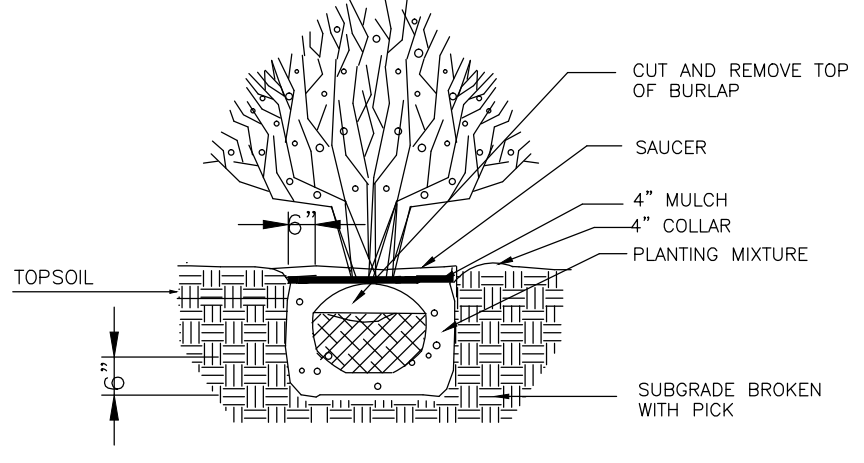


SECTION A-A

M.DOT II-29E



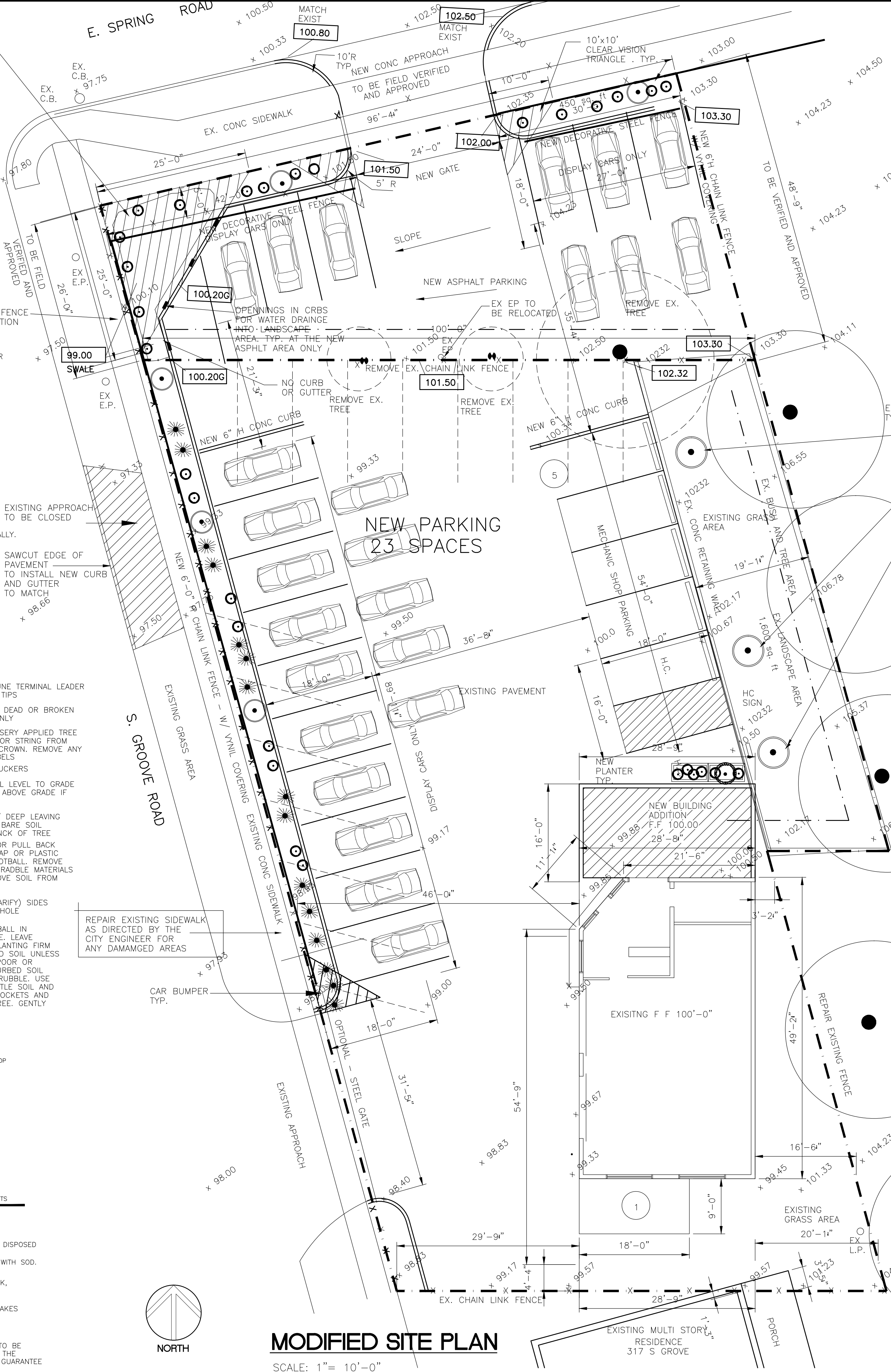
Deciduous Tree Planting Detail



Shrub Planting

LANDSCAPING NOTES:

- PROTECTED FROM EXTREME WEATHER CONDITIONS, BAD SOIL TO BE DISPOSED IN LEGAL MANNER.
- ALL LANDSCAPED AREA (L.S. AREA) TO RECEIVE MIN. 4" TOP SOIL WITH SOD. PROVIDE FERTILIZER UNDER SOD, ALL PER CITY STANDARDS.
- ALL PLANT MATERIALS ARE TO BE FIRST QUALITY NURSERY STOCK, FREE FROM DISEASE OR OBJECTIONABLE DISFIGUREMENTS, AND PLANTED IN CONFORMANCE WITH SOUND NURSERY PRACTICE.
- ALL NEW TREES ARE TO BE STAKED WITH TWO 6 FT., CEDAR STAKES GUYED WITH HOSE COVERED WIRE.
- ALL PLANTING PITS ARE TO RECEIVE 3 AGRIFORM TABS (3-YEAR FERTILIZER) AT TIME OF PLANTING
- ALL PLANT MATERIALS ARE TO BE GUARANTEED FOR ONE YEAR TO BE IN HEALTHY AND VIGOROUS CONDITION, IT IS UNDERSTOOD THAT THE OWNER WILL PROVIDE ADEQUATE AND TIMELY CARE DURING THE GUARANTEE PERIOD



MODIFIED SITE PLAN

SCALE: 1"= 10'-0"

SITE / BLDG. DATA

HOURS OF OPERATION - 9A M TO 6 PM

NO ADDITIONAL LIGHTS ARE PROPOSED FOR THE SITE

EXISTING SITE AREA	13,773 SQ. FT. = .32 AC
ADDITIONAL SITE AREA	3,603 SQ. FT. = .08 AC
	17,376 SQ. FT. = .40 AC

AT 10% = 1738 sqft MIN LANDSCAPE AREA
PROVIDED 2,050 SQ. FT. = 117 %
(IGNORING FOUNDATION LANDSCAPING)

FOUNDATION PLANTING = 1 ORNAMENTAL TREE+
6 SHRUBS / 30FT OF BLDG FRONTAGE

BUILDING FRONTAGE = 28'-8"/30 =
1 TREES AND 6 SHRUBS

EXISTING BUILDING	1383 SQ. FT
NEW BUILDING ADDITION	456 SQ. FT
	1839 SQ. FT
PARKING CALCULATION:	
2 PER STALL = 3x2	6 SPACES
EMPLOYEES	1 SPACES
CAR DISPALY	24 SPACES
	31 SPACES

PROVIDED PARKING
PARKING SIZES
BENCH MARK : 100'-0" EXISTING BUILDING
FINFLOOR AT THE FRONT DOOR.

NEW TREE
INTERIOR LANDSCAPING

ZIAD EL-BABA
ENGINEERING

674 GAUTHIER
TECUMSEH ONTARIO
N9N3P8 CANADA
CELL : 313-938-8767
CELL - 519-796-9882
FAX - 519-979-3535

DATE	REV. NO.	ISSUED FOR
JUL.12.13		SITE PLAN
AUG 31 13		ENGINEERING
OCT.12.13		SITE PLAN
NOV.20.13		SITE PLAN
JULY.18.14		COUNCIL APPROVAL
AUG.30.14		COUNCIL APPROVAL

Project:
NEW SITE
311 S GROVE
YPSILANTI MI
OWNER
311 S GROVE
YPSILANTI MI

Drawing Title:
SITE PLAN PLANS

Project Number	
Scale	AS NOTED
Date	
Drawn By	
Checked By	

Drawing No.

SP-1

Ypsilanti Non-Motorized Advisory Committee Meeting Minutes

Thursday, May 7, 2015

1. Call to order – The meeting was brought to order at 7:00pm, Thursday, May 7, 2015 at the Ypsilanti District Library, 229 West Michigan Avenue. Committee members present were Tony Bedogne, Kevin Hill, Bob Krzewinski and Sara Walsh.
2. Introductions
 - a. Audience participation/public Input – None.
3. General business
 - a. Agenda approval – A motion was made by Sarah Walsh, seconded by Tony Bedogne, to approve the agenda, passing unanimously.
 - b. Approval of April meeting minutes – A motion was made by Tony Bedogne, seconded by Sarah Walsh, passing unanimously.
 - c. New Committee members – Martha Cleary attended the meeting and indicated a willingness to serve on the Committee and approved by acclamation of Committee members at the meeting. Bob Krzewinski will forward her request to serve on the Committee to the Planning Commission for approval at their May 20th meeting
4. Old business
 - a. 2015 Committee priorities
 - Ypsilanti bicycling/walking map – A draft copy of the new map (part of a County/Ann Arbor map) was reviewed with the Committees thanks to Tony Bedogne for his work on the document. Tony will obtain a cost per map and approach the Ypsilanti Downtown Development Association (DDA) and Convention & Visitors Bureau for funding to buy a local supply of the printed maps (which should be available in mid-May).
 - Border To Border Trail completion progress – Bids for the Ypsilanti project (Riverside Park to Grove Road) came in over what has been budgeted for the project, with talks going on right now within the City about funding.
 - Update the City Non-Motorized Plan – There will be a meeting on updating the Plan on Tuesday, May 11th at 3pm at B-24s Café in Ypsilanti. Tony Bedogne and Bob Krzewinski will attend.
 - Sidewalk/pedestrian improvements and funding sources – No update from the City on sidewalk gap funding (Hefley and Candy Cane Parks). Also no update on pedestrian safety sign improvements, although Kevin Hill stated that the DDA may be able to tie in the wayfinding sign program with the pedestrian signs (Bob Krzewinski will attend the 5/21 DDA meeting).
 - Work to add additional bike lanes and find funding sources – Waiting on a meeting between the Committee, City Public Services and Councilman Pete Murdock.
 - Bike Friendly Business program – Tony Bedogne will coordinate merchant visits to sign up for the program and Sarah Walsh will work with Tony on setting up a database.
 - Public education outreach to encourage bicycling and walking – The Committee had a information table at the Bike Ypsi Spring Ride May 3rd. Bob Krzewinski will also be helping with at “Basic Biking” talk at the Library on May 14th and appear on the Mark Maynard radio show May 9th to talk about the Committee and Bike Bus Walk Week. Kevin Hill will also look at having a Committee information table at one of the summer downtown “First Friday” events.
 - Traffic Calming In Neighborhoods – A proposed draft ordinance for traffic calming should go before City Council for a first reading in June.
 - Walk Friendly & Bike Friendly Community Applications – No news yet on the Walk Friendly application. On the Bike Friendly re-application, there was a meeting May 5th between Bob Krzewinski, Bonnie Wessler, John Waterman (PEAC) and DeBorah Borden (Washtenaw County Heath Department) to set tasks to re-apply in February 2016. The group will meet again on June 10th, 2pm at the Ypsilanti Convention and Visitors Bureau downtown.
 - Wayfinding signage – Discussion held on simple walking wayfaring signs between Eastern Michigan University, downtown and Depot Town. Bob Krzewinski will order one sample wayfaring sign.

- b. I-94/Huron – Huron/Hamilton non-motorized improvements – The Michigan Department of Transportation wants to hold one final public hearing on these projects but no date has been set yet (may possibly be held in June).
- c. Ypsilanti AAATA Transit Center non-motorized improvements – No updates but Bob Krzewinski has received emails from AAATA staff about working together with the Committee and will continue communicating with the AAATA staff. Also mentioned was possibly inviting AAATA staff to a Committee meeting.
- d. May 10-16 Bike-Bus-Walk Week (including Ghost Bikes, Bike To Work Day) – Bob Krzewinski reviewed the schedule of events.
- e. Mayors' Challenge for Safer People, Safer Streets – Bob Krzewinski will contact the Mayor again about signing on to the U.S. Department of Transportation program to cut pedestrian and bicyclist's injuries and deaths.
- f. Ypsilanti Bike Share Program – Bob Krzewinski will check in again with EMU on any updates on this potential project.

5. New Business

- a. Planning Department update – Bob Krzewinski talked with Bonnie Wessler of the Planning Department prior to the meeting with her comments incorporated into agenda item discussions. Bonnie also noted that Committee members may wish to attend the May 20th City Planning Commission meeting as an Adams Street rebuild (between Pearl and Washtenaw) will take place with Complete Streets input.
- b. Other - Bob Krzewinski will plan to attend the Michigan Department of Transportation "Training Wheels" course in Monroe on May 19th meant to educate participants on the planning and design of on-road bike facilities. It was also decided to invite the new City Economic Development Director, Beth Ernet, to the June Committee meeting.

6. Other Items – Announcements – None.

7. Adjournment – Next meeting Thursday, June 4, 2015, Ypsilanti District Library downtown.

Ypsilanti Non-Motorized Advisory Committee Meeting Minutes

Thursday, June 4, 2015

1. Call to order – The meeting was brought to order at 7:05pm, June 4, 2015 at the Ypsilanti District Library, 229 West Michigan Avenue. Committee members present were Kevin Hill, Bob Krzewinski and Sarah Walsh. Also attending were Martha Cleary (who is interested in serving on the Committee and waiting for confirmation from the Planning Commission) and City Council member Pete Murdock.
2. Introductions
 - a. Audience participation/public Input – Martha Cleary gave a report on current biking and walking conditions in the City and surrounding areas.
3. General business
 - a. Agenda approval – A motion was made by Bob Krzewinski, seconded by Sarah Walsh, to approve the agenda, passing unanimously.
 - b. Approval of May meeting minutes - A motion was made by Bob Krzewinski, seconded by Sarah Walsh, to approve the May meeting minutes, passing unanimously.
 - c. New Committee members – Additional members being solicited.
4. Old business
 - a. 2015 Committee priorities
 - Ypsilanti bicycling/walking map – New map is complete and being slowly distributed. Bob Krzewinski gave City Council member all a copy at their meeting June 2nd. Tony Bedogne is requesting \$324 for 300 local copies with a suggestion that the Ypsilanti Convention and Visitors Bureau contribute \$162 and the Ypsilanti DDA contribute \$162. Kevin Hill suggested Tony contact Tim Colbeck at the DDA to discuss the map funding.
 - Border To Border Trail completion progress – Pete Murdock gave an update on City Council options on funding various B2B segments to be decided when the Council approves a new budget. The first reading of the new budget will be June 9th with a 2nd reading (and adoption) on June 16th. Bob Krzewinski, representing the Committee, spoke before City Council on June 2nd support B2B completion as well as other non-motorized funding and projects.
 - Update the City Non-Motorized Plan – City Planner Bonnie Wessler, Tony Bedogne and Bob Krzewinski continuing to work on this document.
 - Sidewalk/pedestrian improvements and funding sources (sidewalks – signage) – Further action on these items will be determined after the City Council approves a new budget on June 16th. Pete Murdock is supporting a continuation of \$50,000 a year from the City's street budget to be used for non-motorized projects such as these.
 - Work to add additional bike lanes and find funding sources - Further action on these items is expected after the City Council approves a new budget on June 16th. Bike lanes are requested for Forest Avenue, Miles Street and West Cross Street.
 - Bike Friendly Business program – Committee members are making business visits.
 - Public education outreach to encourage bicycling and walking – A children's triathlon will be held at the Rutherford Pool in August which may be a avenue for Committee outreach (Bob Krzewinski will check on details). Also, Bob will check into having a table at the late August Parkridge Summerfest (the Committee participated in 2014), possibly with free bike tune-ups and helmet giveaways. Washtenaw Community College will have a new student day in September which may be also useful for outreach.
 - Traffic Calming In Neighborhoods – City Council will review a traffic-calming ordinance at their June 9th meeting at which Martha Cleary will attend and urge support from the Non-Motorized Advisory Committee.
 - Walk Friendly & Bike Friendly Community Applications – The City was not given a Walk Friendly award in 2015 but the report given by the organization running the Walk Friendly awards will be useful for improvements to be worked on for the next application. For the Bike Friendly application, the Committee will hold a working session on June 10th, 2pm at the Ypsilanti Convention and Visitors Bureau.

- Wayfinding signage – Discussion held on creating small, pedestrian-orientated signs between EMU, downtown and Depot Town. Bob Krzewinski will work on more samples for the next meeting. It was also suggested that merchants (i.e. Ugly Mug) may want to contribute funds.
- b. I-94/Huron – Huron/Hamilton non-motorized improvements – MDOT is requiring more documentation on these projects.
- c. Ypsilanti AAATA Transit Center non-motorized improvements – No new updates.
- d. May 10-16 Bike-Bus-Walk Week report (including Ghost Bikes, Bike To Work Day) – Bob Krzewinski gave a report of activities with an eye for improvements in 2015. Many events suffered because of rain.
- e. Mayors' Challenge for Safer People, Safer Streets – Bob Krzewinski will appear before City Council on June 16th to urge Council approval for this US Department of Transportation program to cut pedestrian/bicyclist injuries.

5. New Business

- a. Planning Department update – Bob Krzewinski spoke with City Planner Bonnie Wessler before the meeting with her comments contained in discussions on agenda items at the meeting.
- b. Michigan Department of Transportation “Training Wheels” course report – Bob Krzewinski attended a “Training Wheels” session in Monroe, Michigan in May, which are intended for city & county transportation officials as well as advocacy groups and contain a two-hour class followed by a short bicycle tour highlighting non-motorized amenities. Bob will see if a course could be held in Ypsilanti in 2016.

6. Other Items – Announcements – None.

- 7. Adjournment – A motion was made to adjourn the meeting by Bob Krzewinski, seconded by Sarah Walsh, passing unanimously. The meeting was adjourned at 8:10pm with the next meeting being Thursday, July 2, 2015 at the downtown Library.