

1. Planning Commission Regular Meeting Agenda

Documents: [01-NOVEMBER 18 AGENDA.PDF](#)

2. Planning Commission Regular Meeting Packet

Documents: [20151118_PACKET.PDF](#)

Agenda
Planning Commission
Council Chambers
Wednesday, November 18, 2015 – 7:00 P.M.

I. Call to Order

II. Roll Call

Roderick Johnson, Chair	P	A
Cheryl Zuellig, Vice Chair	P	A
Anthony Bedogne	P	A
Phil Hollifield	P	A
Heidi Jugenitz	P	A
Liz Dahl MacGregor	P	A
Briana A. Mason	P	A

III. Approval of Minutes

- October 14, 2015

IV. Audience Participation

Open for general public comment to Planning Commission on items for which a public hearing is not scheduled.

V. Presentations and Public Hearing Items

- None

VI. New Business

- Site Plan Review: Parkridge

VII. Old Business

- Special Use Permit Revocation: 50 Ecorse

VIII. Future Business Discussion / Updates

- 1420 Washtenaw

IX. Committee Reports

- None

X. Adjournment

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**PLANNING COMMISSION
MEETING MINUTES
October 14, 2015
CITY COUNCIL CHAMBER
7:00 P.M.**

I. CALL TO ORDER

The meeting was called to order at 7:00 p.m.

II. ROLL CALL

Present: R. Johnson, H. Jugenitz, P. Hollifield, A. Bedogne , C. Zuellig, L. MacGregor

Staff: Bonnie Wessler, Planner II
Nan Schuette, Executive Secretary

III. APPROVAL OF MINUTES

Commissioner Zuellig moved to approve the minutes of September 16, 2015 (Support: H. Jugenitz) and the motion carried unanimously.

IV. AUDIENCE PARTICIPATION

None

V. PRESENTATIONS AND PUBLIC HEARING ITEMS

1. 602 Emmet

Ms. Kochanek, Associate Planner, stated that this is a request for a Special Use to increase from a 9 unit rooming house to 12 rooms. The property is on a corner lot at Emmet and Perrin Streets, with frontage on Emmet. There is parking at the rear of the structure. Zoning is CN – Core Neighborhood, which allows for a rooming house after approval as a special land use. The applicant is proposing to convert an old living room and chapter room on the first floor of the house to rooms for sleeping. They plan to add bike racks and do other property improvements including a screened trash enclosure. The plans call for four parking spots at the rear of the property.

The special use criteria was reviewed, after which, the Planning Department recommended approval of the special use since it is substantially in compliance with Sec 122-165(b) and with the condition that it would be subject to approval of the site plan and that every resident with a vehicle must purchase a parking permit. Staff recommends that the site plan also be approved and listed the various findings and conditions.

Chairman Johnson asked if the property to the north is also a rooming house to which Ms. Kochanek responded that all properties around there are student residences.

Commissioner Zuellig asked the number of people allowed to occupy one room. Ms. Wessler responded that this comes under the building code. Commissioner Zuellig also asked about min sq. ft per unit as required by the housing code – do we have any idea if they meet the minimum requirement and Ms. Wessler responded that it is her understanding they are in compliance with the building code. Commissioner Zuellig's concern is that by allowing more people in one room, it would increase density of proposed use, with the possibility of being able to have a total of 24 people, which would entail more parking, etc.

Commissioner Jugenitz moved to open the public portion of the hearing (Support: A. Bedogne) and the motion carried unanimously.

Bob Beaugrand, owner of the property along with his brother, Michael Beaugrand – was in attendance to discuss the project/property at 602 Emmet, which they have owned since August 2015. They were born in Ypsilanti as well as attending EMU and have invested over \$150,000 in this property. He gave some history on the property stating that it was formerly owned by the Arm of Honor, a fraternity house. Over the years there had been many complaints about the noise and use of the property and parking, including numerous weekly calls by the Police Department, who labeled it as a drug house. The Alumni Association had declining membership which also meant declining rent and unable to pay taxes. As a result, the house was facing condemnation earlier this year and the residents were forced to vacate the property by court order. The new property owners plan to make many improvements with only one person per room. They will have a security system and video surveillance on the property and will have parking at the rear for four vehicles, each of whom must purchase a parking permit. He detailed the living areas as well as the common areas, which will consist of a kitchen, dining area and computer room. They will have a resident manager to oversee the property to ensure there are no problems and have also met with EMU officials to discuss public safety in the area and it is their intention to be good community neighbors.

He showed pictures of the property when it was first purchased and the renovations they have made so far. It has passed all the inspections.

Commissioner Hollifield asked about the property to the west to determine if it is a shared driveway. Mr. Beaugrand responded they own ½ the driveway at 604. He does not foresee any parking problems since he feels there is adequate parking. His long-term plan is to come in on Emmet, have angle parking in the back and pull out on Perrin. Commissioner Zuellig asked if the owner felt confident that the trash cans would be big enough if they were granted the additional 3 units and he responded that they would have recycling bins as well as large trash containers. Commissioner Zuellig also asked that the parking on the lot should be clearly defined adding bumper blocks to limit parking on grass, etc. Mr. Beaugrand agreed to this.

Robert Barnes, managing partner of Barnes & Barnes Properties. He is a neighbor of the applicant and commends the work that they have done on the property and agrees they are doing a good job. However, he is not in agreement with taking a nine room property and increasing it to 12 units which will add constraints to the neighborhood, making it more non-conforming.

He understands that corridor better than anyone having properties in that location for the past 30 years – this increase runs with the land. This is a very densely occupied area of our community. He listed all the various rentals in the area and the number of bedrooms in each with zero parking and by giving this special use, would make it even more of a problem with regarding to parking. All of these units have to get a parking permit from the city but there are not enough parking spaces right now.

Mike Beaugrand – applauds Mr. Barnes and knows he has done a great job with his rentals. It is his opinion they are actually reducing the use by only having one occupant to a unit and it would be reduction in use of cars. Not every student will have a car.

Bob Barnes – reiterated they are doing a fabulous job but he has 30 years' experience on that block and knows the parking situation intimately. He provides every room he rents parking space for a car.

Commissioner Jugenitz moved the close the public portion of the hearing (Support: P. Hollifield) and the motion carried unanimously.

Commissioner Jugenitz asked about the new layout and how much common area there would be which Mr. Beaugrand repeated – kitchen area, dining area, computer room, which he felt could accommodate 12-15 people if someone had a friend visit.

Chairman Johnson asked if they would consider covered bike parking and Mr. Beaugrand agreed that this could be accommodated and he would make note of it.

After further discussion among the board, Commissioner Zuellig moved that the Planning Commission approve the Special Use Permit for the 602 Emmet Student Housing with the following findings and conditions:

Findings

1. The application is substantially in compliance with Sec 122-165(b)

Conditions:

1. Special use approval shall be subject to approval of the site plan.
2. All residents of 602 Emmet with a car shall be required to get a residential parking permit
3. Staff will evaluate the parking situation within two years and work with the applicant to find a solution, if needed.

The motion was supported by Commissioner Jugenitz. A roll call vote was taken and carried unanimously 6:0.

Commissioner Zuellig moved that the Planning Commission approve the Site Plan for the 602 Emmet Student Housing with the following findings, and conditions:

Findings:

1. The application substantially complies with Sec 122-127.
2. Proposed parking is more conforming than the current parking.

Conditions:

1. New rooms must comply with the building code.
2. Resident manager contact information is required.
3. The gravel drive needs to accommodate the four parking spaces at the required minimum dimensions and shall be clearly delineated with either curb or bumper blocks.
4. Lighting is not addressed in the plans, parking needs to be artificially lit at night. A lighting plan is needed and can be administratively approved.
5. Plans call for 4 parking spaces where 12 are required. However, the 4 spaces are an improvement from what currently exists. Applicant shall make at least 8 of the bike spaces to be covered to provide a discount of two additional parking spaces, thereby reducing the nonconformity.
6. 10% of lot size is 500 sqft and is required as landscaping and plans shall be amended to show amount of space that the landscaping will occupy. Amend plans to show percentage.
7. Quality of plants needs to be addressed. Plantings must be maintained and planting plan can be approved administratively

The motion was supported by Commissioner Jugenitz. A roll call vote was taken and carried unanimously.

VI. NEW BUSINESS

None

VII. OLD BUSINESS

None

VIII. FUTURE BUSINESS DISCUSSION/UPDATES

October 21st regular meeting – 1420 Washtenaw
November 18th meeting - Parkridge

IX. COMMITTEE REPORTS

1. Non-Motorized committee – appoints, resignations

Commissioner Bedogne moved to appoint Kelly Kowatch and Lena Reeves to the Non-Motorized Committee (Support: L. MacGregor) and the motion carried unanimously.

2. Non-Motorized Committee – January thru September minutes included in packet

X. ADJOURNMENT

Since there was no further business, Commissioner Zuellig moved to adjourn the meeting (Support: P. Hollifield). The meeting adjourned at 8:30 p.m.

DRAFT



12 October 2015

**Staff Review of Site Plan Application
Parkridge Homes
SE corner of First & Harriet**

GENERAL INFORMATION

Applicant: James Pappas
Fusco, Shaffer & Pappas, Inc.
550 East Nine Mile Rd.
Ferndale, MI 48220

Project: Parkridge Homes

Application Date: 18 September 2015, plan revision 10/20

Location: SE corner of First Ave and Harriet Street

Zoning: MD- Multiple Dwelling Residential District

Action Requested: Site Plan approval for Parkridge homes

Staff Recommendation: Approval w/ Conditions

PROJECT AND SITE DESCRIPTION

The Parkridge Homes site currently has 20 multifamily buildings that face onto First Ct and Armstrong Drive, accessed from First and Harriet Streets, and surrounded by a wrought-iron fence. It is approximately 7.4 acres. The applicant is proposing razing the existing structures and building new to replace them.

The parcel is zoned **MD- Multiple Dwelling Residential District**, which allows for a multiple-family residential development, rental or owner-occupied, designed specifically for apartments, townhouses, and/or other housing types. Multiple family dwellings up to a maximum of 6 units per building are permitted. More than 6 units per building require a special use application.

The plans propose to split the existing single parcel into three, to allow for publicly-owned right-of-way. The entire parcel is currently city-owned; the three parcels will be owned by a public-private partnership similar to Hamilton Crossing. This presents an interesting challenge for review: the drives function much as private drives would, as they only access this housing development. However, they will be constructed to public standards and accepted (presumably) as City right-of-way. Thus, in some areas, we treat them like public roads- and in other areas, we treat them as private. We will note whenever that occurs. The area with the perpendicular parking- called First Court on the site plan; this may change its name, so we refer to it as simply "court". We will be treating that area as something resembling a parking lot, in terms of counts.

Figure 1: Subject Site Location

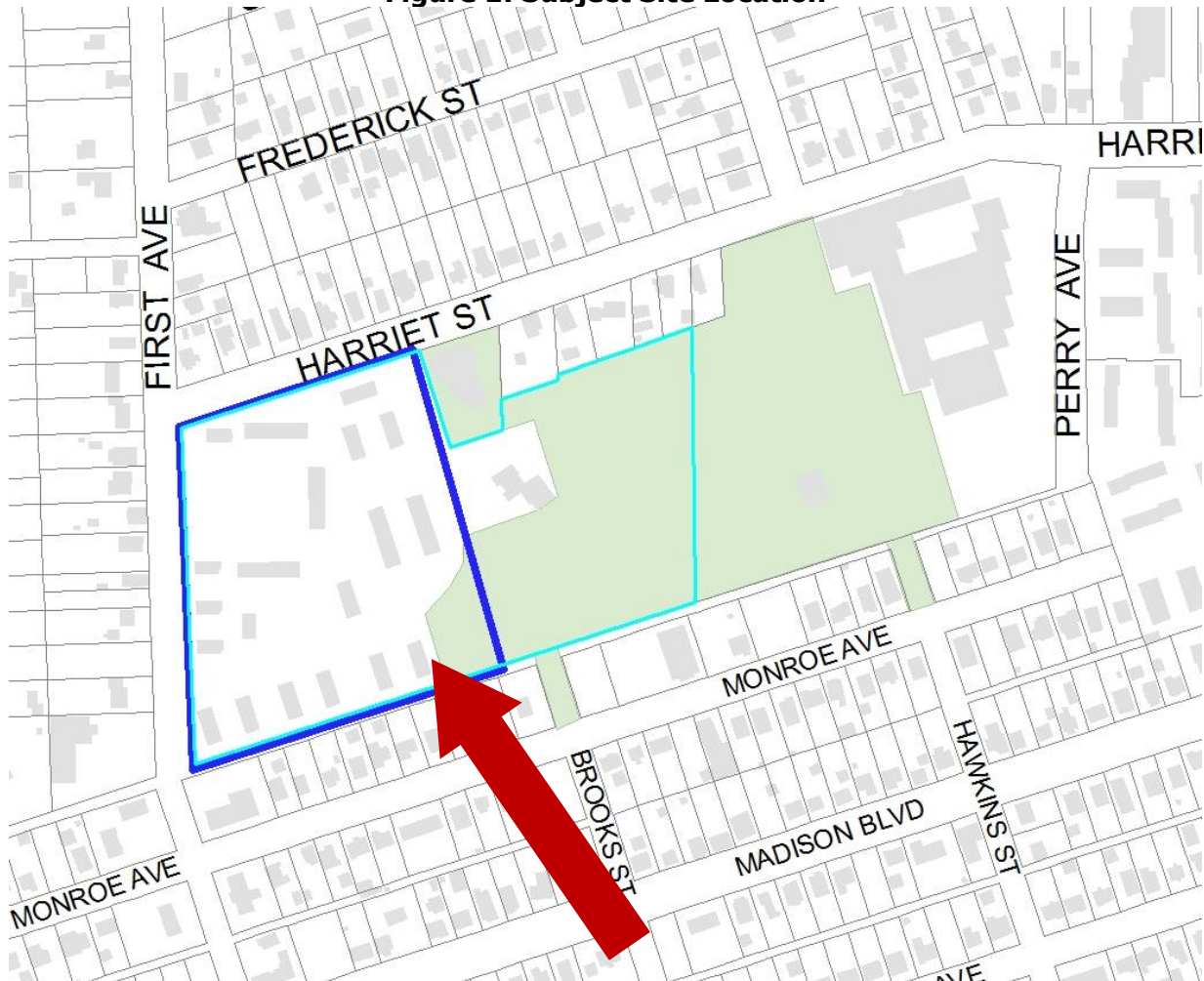


Figure 2: Site Aerial (2010)

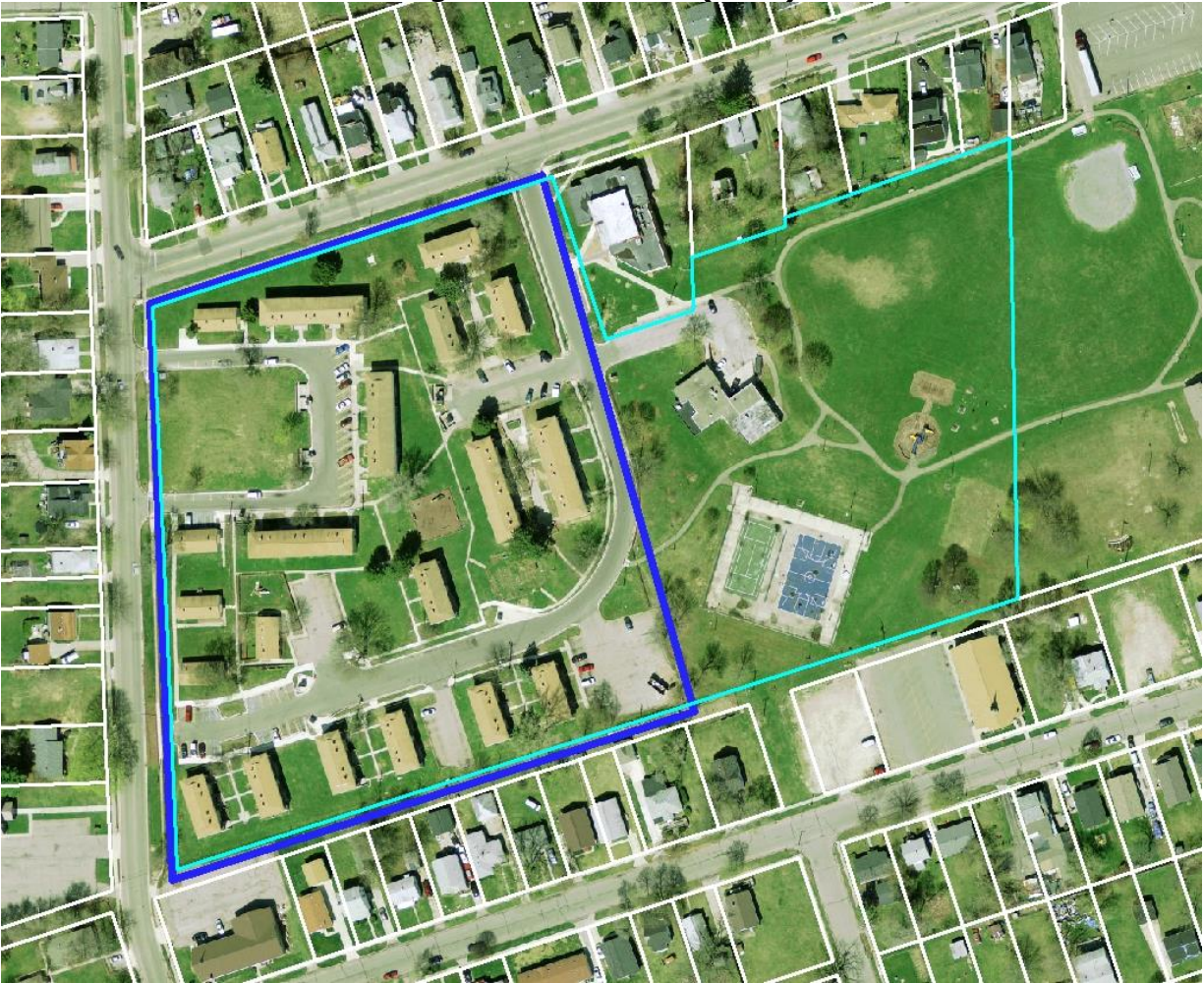


Figure 3: photograph of site



Figure 4: photograph of site



Figure 5: Land Use and Zoning of Surrounding Area

	LAND USE	ZONING
NORTH	Single family residential	R-1- Single Family Residential
EAST	Parkridge Park	P-Park
SOUTH	Church & Single Family residential	R-1- Single Family Residential
WEST	Churches & Single Family residential	R-1- Single Family Residential

SITE PLAN: CRITERIA AND REVIEW

§122-128

STANDING

§122-128(1)

The applicant is legally eligible to apply for site plan review, and all required information has been provided.

REQUIREMENTS**§122-128(2)**

"The proposed site plan conforms with all the provisions and requirements, as well as the spirit and intent of this chapter and the Master Plan. The proposed development will meet all the regulations of the zoning district in which it is located."

Figure 6: Requirements

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
MD: §122-263			
LOT REQUIREMENTS			
Minimum Lot Width ft	Min 45 ft	varies	Parcel A: harriet: $476'/5 = 95'$ first: $180'/2 = 90'$ court: $503'/5 = 100'$ Parcel B: First: $220' / 3 = 73'$ Armstrong: $634'/7 = 90'$ court: $349' / 9 = 113'$ Parcel C: $597' / 9$ bldgs = 66'
Minimum Lot Size ft	Min 8,000 sq. ft / 0.18 ac	~7.4 ac	Parcel A: 2.005 ac Parcel B: 2.310 ac Parcel C: 1.31 ac
Lot Coverage %	Max 45%		Not given.
BUILDING ENVELOPE AND HEIGHT			
Front yard setback	Min 25 ft		Parcel A: -harriet: 25' -first: 25' -court: 25' Parcel B: -first: 25' -armstrong: 25' -court: 25' Parcel C: 25'
Side yard setback ft	Min 4 ft if more than 4 units, 6'; if directly abuts R1, 25'		Parcel A: -harriet: >25' -first: n/a -court: 5' btw 30, 31; all else >6' Parcel B: -first: >20' -armstrong: >20' -court: >20' Parcel C: >20'
Side yards (combined)	Min 12 ft if more than 4 units, 12'		All meet.

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
Street Side Yard setback	Min 8 ft if more than 4 units, 15'		All meet, >25'
Rear yard setback ft	Min 25 ft		Parcel A: -harriet/court: 45' at narrowest point -first: 20' (20 to 31) Parcel B: -first: 43' at narrowest -armstrong/court: 25' at narrowest (bldg. 15/comm bldg.) Parcel C: 25'
Distance between buildings	Min 20 ft		Parcel A: 6' btw buildings 30 & 31 NOTE- per conversation with architect, that distance has been increased to 12'. A variance will still be needed.
Height stories	Max 65 ft or 6 stories	2 stories	2 stories; <30 ft
PARKING PROVISIONS	Location: Side and rear yards only w/ 10 ft setback		On street parking and driveways for duplex-style units. No lots proposed.
Ratio of Lot Sizes to Number of Units	The total number of rooms in a multiple apartment dwelling structure must not be more than the area of the parcel in square feet divided by 1,400 square feet.		Parcel A: $87,337/1400=62$ 62 Parcel B: $100,602/1400=72$ 75 Parcel C: $60,178/1400=43$ 52 Total, 189 Summed: 322,039 sq ft, 230 bedrooms permitted.

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
	The required minimum floor area per unit type is as follows: Unit Type Required Min. Square Footage 1 Bedroom: 600 2 Bedroom: 800 3+ Bedroom: 1,000		Per floorplan pages: 1b upper and lower flats – 807 2B flats – upper and lower- each 1163 2b townhome: 976 3B upper, 3B lower, 3B townhome: all 1,400 sf. Per cover page: 1 br: 850 2 br: 1100 3 br: 1260 Either meets standards; please submit finals.
	A total of one hundred thirty (130) square feet of outdoor living space must be provided for each bedroom or studio/efficiency unit. Porches, balconies and improved roof areas may count toward the required outdoor living space, provided no such area is less than five (5) feet in width. Such outdoor areas must be buffered from streets and parking lots. Off-street parking areas, driveways, and accessory uses may not be counted as required open space.		189 bedrooms; 24,570 sq ft required to be provided. Calculations not shown. Programmed outdoor areas: North garden: 1410 Tot lot: 492 South garden: 2695 Total programmed areas: 4597 11/12 conversation indicates 21%.
Maximum Impervious Surface Lot Coverage	Residential Uses 45%		not provided on drawings. 11/12 conversation indicates 39%.

Items to be Addressed:

1. Lot coverage calculations not shown. Applicant to submit. *Conversation with architect 11/12 indicates that the lot coverage (buildings) is 21%.*
2. Impervious surface calculations not shown. Applicant to submit. *Conversation with architect 11/12 indicates that the impervious surface coverage (buildings + paving) is 39%.*

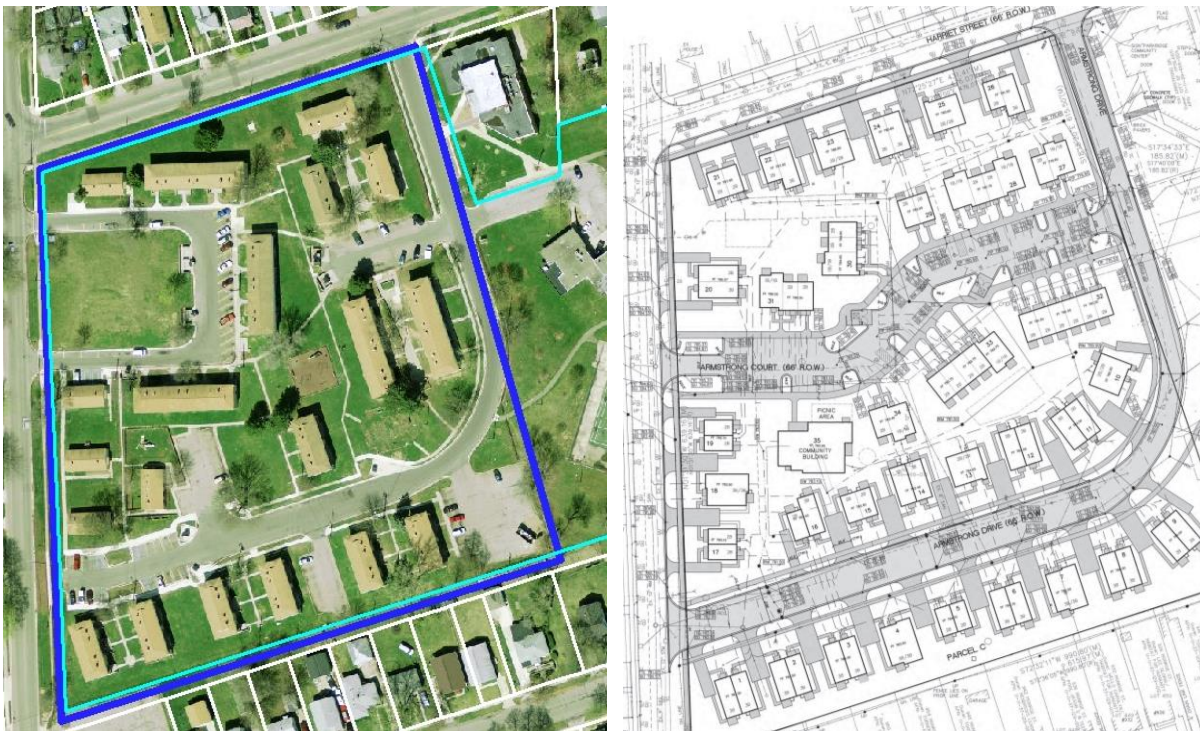
3. Distance between buildings 31 and 30 is only 6' (or 12', per conversation with architect); 20 is required by the ordinance. Applicant to apply for a variance or relocate the building.
4. Ratio of lot size to number of units: the standards of this section were devised with the thought that private roads would serve the development. In this case, the roads will be public, and the single parcel has been split into three. Staff recommends taking this figure as inclusive of rights-of-way within the site.

BUILDING LOCATION AND SITE ARRANGEMENT

§122-128(3)

"All elements of the site plan shall be harmoniously and efficiently organized in relation to the character of the proposed use, the size and type of lot, the size and type of buildings, and the character of the adjoining property. The site shall be so developed as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter."

The applicant is proposing 33 new buildings on the site, after demolishing all existing buildings within the project extent. The site had been built in a cul-de-sac style, with multifamily buildings facing each other across small parking lots, paved courts, or looped streets. The proposed plan eliminates First Court, and connects what's currently called Armstrong Court through to First Street. This allows for a more natural flow of traffic through the site and integrates it better into the neighborhood. By having the building fronts facing onto the street (and the on-street parking), there is more natural surveillance of the site; studies have shown that this generally improves safety. Overall, this site as proposed has much more of a neighborhood "feel" to it, getting away from the barracks "feel" of this former wartime housing site. The community building is central to the development, and its location at the opposite end of First/Armstrong Court from the Parkridge Community Center and the YHC main offices ensures that this street, in particular, will be heavily monitored and well-trafficked.



Items to be Addressed: None.

SITE ACCESS, TRAFFIC, AND PARKING**§122-128(4)**

"With respect to vehicular and pedestrian circulation on the site, including walkways, interior drives, and parking; circulation shall to the extent possible create potential cross-and joint-access to adjacent parcels and the existing block layout. Special attention shall be given to the location, number and spacing of ingress and egress points; general interior circulation including turnaround areas; adequate provisions for delivery of services (trash removal, school buses, mail and parcel delivery); separation of pedestrian and vehicular traffic; avoidance of building corners next to access drives; identification of addresses; storage of plowed snow; and arrangement of parking areas that are safe and convenient, and insofar as practicable, do not detract from the design of the proposed buildings and structures, neighboring properties, pedestrian and bicyclist safety, access to transit and flow of traffic on adjacent streets. All buildings or groups of buildings shall be so arranged as to permit adequate access by emergency vehicles as required by the city building code."

Vehicular access to the site will be from the west off of First Ave where Armstrong Drive and Armstrong Court intersect First Ave. Vehicles can also access from the North where Armstrong Drive intersects Harriet Street. Ten of the buildings will have access directly from First Ave and Harriet Street. Pedestrian and bike access will be in the same locations. Overall the site will have more accessibility for all traffic than it does currently. The Ride route number 11 serves this area. There are four stops surrounding Parkridge, the closest one being First Ave north of Monroe. New sidewalks are proposed in the plans on the perimeter of the development and on both sides of Armstrong Court and Armstrong Drive. Vehicle parking will be on both sides of Armstrong Court and buildings fronting on Harriet Street, Armstrong Drive and First Ave all have driveways. There does not appear to be any bike parking indicated on the proposed plans.

Figure 8: Site Access, Traffic, and Parking

ORDINANCE REFERENCE		REQUIRED	EXISTING CONDITIONS	PROPOSED
MD: §122-273	CIRCULATION STANDARDS			
		Easements: nonmotorized plan, ReImagine Washtenaw, other		n/a Note: per the 2010 Nonmotorized Plan, 18-25% of households do not have a car.
§122-834	PARKING Dimensions	• 9'x18' minimum, exceptions if adjacent to wall or overhang provided • May have 20% small car (8'x16', signed) • May have 10% motorcycle (5x8', signed)		9'x18' spaces provided. No small-car or motorcycle parking provided.

§122-835	Access	5' walkway from parking lot to parks, commercial, transit, walkways, institutions; raised/marked crosswalks within parking lot		Crosswalks across Armstrong Drive, following Court and at the south-east bend shall be provided to facilitate access between the development and the administrative building and the park. These and all crosswalks shall be marked with high-visibility (continental, piano keys) markings
	Ingress & Egress	• Aligned across ROW, or offset by 25' • >50' from intersection • 20'-30' driveway		Uses existing curb-cuts. Each is >50' from other intersections. Double-drives serving duplexes are 20' wide; single drives are 10' wide.
	Internal Maneuvering			n/a
	Surfacing			see engineering review.
	Drainage			see engineering review.
	Striping			see engineering review.
	Wheel Stops			Fully curbed.
	Lighting			see 122-641, below.
	Signs			One monument sign proposed at Armstrong Drive. Sign permit & plan to be submitted separately.
	Screening & Landscaping (internal)	1 tree per 8 spaces	166 provided overall => 21 trees	86 non-street trees provided
		1 landscape island for each 16 spaces		Parking Lot/First Court area only met

		Islands w trees: 9' wide min and 160' sf Islands w 5' min walkway: 11' wide min Islands: curbed or used for stormwater		Met.
		All aisle-ends & corners protected w curbed island		Met.
		3' between curb and planting (5' if vehicle overhang)		n/a
	Screening & Landscaping (perimeter)	Screened in accordance with 703 if abutting R1, MD, CN, CN-Mid, CN-SF		No multiple-family (3+ units) buildings are abutting the R1 district to the south.
		3'-4' screen 80% opacity where visible from ROW		n/a
		Landscaped areas, walls, structures, walks- must be protected by curbing		met
§122-836	Motor spaces	<i>Single-family detached dwellings and two-family dwellings:</i> 1 per unit; garages and driveways may meet this requirement. <i>Multiple-family dwellings, including townhouses:</i> 1.5 for each dwelling unit, plus 1 for each 10 dwelling units for guest parking. <i>Community building (private assembly):</i> 1 per 3 persons allowed within the max occupancy load (fire/building) NOTE: Max occupant load cannot be determined without a floorplan that also includes table layout. Suggest using 1/250sf in lieu for this review and updating code.		<i>Single-family detached dwellings and two-family dwellings:</i> each unit has a 40' deep driveway (or half of a 20' wide driveway), sufficient for parking 2 cars. <i>Multiple-family dwellings, including townhouses:</i> 34 townhome units; 54 spaces required <i>Community building:</i> approx. 2900 sqft = 13 spaces required 67 total provided in the court/parking lot area; met
	Bicycle spaces	1 per 5 motor spaces, minimum of 2		None shown on plan. 14 required.
122-837	Parking discounts	Transit	Route 11 runs northbound on First Street; the stop is currently just south of Armstrong Drive.	None requested.
		Alternative Vehicles		
		Bicycle		

		PC discretion, special circumstances not listed above		
122-839	Barrier-free	Comply with state building code		Four barrier-free spaces provided for the four barrier-free units in the Court/parking lot. No barrier-free spaces provided for community building. Ensure barrier-free duplex units' driveway parking is accessible for vans.
§122-647	SIDEWALKS	provide a sidewalk or shared-use path		Sidewalks shown along all frontages. Sidewalks or paths not shown to programmed outdoor areas. Applicant to construct sidewalks connecting tot lot and community garden areas to sidewalk network.
§122-649	TRAFFIC VISIBILITY	Maintain shrubs/other obstructions lower than 30" and trees/other obstructions higher than 8': At driveway: within a 10'x10' triangle formed by the street ROW line and the edge of the driveway At intersection: within a 25' x 25' triangle formed by an extension of the property lines, as measured from the pavement edges.		No conflicts observed.

Items to be Addressed:

1. Provide crosswalks across Armstrong Drive following Court and at the south-east bend to facilitate access between the development and the administrative building and the park. These and all crosswalks shall be marked with high-visibility (continental, piano keys) markings.
2. At least 14 bicycle spaces shall be constructed.
3. Provide at least one barrier-free parking space for the community building.
4. Ensure barrier-free duplex units' driveway parking is accessible for vans.
5. Construct sidewalks connecting tot lot and community gardens to sidewalk network.

STREET DESIGN

§122-128(5)

"Streets are designed in context with the urban form and continue the established pattern of the surrounding area. "

Armstrong Drive's north/south stretch is, and is proposed to remain, approximately 24' wide and two-way, with a small cutout for parking (northbound) at the Parkridge Community Center. Each travel lane, then, is 12' wide. This is wide for the type of traffic it serves, and care should be taken to narrow the visual width of the road. The applicant is proposing several street trees on their side of the street to provide this effect.

Sidewalks have been provided on the sides of the streets that are within the development. It is notable that no sidewalks lead directly to the YHC's main offices. To reach the offices using the sidewalks, one can cross Armstrong at Harriet, then use the walks for the Parkridge Center to "cut over" to the offices (and the park), or use the street. Crosswalks on all four corners of the Court/Armstrong intersection are highly recommended; staff realizes that the portion of sidewalk missing between Armstrong and the existing sidewalk on the north-east corner of Armstrong and the Court is not owned by the YHC and filling that gap would be the City's responsibility.

A crosswalk should also be provided across Armstrong Drive at the point where it bends to the west, to provide a direct linkage to the park.

The east-west section of Armstrong Drive is approximately 38' wide curb-to-curb, two-way traffic, with 5' wide sidewalks on each side behind a small tree lawn. No trees are shown in the tree lawn. They are proposing on-street parking on both sides. This allows for approximately 11' wide travel lanes and 8' wide parking lanes. The parking lanes are currently not marked as such on the plan. There is no delineation shown where on-street parking will begin, although it's likely just west of buildings 9 & 11. We recommend strong signage and striping. Likewise, we recommend bumpouts at the crosswalk crossing Armstrong at First.

The Court handles two-way traffic and has perpendicular parking along both sides, as well as dumpsters. The roadway is approximately 22' wide overall (sometimes a smidge wider at the curves), which is suitable for residential two-way traffic. A bump-out is provided at each end.

ENGINEERING & STORMWATER

§122-128(6), §122-128(7)

(6) Adequate services and utilities including sanitary sewers shall be available or provided, with sufficient capacity to properly serve the development. Appropriate measures will be taken to ensure that site drainage will not adversely affect adjoining properties or the capacity of the public storm drainage system, or nearby bodies of water. Provisions shall be made to accommodate stormwater and prevent soil erosion. All stormwater management facilities, including but not limited to storm sewers and detention/retention facilities, shall be designed in accordance with the "Rules of the Washtenaw County Water Resources Commissioner," together with any special provisions established by the city.

(7) Natural resources will be protected to the maximum feasible extent. The proposed development will not cause soil erosion or sedimentation problems, and will respect floodways or floodplains on or in the vicinity of the subject property.

See engineering review.

SCREENING**§122-128(8)**

"The site plan shall provide reasonable visual and sound privacy for all dwelling units on or adjacent to the property. Fences, walks, barriers, and landscaping shall be used, as appropriate, for protection and enhancement of the property. All outdoor storage of materials, loading and unloading areas, and refuse containers shall be screened or located so as not to be a nuisance. Outdoor lighting shall be shielded so as to not adversely affect neighboring properties or traffic on adjacent streets."

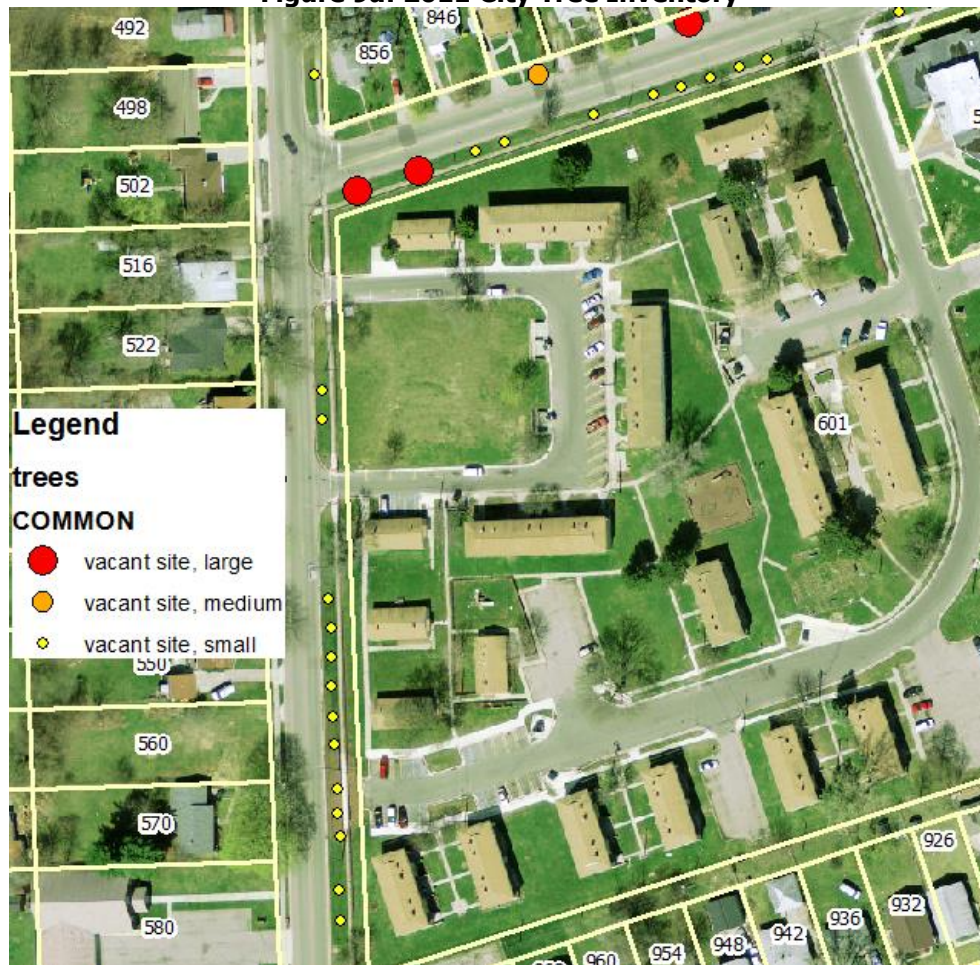
Figure 9: Screening

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
§122-641 Lighting	• Dark Sky compliant; may be full cutoff where affecting residential uses • not >0.5 fc @ lot line • not >16'in height • not < 0.3 fc		Street lighting proposed will be 11'6" tall. Light type will be Granville, a standard type offered and stocked by DTE. These will become part of the City's streetlight stock. Staff recommends the "lunar Granville," which has significantly less uplight. A cutsheet was included for a fixture that presumably will be located on the structures. However, locations are not shown. Side elevations have not been shown. No windows are presumed to exist on "ends" of townhome buildings. Provide wall-pak lighting at north end of building 30; between buildings 28 & 29, between buildings 28 & 27, between buildings 32 & 33, between buildings 33 & 34, and on the east end of building 35 (community building). Submit plans for review.

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
§122-650 Refuse Containers	masonry enclosure 1' taller than dumpster (no less than 6'), in rear yard, 80% opaque swing door, on a concrete pad	Not shown	Two dumpsters are shown in the Court. Curbside trash service, including recycling, is proposed for the duplexes. No recycling options are shown for the townhome residents.
§122-702 Landscape plan			
§122-703 Screening Between Land Uses <i>if conflicting use</i>	visual buffer of at least 80% opacity and 6' height		Not a conflicting land use.
§122-704 Street Trees	1 tree per 30' of lineal frontage, centered between sidewalk and back of curb: Parcel A: harriet: $431/30 = 14$ first: $180'/30 = 6$ court: $503/30 = 17$ armstrong: $173'/30 = 6$ Parcel B: first: $220' / 30 = 7$ armstrong: $634'/30 = 21$ court: $349' / 1 = 12$ Parcel C: Armstrong: $597' / 30 = 20$ first: $100/3 = 3$		Parcel A: • harriet: 0 (15)* • first: 0 (8)* • court: 9. • armstrong: 0 (7)*: located between sidewalk and building. Insufficient greenspace between sidewalk and street. Parcel B: • first: 0(10)* • armstrong: 0 (24)* • court: 11 Located in bumpouts /landscape islands. Parcel C: • Armstrong: 0 (21)* • First: 0 (5)* * number in parentheses is number located between sidewalk and building – not sidewalk and street.

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
	Conformance with Urban Forestry plan		Approximately 8 small trees and two large could be located on Harriet Street frontage per 2011 inventory. Up to 10 small trees could be located on the First right-of-way. Type of tree in both cases is constrained by presence of overhead wires. (see figure next page)

Figure 9a: 2011 City Tree Inventory



§122-707	Foundation Landscaping <i>Required in MD, PMD zoning districts and with (Large Footprint) Single Story Commercial Buildings on front or sides of buildings facing public ROW, parking, or other access</i>	6 shrubs per 30 lineal feet of applicable building frontage in 6' wide planting area		Foundation plantings provided for all structures.
§122-708	Site Landscaping	10%	None	~16,900/27,849 = 60%
§122-710	Exterior Electrical	Screen when visible from any primary visual exposure area	n/a	n/a
122-711	Landscape Elements	Quality, composition, berms, spacing, species		Meets.
		Credit for existing vegetation		Given. Retained trees considered in existing counts.
§122-712	Maintenance	Readily available and acceptable water supply; may install underground sprinkler system		No maintenance plan specified.
§122-713	Fencing, hedges, walls, berms	<i>Per district</i>		None shown, none required.

Items to be Addressed:

1. Indicate location of building-mounted light fixtures and legible cut sheet.
2. Provide wall-mounted lighting between townhome buildings in conformance with 122-641. Submit light locations and cut sheets for administrative approvals.
3. Re-dedicate approximately 50% of "foundation trees" along Harriet, First, and Armstrong (east-west portion) as street trees. Recommend choosing street tree species from City's "suggested species" list at cityofpysilanti.com/zoning; ensure correct tree is chosen for location due to overhead wires- small trees (ex.- dogwood, smoketree, serviceberry, zelkova) recommended.
4. Provide maintenance details for plantings, such as sprinkler system/watering plan.

OTHER DEPARTMENT AND AGENCY APPROVALS**§122-128(10)**

"Site plans shall conform to all applicable requirements of state and federal statutes, including health and pollution laws, fire or explosion hazards, toxic and hazardous materials, and barrier-free requirements. Site plan approval may be conditioned on the applicant receiving necessary county, state, or federal permits before a local building permit or occupancy permit is granted."

DEPARTMENT OF PUBLIC SERVICES

The applicant is responsible for obtaining permits from the Department of Public Services before beginning work on any portion of the City right-of-way, including sidewalks, curbs/curbcuts, and driveways on Harriet and First. Roads (Armstrong Drive and First/Armstrong Court) must meet all City engineering standards prior to City's acceptance. Storm drains and stormwater management practices must also meet City standards.

FIRE DEPARTMENT

The applicant is proposing significant changes to the circulation patterns onsite. There are currently seven hydrants within the site (two on First Court, five on Armstrong Drive). It appears as though there are five hydrants proposed; but the locations appear to be outdated/incorrect. This will be addressed during engineering review.

YPSILANTI COMMUNITY UTILITIES AUTHORITY

A permit from the YCUA for any new or modified water or sewer service is required. See attached letter; deficiencies exist.

COUNTY WATER RESOURCES COMMISSIONER

A permit from the Washtenaw County Water Resources Commissioner for soil erosion and sedimentation is required prior to starting work.

MASTER PLAN CONSIDERATIONS

§122-128(11)

"An objective of site plan review shall be to protect and promote public health, safety, sustainability and general welfare. It is also the intent of site plan review to improve the quality of existing developments as they are expanded, contracted, or redeveloped in keeping with sound site development standards of this chapter and city master plan."

Safety Comes First. The changes to the layout in this area increase natural surveillance – “eyes on the street.” Ensure lighting recommendations are followed. The programmed public areas- tot lot, gardens- will be lit and legible as public spaces; connected sidewalks will ensure they are accessible.

Diversity is our strength. This development does not introduce or accommodate new economic, racial, or other diversity. However, it does sustain the existing economic diversity of the City, and more units in this development are barrier-free than in the existing.

Ypsilanti is sustainable. Community gardens have been planned from the outset as part of this development, helping to support food security. Supportive programming, part of the Family Empowerment Program currently offered at Hamilton Crossing, will be mandatory for residents, helping their stay in public housing be positive and brief.

Anyone, no matter what age or income, can find a place to call home in Ypsilanti. This action preserves affordable housing in Ypsilanti, and provides an increase in diversity of housing types for low-income households. The redevelopment will likely help to stabilize neighboring housing by removing the existing blighted structures and infrastructure.

Easily walk, bike, drive or take transit from anywhere. There is only one transit stop- the 11- near Parkridge. The 46 stops on the far side of Hamilton Crossing. Ample parking is provided, and bicycle parking must be provided. Street design is favorable for pedestrians, and bicycle traffic should be well-able to share the road at the speed and volume of vehicle traffic.

STAFF RECOMMENDATIONS: SITE PLAN

Staff recommends the Planning Commission approve the Site Plan for the Parkridge Homes with the following findings, waivers, and conditions:

Findings

1. The application substantially complies with §122-127.
2. Ratio of lot size to number of units is inclusive of rights-of-way within the site.

Waivers

1. Re-dedicate approximately 50% of "foundation trees" along Harriet, First, and Armstrong (east-west portion) as street trees. Recommend choosing street tree species from City's "suggested species" list at cityofpysilanti.com/zoning; ensure correct tree is chosen for location due to overhead wires- small trees (ex.- dogwood, smoketree, serviceberry, zelkova) recommended.

Conditions

1. Lot coverage calculations not shown. Applicant to submit. Conversation with architect 11/12 indicates that the lot coverage (buildings) is 21%.
2. Impervious surface calculations now shown. Applicant to submit. Conversation with architect 11/12 indicates that the impervious surface coverage (buildings + paving) is 39%.
3. Distance between buildings 31 and 30 is only 6' (or 12', per conversation with architect); 20 is required by the ordinance. Applicant to apply for a variance or relocate the building.
4. Provide crosswalks across Armstrong Drive following Court and at the south-east bend to facilitate access between the development and the administrative building and the park. These and all crosswalks shall be marked with high-visibility (continental, piano keys) markings.
5. At least 14 bicycle spaces shall be constructed.
6. Provide at least one barrier-free parking space for the community building.
7. Ensure barrier-free duplex units' driveway parking is accessible for vans.
8. Construct sidewalks connecting tot lot and community gardens to sidewalk network.
9. Add bumpouts to the west terminus of Armstrong Drive.
10. Meet engineering and YCUA conditions as listed under separate cover.
11. Indicate location of building-mounted light fixtures and provide a legible cut sheet.
12. Provide wall-mounted lighting between townhome buildings in conformance with §122-641. Submit light locations and cut sheets for administrative approvals.
13. Provide maintenance details for plantings, such as sprinkler system/watering plan.

Bonnie Wessler
City Planner, Community & Economic Development Department

CC File
 Applicant



Dedicated to Providing Top Quality, Cost Effective, and
Environmentally Safe Water and Wastewater Services to Our Customers

YPSILANTI COMMUNITY UTILITIES AUTHORITY

2777 STATE ROAD
YPSILANTI, MICHIGAN 48198-9112
TELEPHONE: 734-484-4600
WEBSITE: www.ycua.org

October 26, 2015

VIA ELECTRONIC MAIL

Ms. Bonnie Wessler, Planner II
CITY OF YPSILANTI
One South Huron Street
Ypsilanti, Michigan 48197

Re: Preliminary (residential) Site Plan Review #2
Parkridge Homes (f.k.a. City Housing)

Dear Ms. Wessler:

This letter is written in response to the plans received October 23, 2015 from City Housing Commission designer Fusco, Shaffer & Pappas, Inc. The plans have been reviewed with regards to water supply and wastewater system design. The plans are not acceptable to the Authority. The following comments need to be addressed by the Applicant and/or the Applicant's designer prior to the next plan submittal.

1. Presently, the onsite water supply system is owned and operated by the Authority and the onsite wastewater system is owned and operated by the applicant. Based on prior communication with the applicant's design engineer, it is understood that the onsite water supply and wastewater utilities will be private systems that will be operated and maintained by the applicant. This needs to be confirmed.
2. The plans show proposed extensions of both water mains and sanitary sewers. It is unclear what size pipes are being proposed for these extensions. The minimum allowable pipe diameter for sanitary sewer is 8", however, 8" diameter pipe cannot discharge to a smaller diameter pipe.
3. There are several locations where the existing water supply piping and/or existing wastewater system piping will be located too close to proposed buildings.
4. The plans do not indicate what will be done to abandon either the existing water services to the current buildings or the lengths of existing sanitary sewer that will be eliminated.
5. The existing wastewater system is not shown in its entirety. A copy of what is believed to be the original construction plan for the current layout is attached. The attached plan indicates numerous upstream sections of the wastewater system are 6" diameter pipe. These sections should be replaced with 8" diameter pipe and manholes installed at the upstream terminus of each run.
6. The alignments of the proposed water services and building sewers should be reexamined. There appear to be numerous services of excessive length and several crossings of proposed services at acute angles. It is recommended that the angle between horizontal alignments be no less than 45°.

Ms. Bonnie Wessler, Planner II
CITY OF YPSILANTI
October 26, 2015
Page 2

Should there be any questions please contact this office.

Sincerely,

A handwritten signature in black ink, appearing to read "Scott D. Westover". The signature is stylized with a large "S" and "W".

SDW Digital Signature

SCOTT D. WESTOVER, P.E., Engineering Manager
Ypsilanti Community Utilities Authority

cc: Mr. Jeff Castro, YCUA
Mr. Bob Fry, YCUA
Mr. Marcus McNamara, OHM Advisors, Inc.
Ms. Brooke Ellis, Fusco, Shaffer & Pappas, Inc.
Mr. Mike Peterson, P.E., Nowak & Fruas

G:\CDproj\YpsiCity\2015 - Parkridge Apartments (City Housing)\PRSP Rev#2.docx

PARKRIDGE HOMES

YPSILANTI

LIST OF DRAWINGS

CIVIL ENGINEERING

- CS1 TOPOGRAPHIC, BOUNDARY, & ALTA/ ACSM LAND TITLE SURVEY
- CS2 PARCEL SPLIT PLAN
- CS3 RIGHT-OF-WAY PLAN
- C1 BOUNDARY/TOPOGRAPHIC/TREE SURVEY
- C2 SURVEY NOTES
- C3 DEMOLITION PLAN
- C4 OVERALL PAVING
- C5 PAVING AND GRADING PLAN
- C6 PAVING AND GRADING PLAN
- C7 OVERALL UTILITY PLAN

ELECTRICAL

- EP.101 SITE PLAN - POINT-BY-POINT LIGHTING PHOTOMETRY
- E.901 SITE LIGHTING FIXTURE CUTS

LANDSCAPING

- L100 OVERALL SITE PLANTING PLAN
- L101 TREE MANAGEMENT PLAN
- L102 SITE PLANTING PLAN
- L103 SITE PLANTING PLAN
- L104 NOTES AND DETAILS

ARCHITECTURAL

- A.S.100 ARCHITECTURAL SITE PLAN
- SHT 1 OF 5 UNIT PLANS
- SHT 2 OF 5 UNITS PLANS
- SHT 3 OF 5 UNITS PLANS
- SHT 4 OF 5 DUPLEX ELEVATIONS
- SHT 5 OF 5 TOWNHOME ELEVATIONS

DEVELOPMENT TEAM

OWNER

NEW PARKRIDGE LIMITED DIVIDEND HOUSING ASSOCIATION LIMITED PARTNERSHIP
601 ARMSTRONG DRIVE
YPSILANTI, MICHIGAN 48197
410.685.6005

DEVELOPER

YPSILANTI HOUSING COMMISSION
601 ARMSTRONG DRIVE
YPSILANTI, MICHIGAN 48197
734.482.4300

DEVELOPER

CHESAPEAKE COMMUNITY ADVISORS, INC
33 SOUTH GAY STREET
BALTIMORE, MARYLAND 21202
410.685.6005

ARCHITECT

FUSCO, SHAFFER & PAPPAS, INC.
550 NINE MILE ROAD
FERNDALE, MICHIGAN 48220
248.543.4100

CIVIL ENGINEER

NOWAK & FRAUSS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MICHIGAN 48342
248.332.7931

LANDSCAPE ARCHITECT

KENNETH WEIKAL LANDSCAPE ARCHITECTURE
33203 BIDDESTONE LANE
FARMINGTON HILLS, MICHIGAN 48334
248.477.3600

ELECTRICAL ENGINEER

TAC ASSOCIATES
4321 EAST CAMDEN ROAD
OSSEO, MI 49266
517.254.4789

DATE

ISSUE

09.18.2015	SPA SUBMISSION
10.21.2015	SPA RESUBMITTAL

SIGNATURE BLOCK

SIGNATURE	INITIALS	DATE
OWNER		
ARCHITECT		
GENERAL CONTRACTOR		
SURETY COMPANY		



FUSCO, SHAFFER & PAPPAS, INC.
ARCHITECTS AND PLANNERS

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MICHIGAN

SUMMARY TABLE

SITE DATA

SITE AREA (GROSS) 7.39 ACRES
322,039 S.F.

ZONING

EXISTING MD - MUTIPLE DWELLING RESIDENTIAL

HEIGHT

MAXIMUM 6 STORIES
< 65 FEET

PROPOSED

2 STORIES
< 30 FEET

UNIT COUNT

1 BEDROOM - 850 S.F.	
FLATS	12 UNITS
FLATS (BF)	2 UNITS
TOTAL	14 UNITS
2 BEDROOM - 1,100 S.F.	
TOWNHOMES	20 UNITS
DUPLEXES	13 UNITS
FLATS (BF)	4 UNITS
FLATS (UPPER)	4 UNITS
TOTAL	41 UNITS
3 BEDROOM - 1,260 S.F.	
DUPLEXES	25 UNITS
FLATS (BF)	3 UNITS
FLATS (UPPER)	3 UNITS
TOTAL	31 UNITS

SITE TOTAL 86 UNITS

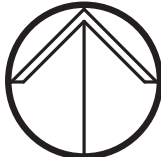
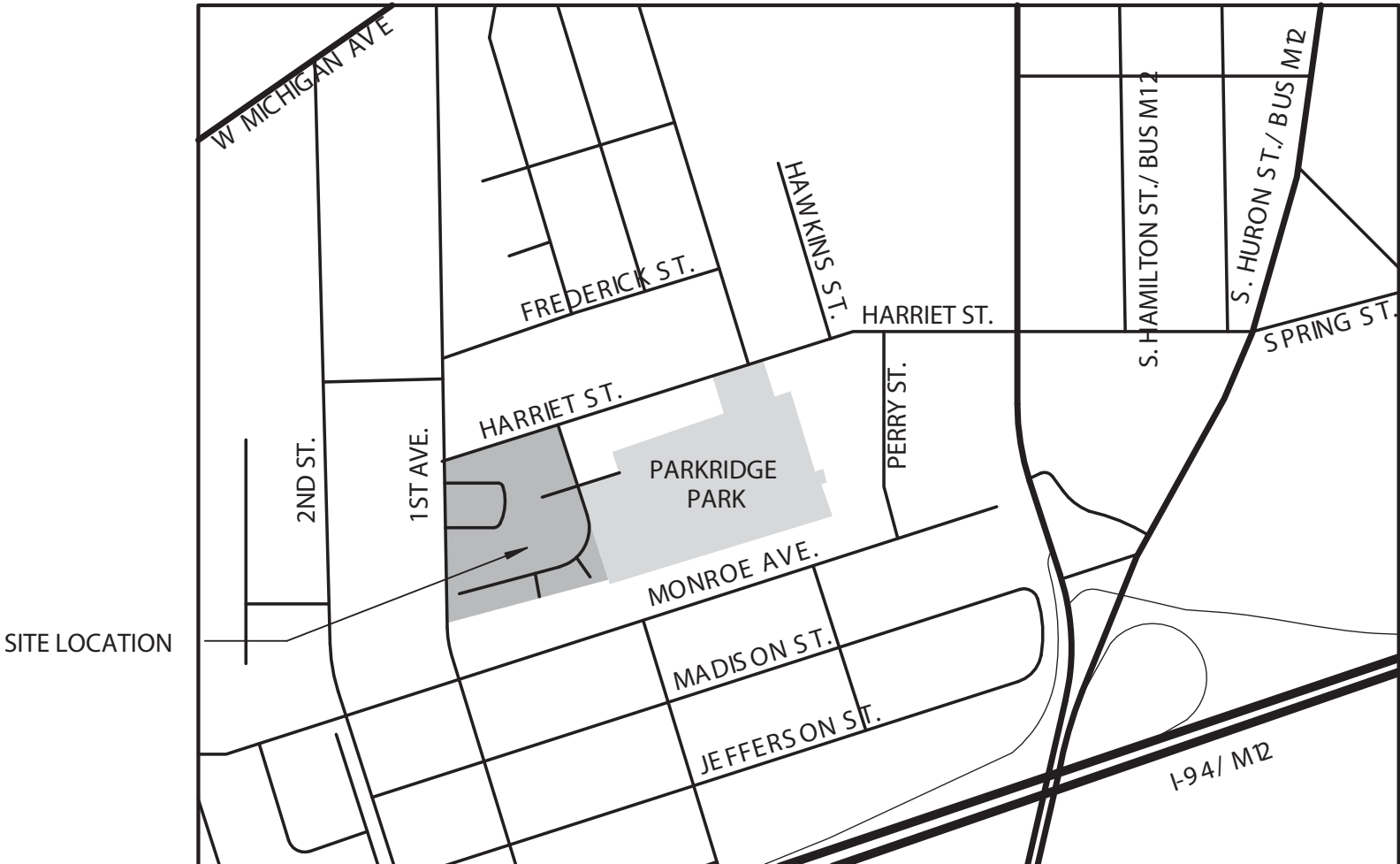
SETBACKS	REQUIRED	PROVIDED
FRONT	25 FEET	25 FEET
SIDES	4 FEET	10 FEET
REAR	25 FEET	25 FEET

PARKING

REQUIRED (1.5 SPACES PER UNIT)	138 SPACES
PROPOSED	
COMMUNITY BUILDING	10 SPACES
DUPLEXES	104 SPACES
TOWNHOMES	56 SPACES
TOTAL	166 SPACES

COMMUNITY BUILDING

PROPOSED 2,900 S.F.



LOCATION MAP

PLAN NORTH
NOT TO SCALE



Know what's below
Call before you dig.

REVISIONS

00-00-00

DRAWN BY:
D. McConkey

DESIGNED BY:

APPROVED BY:
K. Navaroli

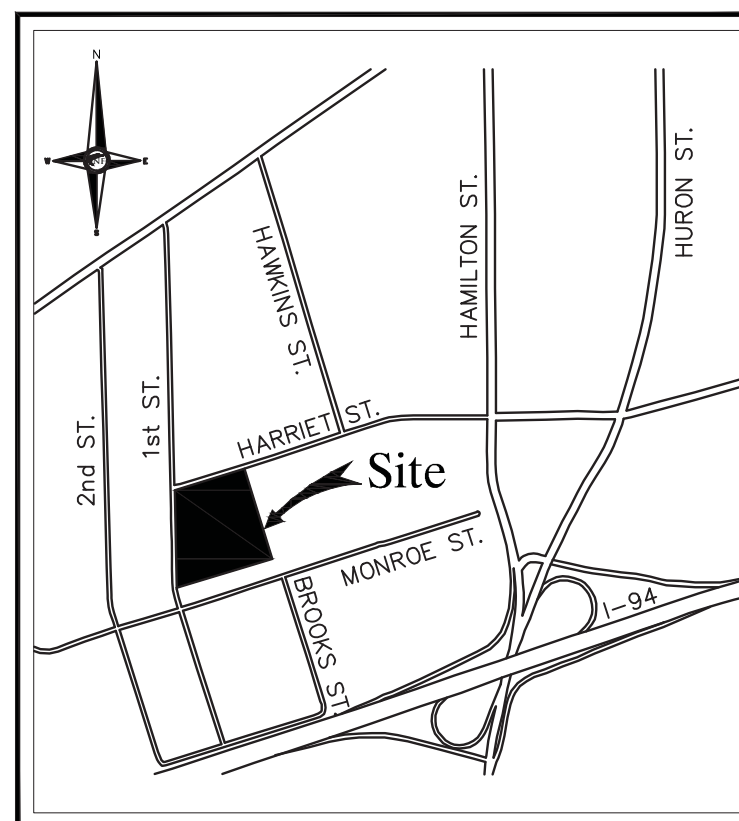
DATE:
12-10-2013

SCALE: 1" = 60'

60 30 0 30 60 90

NFE JOB NO.
H812

SHEET NO.
CS1



Location Map
N.T.S.

EX. STORM STRUCTURE

1	CATCH BASIN RM 776.61 12" NW INV. 773.91	23	CATCH BASIN RM 779.99 12" SW INV. 773.04
2	CATCH BASIN RM 775.98 12" SW INV. 773.28	24	CATCH BASIN RM 784.54 12" NE INV. 780.14
3	MANHOLE RM 776.43 12" W INV. 772.13	25	CATCH BASIN RM 783.69 12" SW INV. 758.19
4	MANHOLE RM 778.40 12" SW INV. 773.70	26	CATCH BASIN RM 782.80 8" E INV. 760.25
5	CATCH BASIN RM 777.68 12" W INV. 774.68	27	CATCH BASIN RM 781.11 12" S INV. 778.91
6	CATCH BASIN RM 778.04 12" E INV. 771.75	28	CATCH BASIN RM 781.19 12" N INV. 778.89
7	CATCH BASIN RM 778.97 12" NE INV. 775.97	29	CATCH BASIN RM 781.54 12" N INV. 777.94
8	CATCH BASIN RM 780.01 12" SE INV. 776.66	30	CATCH BASIN RM 781.18 12" S INV. 778.44
9	CATCH BASIN RM 777.73 12" SE INV. 774.13	31	CATCH BASIN RM 773.72 8" E INV. 767.82
10	CATCH BASIN RM 777.93 12" N INV. 773.13	32	CATCH BASIN RM 773.60 12" W INV. 768.42
11	CATCH BASIN RM 778.10 12" S INV. 773.93	33	CATCH BASIN RM 773.50 12" W INV. 768.80
12	CATCH BASIN RM 778.49 12" SE INV. 775.99	34	MANHOLE RM 785.41 8" S INV. 768.21
13	CATCH BASIN RM 780.81 12" N INV. 777.81	35	CATCH BASIN RM 786.41 12" S INV. 782.21
14	CATCH BASIN RM 780.53 12" NW INV. 777.53	36	CATCH BASIN RM 774.72 8" NE INV. 765.82
15	MANHOLE RM 780.70 12" N INV. 775.20	37	CATCH BASIN RM 774.71 8" NE INV. 765.82
16	CATCH BASIN RM 778.39 12" NE INV. 776.39	38	CATCH BASIN RM 774.71 8" NE INV. 765.82
17	CATCH BASIN RM 778.92 12" S INV. 778.11	39	CATCH BASIN RM 780.58 8" W INV. 773.70
18	CATCH BASIN RM 778.58 12" W INV. 779.39	40	CATCH BASIN RM 781.09 8" W INV. 778.38
19	MANHOLE RM 784.39 12" S INV. 778.09	41	CATCH BASIN RM 786.44 8" W INV. 782.24
20	CATCH BASIN RM 781.52 12" E INV. 778.82	42	CATCH BASIN RM 782.16 8" S INV. 774.26
21	CATCH BASIN RM 780.61 12" S INV. 778.11	43	CATCH BASIN RM 780.29 8" N INV. 774.48
22	MANHOLE RM 782.32 12" E INV. 777.32	44	CATCH BASIN RM 780.29 8" S INV. 774.48
23	MANHOLE RM 782.32 12" E INV. 777.32	45	STORM MANHOLE RM 786.66 8" S INV. 769.62
24	MANHOLE RM 782.32 12" E INV. 777.32	46	MANHOLE RM 780.02 8" N INV. 779.76
25	MANHOLE RM 782.32 12" E INV. 777.32	47	MANHOLE RM 780.02 8" W INV. 781.06

EX. SAN. MANHOLE

1	MANHOLE RM 786.66 8" S INV. 759.26	7	MANHOLE RM 781.66 8" S INV. 775.96
2	MANHOLE RM 771.92 8" NE INV. 760.82	8	MANHOLE RM 782.46 8" E INV. 767.11
3	MANHOLE RM 780.41 8" E INV. 773.71	9	MANHOLE RM 776.41 8" S INV. 766.01
4	MANHOLE RM 785.41 8" S INV. 768.21	10	MANHOLE RM 772.74 8" N INV. 772.84
5	MANHOLE RM 782.16 8" S INV. 774.26	11	MANHOLE RM 787.34 8" N INV. 778.54
6	MANHOLE RM 780.29 8" N INV. 774.48	12	MANHOLE RM 780.78 8" S INV. 771.58
7	MANHOLE RM 780.02 8" N INV. 779.76	13	MANHOLE RM 780.02 8" S INV. 769.62

SITE DATA

Gross Land Area: 322,039 Square Feet or 7.39 Acres.
Zoned: R-3 (Multiple-Family Medium Density Residential District) &
PL (Public Land District)
Building Setbacks:
R-3: Art. VI, Division 4, Sec.122-295, (2), (3) & (4) Zoning Ordinance
Front= 20' (2)
Sides= (3) & (4)
Rear= 25'
(2) Front yard. There shall be a front yard of not less than 20 feet as measured from the front lot line. Where an existing front yard setback line has been established by existing residential dwellings occupying 50 percent or more of the frontage within the same block on the same side of the street, the depth of the front yard shall not be less than the average depth of the front yards of the existing buildings on each side.
(3) Side yards. For single- and two-family dwellings and roominghouses with four or fewer units, no side yard shall be less than four feet, with a minimum total of 12 feet for both side yards. For multiple apartment dwellings and roominghouses with more than four units and for nonresidential uses, no side yard shall be less than six feet with a minimum total of 14 feet for both sides; provided that the minimum side yard requirements shall be increased one foot for every two feet the structure exceeds 30 feet in height.
(4) Street side yard. Where a side yard abuts a street, the minimum width of such street side yard shall be eight feet.
PL: Art. VI, Division 14, Sec.122-493, (2), (3) & (4) Zoning Ordinance
Front= (2)
Sides & Rear= (3) & (4)
(2) Front yard. The required front yard shall be equal to that of adjacent zoning districts along the same street. In the case where the land abuts two zoning districts, the required front yard shall be equal to the greater requirement of the abutting districts.
(3) Side and rear yards. The required side and rear yards shall be equal to that of adjacent zoning districts along a given property line. In the case where the land abuts two or more zoning districts along a given property, the required yard shall be equal to the greater requirement.
(4) Abutting a residential district. Notwithstanding subsection (3) of this section, no principal building or accessory structure shall be located closer than 25 feet to any adjacent residential district. An obscuring fence or greenbelt shall be provided and maintained on those sides or rear of the property directly abutting land zoned residential as provided in section 122-703. For parks, open space areas, and all recreational facilities and structures, a 50-foot yard shall be maintained along any lot line which abuts residentially zoned land.

Max. Building Height permitted:
R-3: Art. VI, Division 4, Sec.122-296, Zoning Ordinance
3 stories/40', whichever is less.
PL: Art. VI, Division 4, Sec.122-495, Zoning Ordinance
The maximum permitted building height in the PL public land district shall be equal to that of adjacent zoning districts along the same street. In the case where land abuts two zoning districts the maximum permitted building height shall be that of the greater of the two zoning districts. See section 122-640 for exceptions to height regulations.
Total Parking: 56 spaces including 7 barrier free spaces.
The above setback & height requirements were obtained from the City of Ypsilanti Zoning Ordinance. Note: The building setback lines are not plotted hereon. The surveyor cannot make a certification based on an interpretation of the Ypsilanti Zoning Ordinance. A zoning endorsement letter should be obtained from the City of Ypsilanti to insure conformity.

SURVEYOR'S CERTIFICATION
To:
Capital Fund Title Services, LLC
Old Republic National Title Insurance Company
This is to certify that this map or plan and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(c), 8, 9, 11(c), 11(d), 12, 13, 14, 16, 17, 18, 19, 20(c), 21 & 22 of Table A thereof.
The field work was completed on 11-18-2013.

Kevin Navaroli, P.S.
No 53503
Dated: 12-10-2013



BUILDING LETTER	SQUARE FOOTAGE
A	1,608
B	1,608
C	1,608
D	1,608
E	1,608
F	1,608
G	1,608
H	1,608
I	1,608
J	1,608
K	1,608
L	1,608
M	1,608
N	1,150
O	1,150
P	1,150
Q	1,150
R	1,150
S	1,150
T	1,150
V	1,150
W	1,150

Building S.F. is based on exterior building dimensions at ground level only.

Apartment buildings A-M, S, T & V are two story, while apartment buildings N-Q & W are one story. Solid buildings are constructed of wood frame with brick and vinyl exteriors and a composite shingle roof. All building heights do not exceed ±24', measured from roof peak to finished grade.

LEGEND	
MANHOLE	EXISTING SANITARY SEWER
HYDRANT	EXISTING SAN. CLEAN OUT
GATE VALVE	EXISTING WATER MAIN
CATCH BASIN	EXISTING STORM SEWER
EX. R.Y. CATCH BASIN	EXISTING BURIED CABLES
OVERHEAD LINES	OVERHEAD LINES
UTILITY POLE	UTILITY POLE
GUY WIRE	GUY WIRE
SIGN	SIGN
EXISTING GAS MAIN	EXISTING GAS MAIN

TOPOGRAPHIC SURVEY NOTES

All elevations are existing elevations, unless otherwise noted.

Utility locations were obtained from municipal officials and records of utility companies, and no guarantee can be made to the completeness, or exactness of location.

FLOOD HAZARD NOTE

The Property described on this survey does not lie within a Special Flood Hazard Area as defined by the Federal Emergency Management Agency; the property lies within Zone X of the Flood Insurance Rate Map identified as Map No. 26161C0407E & 26161C0426E bearing an effective date of 4-3-2012.

WETLAND NOTE

There was no observable evidence of wetlands within the subject property.

CEMETERY NOTE

There was no observable evidence of cemeteries or burial grounds within the subject property.

UTILITY NOTE

All utilities are underground unless otherwise noted.

The utilities shown on this survey were determined by field observation. All locations are approximate. The location of any other underground services which may exist can only be depicted if a Utility Plan is furnished to the surveyor.

SURVEY NOTES

There was no observable evidence of current earth moving work, building construction or building additions.

There are no known proposed changes in street right-of-way lines available from the controlling jurisdiction.

There was no observable evidence of recent street or sidewalk construction or repairs.

There was no observable evidence of site use as a solid waste dump, pump or sanitary landfill.

LEGAL DESCRIPTION

Land situated in the County of Washtenaw, State of Michigan City of Ypsilanti, is described as follows:

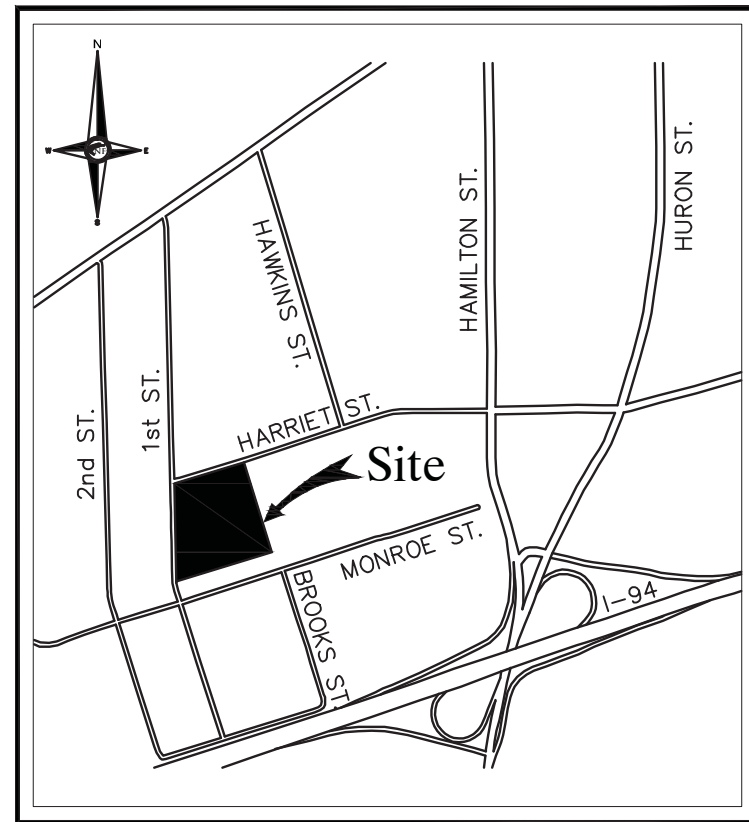
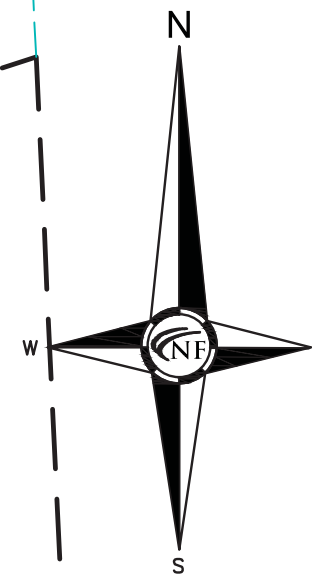
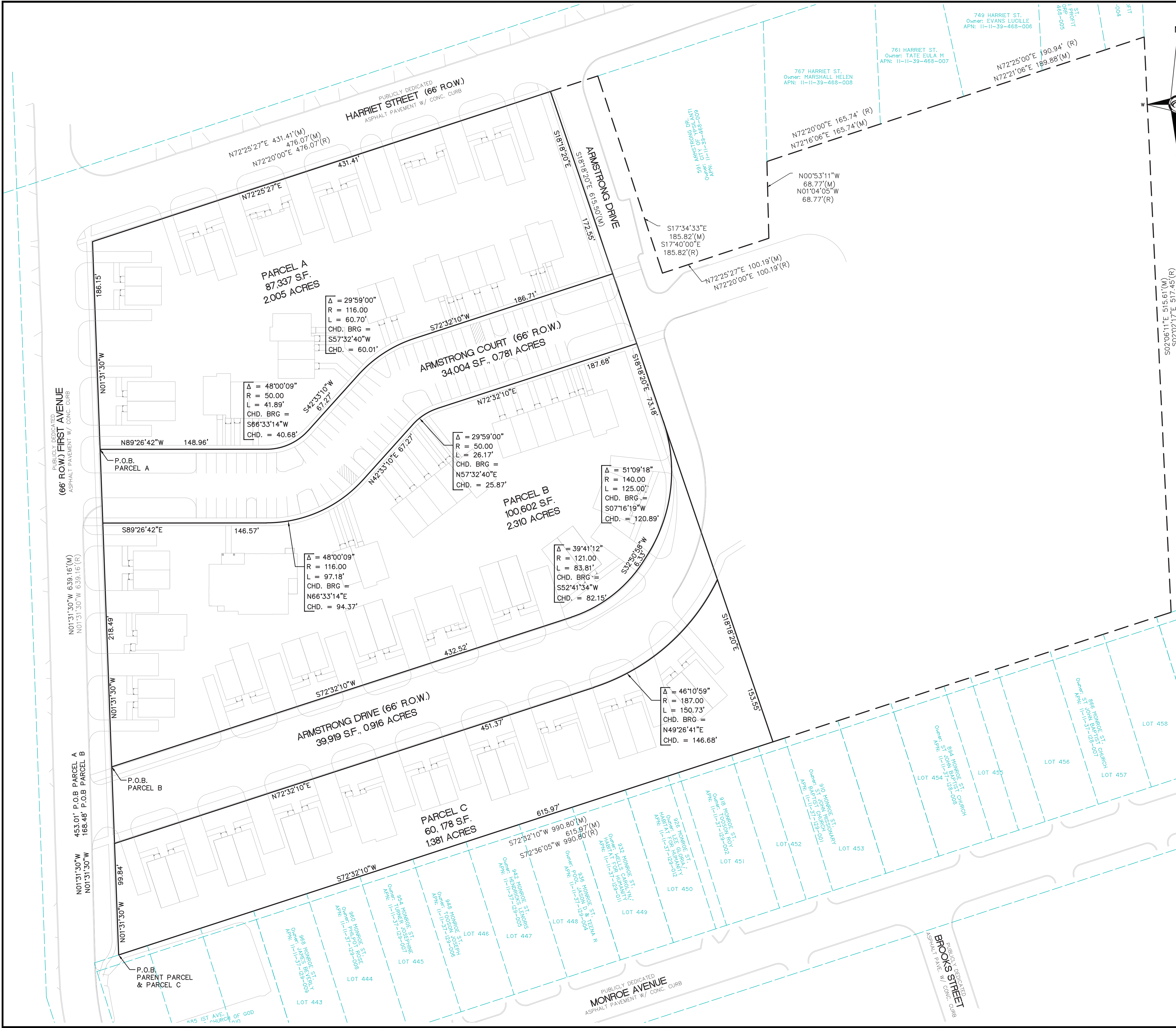
Beginning at the intersection of the easterly line of First Avenue, as it now exists 66 feet wide with the southerly line of French Claim 690; thence along said easterly line of First Avenue, North 1° 31' 30" West 639.16 feet to the southerly line of Harriet Street, as same now exists, 66 feet wide; thence along said southerly line of Harriet Street North 72° 20' East 476.07 feet; thence South 17° 40' East 185.82 feet; thence North 72° 20' East 100.19 feet; thence North 1° 4' 5" West 68.77 feet; thence North 72° 20' East 165.74 feet; thence North 72° 25' East 190.94 feet; thence South 2° 2' 17" East 517.45 feet to a point in the Southerly line of French Claim 690; thence along said Southerly line of French Claim 690 South 72° 36' 5" West a distance of 990.8 feet to the point of beginning.

Less any lands in the above description lying to the East of the following described line. Beginning at the intersection of the easterly line of First Avenue with the southerly line of French Claim 690. Thence northerly along the east right of way line of First Avenue 639.16 feet to the southerly line of Harriet Street; thence easterly along the southerly right of way line of Harriet Street 431.41 feet to the point of beginning of said line; thence southeasterly to the southerly line of French Claim 690 at a point 615.97 feet East of the intersection of the South line of French Claim 690 and the East right of way line of First Avenue, being the point of ending of this line.

601 Armstrong Drive
11-11-39-468-010 covers more land

LEGEND	
ASPH	Asphalt
C	Cable TV/Box/Riser
CATV	Catch Basin
OB	Catch Basin
CO	Clean Out
CONC	Concrete
E	Electric
EM	Electric Meter
EC	Electric Conduit/Riser
F.I.	Found Iron
OS	Gas
GL	Ground Light
GP	Guard Post
GV	Gate Valve
HYD	Hydrant
LP	Light Pole
LAND	Landscape
MANH	Manhole
MON	Monument
MW	Monitor Well
OH LINES	Overhead Lines
P	Phone/Box/Riser
PH	Physically Handicapped
PV	Post Indicator Valve
P/L	Property Line
PM	Parking Meter
ROW	Right of Way
SAN	Sanitary Sewer
SB	Stop Box (Water)
SI	Set Iron
SO	Shutoff (Water)
STM	Storm Sewer
TRANS	Transformer
UT	Utility Pole
WM	Water Main
WM	Record Measurement
(M)	Surveyed Measurement
(C)	Calculated
60	
0	
30	
60	
120	

GRAPHIC SCALE 1"=60'



LEGAL DESCRIPTION: PARENT PARCEL

Land situated in the County of Washtenaw, State of Michigan City of Ypsilanti, is described as follows:

Beginning at the intersection of the easterly line of First Avenue, as it now exists 66 feet wide with the southerly line of French Claim 690; thence along said easterly line of First Avenue, North 1° 31' 30" West 639.16 feet to the southerly line of Harriet Street, as some now exists, 66 feet wide; thence along said southerly line of Harriet Street North 72° 20' East 476.07 feet; thence South 17° 40' East 185.82 feet; thence North 72° 20' East 100.19 feet; thence North 1° 4' 5" West 68.77 feet; thence North 72° 20' East 165.74 feet; thence North 72° 25' East 190.94 feet; thence South 2° 2' 17" East 517.45 feet to a point in the Southerly line of French Claim 690; thence along said Southerly line of French Claim 690 South 72° 36' 5" West a distance of 990.6 feet to the point of beginning.

Less any lands in the above description lying to the East of the following described line. Beginning at the intersection of the easterly line of First Avenue with the southerly line of French Claim 690. Thence northerly along the east right of way line of First Avenue 639.16 feet to the southerly line of Harriet Street; thence easterly along the southerly right of way line of Harriet Street 431.41 feet to the point of beginning of said line; thence southeasterly to the southerly line of French Claim 690 at a point 615.97 feet East of the intersection of the South line of French Claim 690 and the East right of way line of First Avenue, being the point of ending of this line.

601 Armstrong Drive
11-11-39-468-010 covers more land

LEGAL DESCRIPTION: PARCEL A

Land situated in the County of Washtenaw, State of Michigan City of Ypsilanti, is described as follows:

Beginning at a point distant N.01°31'30"W. 453.01 feet from the intersection of the Easterly line of First Avenue, as it now exists 66 feet wide with the southerly line of French Claim 690; thence along said easterly line of First Avenue, N.01° 31' 30"W. 186.15 feet to the southerly line of Harriet Street, 66 feet wide; thence along said southerly line of Harriet Street N.72° 25' 27"E. 431.41 feet; thence S.18° 18' 20"E. 172.55 feet; thence S.72° 32' 10"W. 186.71 feet; thence 60.70 feet along an arc of a curve to the left (radius 116.00 feet, central angle 29° 59' 00", chord bears S.57° 32' 40"W., chord 60.01 feet) thence S.42° 33' 10"W. 67.27 feet; thence 41.89 feet along an arc of a curve to the right (radius 50.00 feet, central angle 48° 00' 09", chord bears S.66° 33' 14"W., chord 40.68 feet); thence N.89° 26' 42"W. 148.96 feet to the point of beginning. Containing 87,337 square feet or 2.005 acres.

LEGAL DESCRIPTION: PARCEL B

Land situated in the County of Washtenaw, State of Michigan City of Ypsilanti, is described as follows:

Beginning at a point distant N.01°31'30"W. 168.48 feet from the intersection of the Easterly line of First Avenue, as it now exists 66 feet wide with the southerly line of French Claim 690; thence along said easterly line of First Avenue, N.01° 31' 30"W. 218.49 feet; thence S.89° 26' 42"E. 146.57 feet; thence 97.18 feet along an arc of a curve to the left, (radius 116.00 feet, central angle 48° 00' 09", chord bears N.66° 33' 14"E., chord 94.37 feet); thence N.42° 33' 10"E. 67.27 feet; thence 26.17 feet along an arc of a curve to the left, (radius 50.00 feet, central angle 29° 59' 00", chord bears N.57° 32' 40"E., chord 26.87 feet); thence N. 72° 32' 10"E. 187.68 feet; thence S.18° 18' 20"E. 73.18 feet; thence 125.00 feet along an arc of a curve to the right, (radius 140.00 feet, central angle 51° 09' 18", chord bears S.07° 16' 19"W., chord 120.89 feet; thence S.32° 50' 58"W. 6.33 feet; thence 83.81 feet along an arc of a curve to the right, (radius 121.00 feet, central angle 39° 41' 12", chord bears S.52° 41' 34"W., chord 62.15 feet); thence S.72° 32' 10"W. 432.52 feet to the point of beginning. Containing 100,602 square feet or 2.310 acres.

LEGAL DESCRIPTION: PARENT C

Land situated in the County of Washtenaw, State of Michigan City of Ypsilanti, is described as follows:

Beginning at the intersection of the easterly line of First Avenue, as it now exists 66 feet wide with the southerly line of French Claim 690; thence along said easterly line of First Avenue, N.01° 31' 30"W. 99.84 feet; thence N.72° 32' 10"E. 451.37 feet; thence 150.73 feet along an arc of a curve to the left, (radius 187.00 feet, central angle 46° 10' 59", chord bears N.49° 26' 41"E., chord 146.68 feet); thence S.18° 18' 20"E. 153.55 feet; thence S.72° 32' 10"W. 615.97 feet to the point of beginning. Containing 60,178 square feet or 1.381 acres.

BASIS OF BEARING NOTE

The basis of bearing for this survey was established by the East line of First Avenue as described in the recorded legal description. Record bearing: N.01°31'30"W.



CIVIL ENGINEERS
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LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257

SEAL

PROJECT

Parkridge Apartments
City of Ypsilanti, Michigan

CLIENT

Ypsilanti Housing
Commission
33 S. Gay Street
Baltimore, MD 21202
c/o Chesapeake Comm.
Advisors

PROJECT LOCATION

No. 601 Armstrong Drive
Part of French Claim 690
T.3S., R.7E.,
City of Ypsilanti,
Washtenaw County, MI

SHEET

Parcel Split Plan



REVISIONS

DRAWN BY:

N. Naoum

DESIGNED BY:

APPROVED BY:

K. Navaroli

DATE:

09-16-2015

SCALE: 1" = 40'

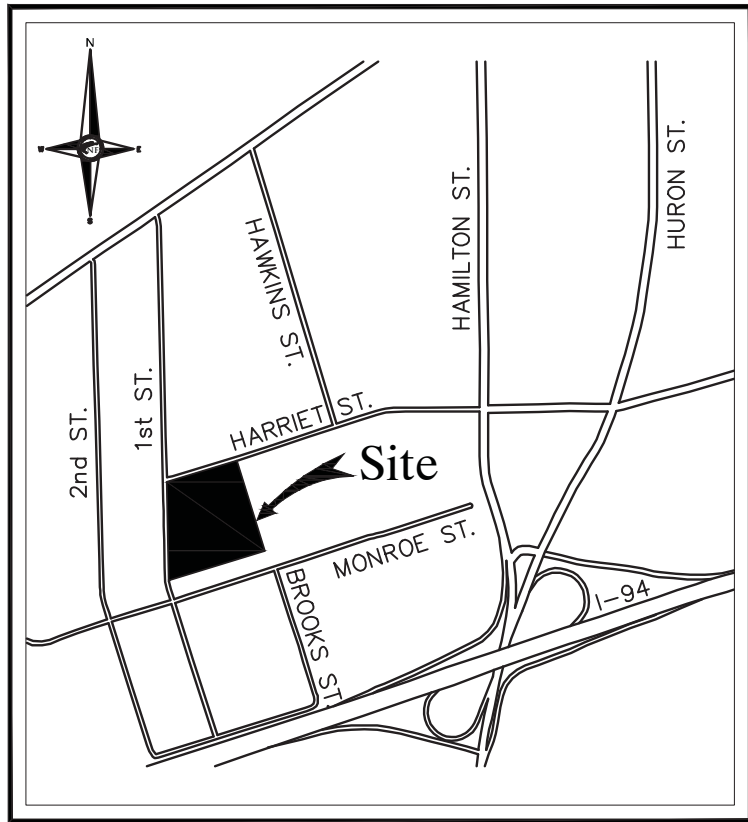
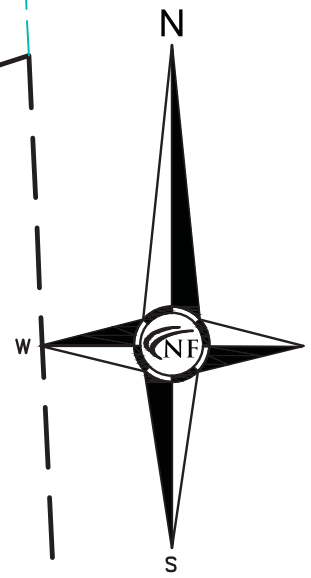
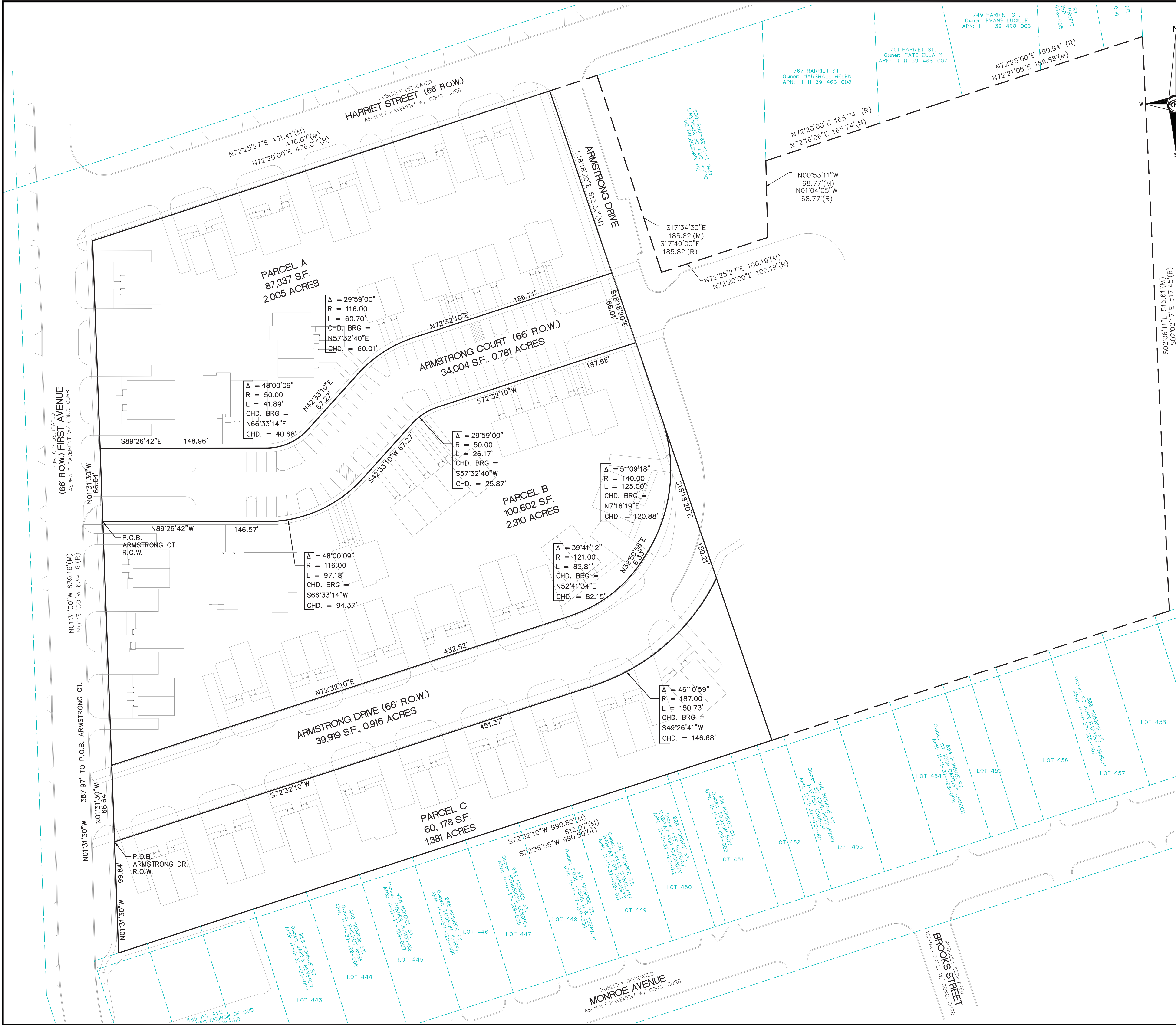
40 20 0 20 40 60

NFE JOB NO.

H812

SHEET NO.

CS2



LEGAL DESCRIPTION: PARENT PARCEL

Land situated in the County of Washtenaw, State of Michigan City of Ypsilanti, is described as follows:

Beginning at the intersection of the easterly line of First Avenue, as it now exists 66 feet wide with the southerly line of French Claim 690; thence along said easterly line of First Avenue, North 1° 31' 30" West 639.16 feet to the southerly line of Harriett Street, as same now exists, 66 feet wide; thence along said southerly line of Harriett Street North 72° 20' East 476.07 feet; thence South 17° 40' East 185.82 feet; thence North 72° 20' East 100.19 feet; thence North 1° 4' 5" West 68.77 feet thence North 72° 20' East 165.74 feet; thence North 72° 25' East 190.94 feet; thence South 2° 2' 17" East 517.45 feet to a point in the Southerly line of French Claim 690; thence along said Southerly line of French Claim 690 South 72° 36' 5" West a distance of 990.8 feet to the point of beginning.

Less any lands in the above description lying to the East of the following described line. Beginning at the intersection of the easterly line of First Avenue with the southerly line of French Claim 690. Thence northerly along the east right of way line of First Avenue 639.16 feet to the southerly line of Harriett Street; thence easterly along the southerly right of way line of Harriett Street 431.41 feet to the point of beginning of said line; thence southeasterly to the southerly line of French Claim 690 at a point 615.97 feet East of the intersection of the South line of French Claim 690 and the East right of way line of First Avenue, being the point of ending of this line.

601 Armstrong Drive
11-11-39-468-010 covers more land

LEGAL DESCRIPTION: ARMSTRONG DRIVE

Land situated in the County of Washtenaw, State of Michigan City of Ypsilanti, is described as follows:

Beginning at a point distant N.01° 31' 30" W. 99.84 feet from the intersection of the Easterly line of First Avenue, as it now exists 66 feet wide with the Southerly line of French Claim 690; thence along said Easterly line of First Avenue N.01° 31' 30" W. 68.04 feet; thence N.72° 32' 10"E. 432.52 feet; thence 83.81 feet along an arc of a curve to the left, (radius 121.00 feet, central angle 39° 41' 12", chord bears N.52° 41' 34"E, chord 82.15 feet); thence N.32° 50' 58"E. 6.33 feet; thence 125.00 feet along an arc of a curve to the left, (radius 140.00 feet, central angle 51° 09' 18", chord bears N.07° 16' 19"E, chord 120.89 feet); thence S.18° 18' 20"E. 150.21 feet; thence 150.73 feet along an arc of a curve to the right, (radius 187.00 feet, central angle 46° 10' 59", chord bears S.49° 26' 41"W, chord 146.68 feet; thence S.72° 32' 10"W. 451.37 feet to the point of beginning. Containing 39,919 square feet or 0.916 acres.

LEGAL DESCRIPTION: ARMSTRONG COURT

Land situated in the County of Washtenaw, State of Michigan City of Ypsilanti, is described as follows:

Beginning at a point distant N.01° 31' 30" W. 387.97 feet from the intersection of the Easterly line of First Avenue, as it now exists 66 feet wide with the Southerly line of French Claim 690; thence along said Easterly line of First Avenue N.01° 31' 30" W. 68.04 feet; thence S.89° 26' 42"E. 148.96 feet; thence 41.89 feet along an arc of a curve to the left, (radius 50.00 feet, central angle 48° 00' 09", chord bears N.66° 33' 14"E, chord 40.68 feet); thence N.42° 33' 10"E. 67.27 feet; thence 60.70 feet along an arc of a curve to the right, (radius 116.00 feet, central angle 29° 59' 00", chord bears N.57° 32' 40"E, chord 60.01 feet); thence N.72° 32' 10"E. 186.71 feet; thence S.18° 18' 20"E. 66.01 feet; thence S.72° 32' 10"W. 187.68 feet; thence 26.17 feet along an arc of a curve to the left, (radius 50.00 feet, central angle 29° 59' 00", chord bears S.57° 32' 40"W, chord 25.87 feet); thence S.42° 33' 10"W. 67.27 feet; thence 97.18 feet along an arc of a curve to the right, (radius 116.00 feet, central angle 48° 00' 09", chord bears S.66° 33' 14"W, chord 94.37 feet; thence N.89° 26' 42"W. 146.57 feet to the point of beginning. Containing 34,004 square feet or 0.781 acres.

BASIS OF BEARING NOTE

The basis of bearing for this survey was established by the East line of First Avenue as described in the recorded legal description. Record bearing: N.01°31'30"W.



**CIVIL ENGINEERS
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LAND PLANNERS**

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46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257

SEAL

PROJECT

Parkridge Apartments
City of Ypsilanti, Michigan

CLIENT

Ypsilanti Housing
Commission
33 S. Gay Street
Baltimore, MD 21202
c/o Chesapeake Comm.
Advisors

PROJECT LOCATION

No. 601 Armstrong Drive
Part of French Claim 690
T.3S., R.7E.,
City of Ypsilanti,
Washtenaw County, MI

SHEET

Right-of-Way Plan



Know what's below
Call before you dig.

REVISIONS

DRAWN BY:

N. Naoum

DESIGNED BY:

APPROVED BY:

K. Navaroli

DATE:

09-16-2015

SCALE: 1" = 40'

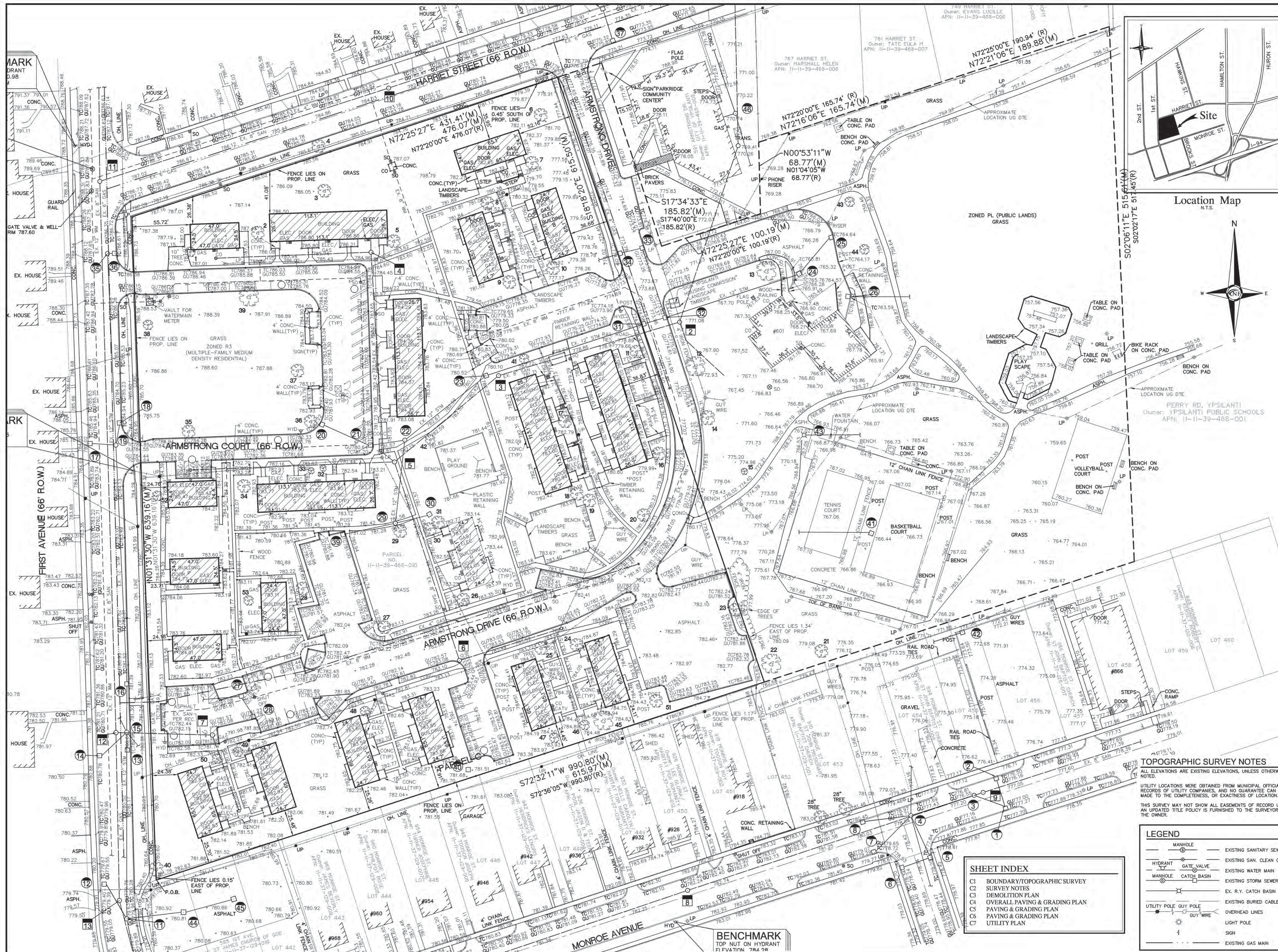
40 20 0 20 40 60

NFE JOB NO.

H812

SHEET NO.

CS3



NF ENGINEERS

CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257



PROJECT
Parkridge Apartments
City of Ypsilanti, Michigan

CLIENT
Ypsilanti Housing
Commission
33 S. Gay Street
Baltimore, MD 21202
c/o Chesapeake Comm.
Advisors

PROJECT LOCATION
No. 601 Armstrong Drive
Part of French Claim 690
T.3S., R.7E.,
City of Ypsilanti,
Washtenaw County, MI

SHEET
Boundary / Topographic /
Tree Survey



REVISIONS
00-00-00

DRAWN BY:
N. Naoum
DESIGNED BY:
J. Johnson
APPROVED BY:
M. Peterson
DATE:
10-20-2015
SCALE: 1" = 30'
NFE JOB NO. H812 SHEET NO. C1

TOPOGRAPHIC SURVEY NOTES
ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.
UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.
THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER.

LEGEND	
MANHOLE	EXISTING SANITARY SEWER
HYDRANT	EXISTING SAN. CLEAN OUT
MANHOLE	EXISTING WATER MAIN
CATCH BASIN	EXISTING STORM SEWER
UTILITY POLE	EX. R.Y. CATCH BASIN
GUY POLE	EXISTING BURIED CABLES
GUY WIRE	OVERHEAD LINES
SIGN	LIGHT POLE
EXISTING GAS MAIN	SIGN

SHEET INDEX	
C1	BOUNDARY/TOPOGRAPHIC SURVEY
C2	SURVEY NOTES
C3	DEMOLITION PLAN
C4	OVERALL PAVING & GRADING PLAN
C5	PAVING & GRADING PLAN
C6	PAVING & GRADING PLAN
C7	UTILITY PLAN



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SEAL



PROJECT

Parkridge Apartments
City of Ypsilanti, Michigan

CLIENT

Ypsilanti Housing
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33 S. Gay Street
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PROJECT LOCATION

No. 601 Armstrong Drive
Part of French Claim 690
T.3S., R.7E.,
City of Ypsilanti,
Washtenaw County, MI

SHEET

Survey Notes



REVISIONS

DRAWN BY:

N. Naoom

DESIGNED BY:

J. Johnson

APPROVED BY:

M. Peterson

DATE:

10-20-2015

SCALE:

NFE JOB NO.

H812

SHEET NO.

C2

TREE LIST

TREE NUMBER	TREE TYPE
1.	10" PINE
2.	14" CEDAR
3.	14" CEDAR
4.	20" MAPLE
5.	36" MAPLE
6.	20" ELM
7.	20" LOCUST
8.	20" PINE
9.	30" OAK
10.	20" MAPLE
11.	24" MAPLE
12.	24" MAPLE
13.	24" MAPLE
14.	14" MAPLE
15.	6" MULBERRY
16.	12" BOX ELDER
17.	20" LOCUST
18.	40" PINE
19.	18" PINE
20.	36" MULBERRY
21.	14" MAPLE
22.	50" OAK
23.	24" ELM
24.	18" PINE
25.	18" LOCUST
26.	12" ASH
27.	30" ELM
28.	12" MAPLE
29.	20" PINE
30.	20" PINE
31.	20" PINE
32.	8" ASH
33.	6" ASH
34.	18" LOCUST
35.	12" MAPLE
36.	14" OAK
37.	14" MAPLE
38.	12" BOX ELDER
39.	30" ELM
40.	12" TREE OF HEAVEN
41.	18" ELM
42.	18" ELM
43.	4"-10" LOCUST
44.	16" MAPLE
45.	40" COTTONWOOD
46.	18" PINE
47.	16" PINE
48.	12" BLACK WILLOW
49.	10" ASH
50.	10" ASH
51.	18" MAPLE
52.	28" ELM
53.	14" MAPLE

LEGEND

ASPH = Asphalt
C = Cable
CATV = Cable TV/Box/Riser
CB = Catch Basin
CO = Clean Out
CONC = Concrete
E = Electric
EM = Electric Meter
EC = Electric Conduit/Riser
F.I. = Found Iron
G = Gas
GL = Ground Light
GP = Guard Post
GV = Gate Valve
HYD = Hydrant
LP = Light Pole
L/S = Landscape
MH = Manhole
MON. = Monument
MW = Monitor Well
OH LINES = Overhead Lines
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PH = Physically Handicapped
PIV = Post Indicator Valve
P/L = Property Line
PM = Parking Meter
ROW = Right of Way
SAN = Sanitary Sewer
SB = Stop Box (Water)
S.I. = Set Iron
SO = Shutoff (Water)
STM = Storm Sewer
TRANS = Transformer
UP = Utility Pole
WM = Water Main
(R) = Record Measurement
(M) = Surveyed Measurement
(C) = Calculated

EX. STORM STRUCTURE

1	CATCH BASIN RIM 776.61 12" NW INV. 773.91	23	CATCH BASIN RIM 779.99 12" SW INV. 773.04
2	CATCH BASIN RIM 775.98 12" SW INV. 773.28	24	CATCH BASIN RIM 784.94 12" NE INV. 780.14 12" SW INV. 759.94
3	MANHOLE RIM 776.43 12" W INV. 772.13 12" SE INV. 772.53 12" E INV. 772.43	25	CATCH BASIN RIM 783.69 12" SW INV. 758.19
4	MANHOLE RIM 778.40 12" SW INV. 773.70 12" W INV. 774.10 12" N INV. 771.75 12" E INV. 771.75 12" S INV. 773.80	26	CATCH BASIN RIM 782.80 8" E INV. 760.25
5	CATCH BASIN RIM 777.68 12" N INV. 774.68 12" W INV. 774.88	27	CATCH BASIN RIM 781.11 12" S INV. 778.91 12" W INV. 778.71
6	CATCH BASIN RIM 778.04 12" E INV. 775.64	28	CATCH BASIN RIM 781.19 12" N INV. 778.89
7	CATCH BASIN RIM 778.97 12" NE INV. 775.97	29	CATCH BASIN RIM 781.54 12" N INV. 777.94 12" W INV. 778.44
8	CATCH BASIN RIM 780.01 12" SE INV. 776.66	30	CATCH BASIN RIM 781.18 FULL OF WATER
9	CATCH BASIN RIM 778.10 12" SW INV. 774.40	31	CATCH BASIN RIM 773.72 12" E INV. 767.62 12" W INV. 768.42
10	CATCH BASIN RIM 777.73 12" SE INV. 774.13	32	CATCH BASIN RIM 773.71 12" W INV. 767.61 12" N INV. 767.21 12" E INV. 766.21
11	MANHOLE RIM 779.93 12" N INV. 773.13 12" S INV. 772.93 8" E INV. 774.63 12" NW INV. 774.63	33	CATCH BASIN RIM 773.36 12" W INV. 768.46
12	CATCH BASIN RIM 774.49 12" SE INV. 775.99	34	CATCH BASIN RIM 773.60 12" E INV. 768.80 12" W T/W INV. 768.80
13	CATCH BASIN RIM 780.61 12" N INV. 777.81	35	MANHOLE RIM 786.41 12" E INV. 782.71 12" S INV. 782.21
14	CATCH BASIN RIM 780.53 12" NW INV. 777.53	36	CATCH BASIN RIM 786.17 12" W INV. 782.57
15	MANHOLE RIM 780.70 12" N INV. 775.20 12" NE INV. 776.20 12" SE INV. 776.30 12" S INV. 775.00 12" NW INV. 775.70	37	CATCH BASIN RIM 774.72 12" N INV. 765.82
16	CATCH BASIN RIM 780.71 12" S INV. 778.11	38	CATCH BASIN RIM 774.71 FULL OF WATER
17	CATCH BASIN RIM 784.57 12" E INV. 780.92	39	CATCH BASIN RIM 780.58 12" E INV. 778.38
18	CATCH BASIN RIM 784.58 12" SW INV. 781.08	40	CATCH BASIN RIM 781.09 FULL OF DIRT
19	MANHOLE RIM 784.39 12" NE INV. 779.09 12" W INV. 779.39 12" S INV. 777.39	41	CATCH BASIN RIM 786.44 8" W INV. 762.24
20	CATCH BASIN RIM 781.52 12" E INV. 778.82	42	CATCH BASIN RIM 772.07 12" W INV. 763.42
21	CATCH BASIN RIM 780.61 12" W INV. 778.11 12" E INV. 777.31	43	CATCH BASIN RIM 766.20 10" E INV. 761.50
22	MANHOLE RIM 782.32 12" E INV. 776.42 12" S INV. 777.42 12" NE INV. 776.52	44	CATCH BASIN RIM 780.29 8" W INV. 777.74 8" E INV. 777.99
		45	CATCH BASIN RIM 780.20 8" W INV. 778.25
		46	STORM MANHOLE RIM 769.66 8" S INV. 760.26 8" N INV. 759.76 6" W INV. 761.06

LEGAL DESCRIPTION

Land situated in the County of Washtenaw, State of Michigan City of Ypsilanti, is described as follows:

Beginning at the intersection of the easterly line of First Avenue, as it now exists 66 feet wide with the southerly line of French Claim 690; thence along said easterly line of First Avenue, North 1' 31' 30" West 639.16 feet to the southerly line of Harriett Street, as same now exists, 66 feet wide; thence along said southerly line of Harriett Street North 72' 20' East 476.07 feet; thence South 17' 40' East 185.82 feet; thence North 72' 20' East 100.19 feet; thence North 1' 4' 5" West 68.77 feet; thence North 72' 20' East 165.74 feet; thence North 72' 25' East 190.94 feet; thence South 2' 2' 17" East 517.45 feet to a point in the Southerly line of French Claim 690; thence along said Southerly line of French Claim 690 South 72' 36' 5" West a distance of 990.8 feet to the point of beginning.

Less any lands in the above description lying to the East of the following described line. Beginning at the intersection of the easterly line of First Avenue with the southerly line of French Claim 690. Thence northerly along the east right of way line of First Avenue 639.16 feet to the southerly line of Harriett Street; thence easterly along the southerly right of way line of Harriett Street 431.41 feet to the point of beginning of said line; thence southeasterly to the southerly line of French Claim 690 at a point 615.97 feet East of the intersection of the South line of French Claim 690 and the East right of way line of First Avenue, being the point of ending of this line.

601 Armstrong Drive
11-11-39-468-010 covers more land

EX. SAN. MANHOLE

1	MANHOLE RIM 786.66 8" N INV. 759.26 12" SW INV. 759.31	7	MANHOLE RIM 781.66 8" S INV. 776.16 8" W INV. 775.96
2	MANHOLE RIM 771.92 8" NE INV. 760.82 8" W INV. 761.22 8" S INV. 760.92	8	MANHOLE RIM 782.46 8" E INV. 767.11 8" W INV. 767.21
3	MANHOLE RIM 780.41 8" E INV. 773.71 8" W INV. 773.81	9	MANHOLE RIM 776.41 8" E INV. 766.01 8" W INV. 766.06
4	MANHOLE RIM 785.10 8" N INV. 779.70 8" S INV. 779.50 8" W INV. 779.70	10	MANHOLE RIM 783.54 8" E INV. 772.74 8" W INV. 772.84
5	MANHOLE RIM 782.16 8" S INV. 774.26 8" W INV. 774.46 8" NW INV. 774.26 8" E INV. 774.06	11	MANHOLE RIM 787.34 8" S INV. 778.54 8" N INV. 778.54 8" E INV. 778.44
6	MANHOLE RIM 783.02 8" N INV. 774.92 8" E INV. 775.02 8" W INV. 775.02	12	MANHOLE RIM 780.78 8" S INV. 771.58 8" N INV. 769.48
		13	MANHOLE RIM 780.02 8" S INV. 769.62 8" N INV. 769.57

BASIS OF BEARING NOTE

The basis of bearing for this survey was established by the East line of First Avenue as described in the recorded legal description. Record bearing: N.01°31'30"W.

TOPOGRAPHIC SURVEY NOTES

All elevations are existing elevations, unless otherwise noted.

Utility locations were obtained from municipal officials and records of utility companies, and no guarantee can be made to the completeness, or exactness of location.

FLOOD HAZARD NOTE

The Property described on this survey does not lie within a Special Flood Hazard Area as defined by the Federal Emergency Management Agency; the property lies within Zone X of the Flood Insurance Rate Map identified as Map No. 26161C0407E & 26161C0426E bearing an effective date of 4-3-2012.

WETLAND NOTE

There was no observable evidence of wetlands within the subject property.

CEMETERY NOTE

There was no observable evidence of cemeteries or burial grounds within the subject property.

UTILITY NOTE

All utilities are underground unless otherwise noted.

The utilities shown on this survey were determined by field observation. All locations are approximate. The location of any other underground services which may exist can only be depicted if a Utility Plan is furnished to the surveyor.

SURVEY NOTES

There was no observable evidence of current earth moving work, building construction or building additions.

There are no known proposed changes in street right-of-way lines available from the controlling jurisdiction.

There was no observable evidence of recent street or sidewalk construction or repairs.

There was no observable evidence of site use as a solid waste dump, sump or sanitary landfill.

BUILDING DATA

BUILDING LETTER	SQUARE FOOTAGE
A.	1,608
B.	1,608
C.	1,608
D.	3,020
E.	3,020
F.	1,608
G.	1,608
H.	1,608
J.	1,608
K.	1,608
L.	1,608
M.	1,608
N.	1,150
O.	1,150
P.	1,150
Q.	1,150
S.	3,020
T.	3,020
V.	3,020
W.	1,150

Building S.F. is based on exterior building dimensions at ground level only.

Apartment buildings A-M, S, T & V are two story, while apartment buildings N-Q & W are one story. Solid buildings are constructed of wood frame with brick and vinyl exteriors and a composite shingle roof. All building heights do not exceed ±24', measured from roof peak to finished grade.

TITLE NOTES

Subject to:

1.(c) Easements or claims thereof, which are not shown by the public record.

2. Terms, conditions, restrictions and easements as disclosed in quit claim deed recorded in Liber 637, page 593. [Solid easement is not within or adjacent to the subject property and is not plotted hereon].

3. Grant of Easement in favor of Comcast of the South, Inc., recorded in Liber 4492, page 597. [Blanket easement].

4. Resolutions pertaining to the Parkridge Urban Renewal Project recorded in Liber 1265, page 4 and 6. [Solid document does not describe any plottable easements or restrictions].

All exceptions shown or noted on this survey were obtained from Title Commitment No. 624303, with an effective date of 11-01-2013, issued by Capital Fund Title Services, LLC.

SITE DATA

Gross Land Area: 322,039 Square Feet or 7.39 Acres.
Zoned: R-3 (Multiple-Family Medium Density Residential District) & PL (Public Land District)

Building Setbacks:

R-3: Art. VII, Division 4, Sec.122-295, (2), (3) & (4) Zoning Ordinance
Front= 20' (2)
Sides= (3) & (4)
Rear= 25'

(2) Front yard. There shall be a front yard of not less than 20 feet as measured from the front lot line. Where an existing front yard setback line has been established by existing residential dwellings occupying 50 percent or more of the frontage within the same block on the same side of the street, the depth of the front yard shall not be less than the average depth of the front yards of the existing buildings on each side.
(3) Side yards. For single- and two-family dwellings and roominghouses with four or fewer units, no side yard shall be less than four feet, with a minimum total of 12 feet for both side yards. For multiple apartment dwellings and roominghouses with more than four units and for nonresidential uses, no side yard shall be less than six feet with a minimum total of 14 feet for both sides; provided that the minimum side yard requirements shall be increased one foot for every two feet the structure exceeds 30 feet in height.

(4) Street side yard. Where a side yard abuts a street, the minimum width of such street side yard shall be eight feet.
PL: Art. VII, Division 14, Sec.122-493, (2), (3) & (4) Zoning Ordinance
Front= (2)
Sides & Rear= (3) & (4)

(2) Front yard. The required front yard shall be equal to that of adjacent zoning districts along the same street. In the case where the land abuts two zoning districts, the required front yard shall be equal to the greater requirement of the abutting districts.

(3) Side and rear yards. The required side and rear yards shall be equal to that of adjacent zoning districts along a given property line. In the case where the land abuts two or more zoning districts along a given property, the required yard shall be equal to the greater requirement.

(4) Abutting a residential district. Notwithstanding subsection (3) of this section, no principal building or accessory structure shall be located closer than 25 feet to any adjacent residential district. An obscuring fence or greenbelt shall be provided and maintained on those sides or rear of the property directly abutting land zoned residential as provided in section 122-703. For parks, open space areas, and all recreational facilities and structures, a 50-foot yard shall be maintained along any lot line which abuts residentially zoned land.

Max. Building Height permitted:
R-3: Art. VII, Division 4, Sec.122-296, Zoning Ordinance
3 stories/40', whichever is less

PL: Art. VII, Division 4, Sec.122-495, Zoning Ordinance
The maximum permitted building height in the PL public land district shall be equal to that of adjacent zoning districts along the same street. In the case where land abuts two zoning districts the maximum permitted building height shall be that of the greater of the two zoning districts. See section 122-640 for exceptions to height regulations.

Total Parking:56 spaces including 7 barrier free spaces.

The above setback & height requirements were obtained from the City of Ypsilanti Zoning Ordinance. Note: The building setback lines are not plotted hereon. The surveyor cannot make a certification based on an interpretation of the Ypsilanti Zoning Ordinance. A zoning endorsement letter should be obtained from the City of Ypsilanti to insure conformity.

SURVEYOR'S CERTIFICATION

To:

Capital Fund Title Services, LLC
Old Republic National Title Insurance Company

This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b), 7(c), 8, 9, 11(a), 11(b), 12, 13, 14, 16, 17, 18, 19, 20(a), 21 & 22 of Table A thereof.

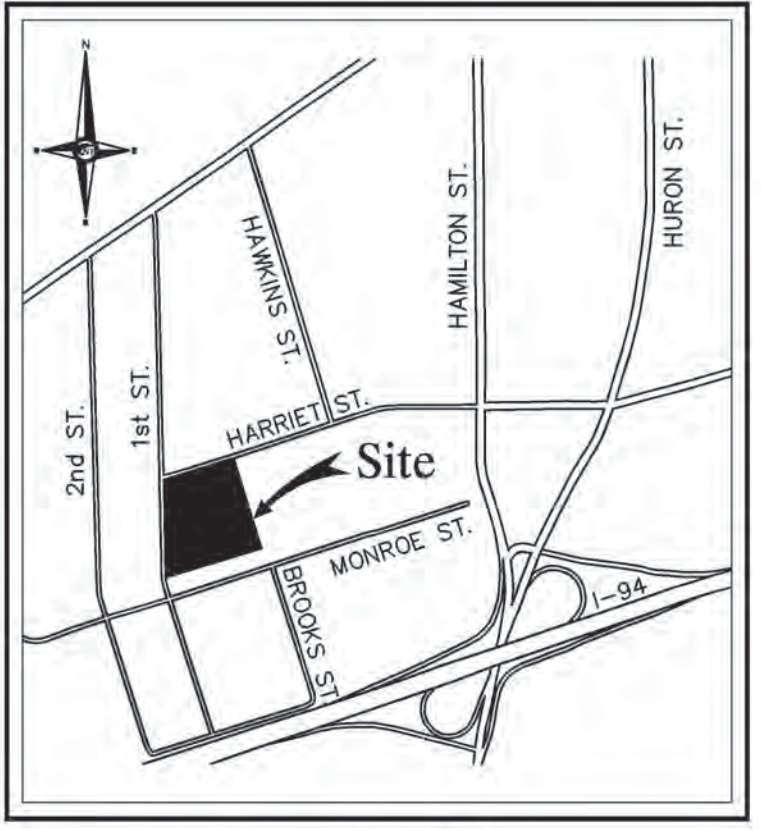
The field work was completed on 11-18-2013.

Kevin Navaroli, P.S.
No 53503
Dated: 12-10-2013

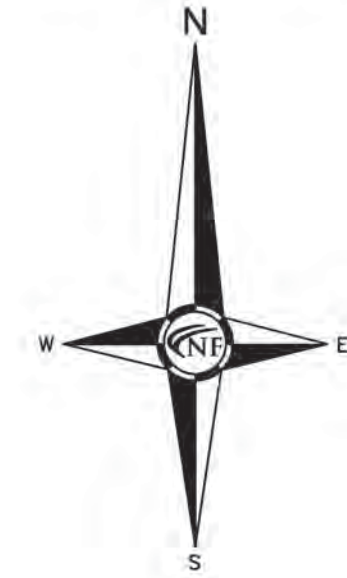
BENCHMARK
ARROW ON HYDRANT
ELEVATION 790.98
U.S.G.S. DATUM

BENCHMARK
GEAR PIN ON LP
ELEVATION 785.66
U.S.G.S. DATUM

BENCHMARK
TOP NUT ON HYDRANT
ELEVATION 784.28
U.S.G.S. DATUM



Location Map
N.T.S.



NF ENGINEERS

CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257

SEAL



PROJECT
Parkridge Apartments
City of Ypsilanti, Michigan

CLIENT
Ypsilanti Housing
Commission
33 S. Gay Street
Baltimore, MD 21202
c/o Chesapeake Comm.
Advisors

PROJECT LOCATION
No. 601 Armstrong Drive
Part of French Claim 690
T.3S., R.7E.,
City of Ypsilanti,
Washtenaw County, MI

SHEET
Demolition Plan



Know what's below
Call before you dig.

REVISIONS
00-00-00

DRAWN BY:
N. Naoum
DESIGNED BY:
J. Johnson
APPROVED BY:
M. Peterson

DATE:
10-20-2015

SCALE: 1" = 30'

NFE JOB NO. SHEET NO.
H812 C3

TOPOGRAPHIC SURVEY NOTES

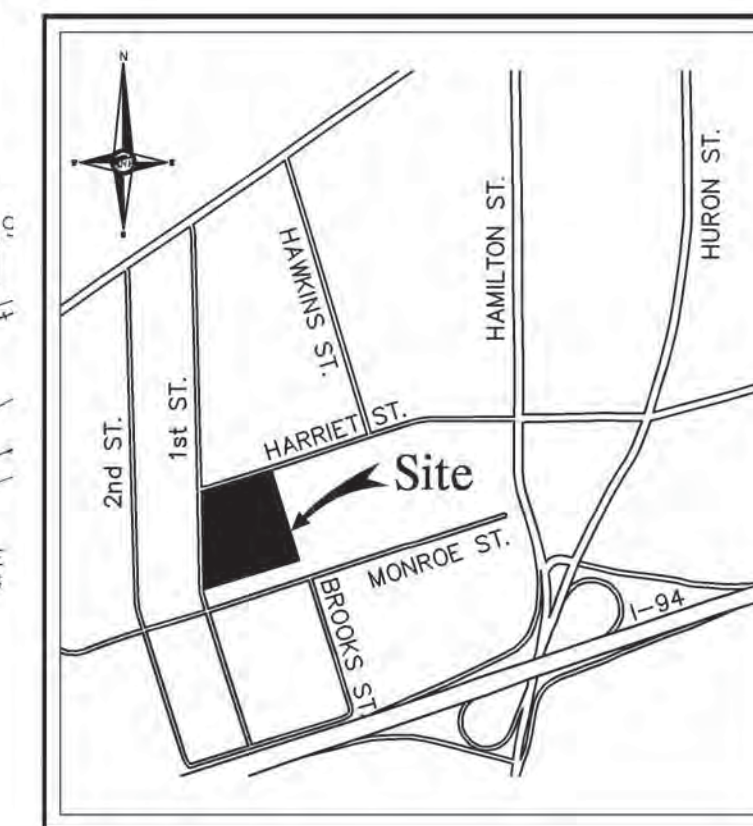
ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.
UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.
THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER

LEGEND

MANHOLE	EXISTING SANITARY SEWER
HYDRANT	EXISTING SAN. CLEAN OUT
MANHOLE CATCH BASIN	EXISTING WATER MAIN
UTILITY POLE	EXISTING STORM SEWER
GUY POLE	EX. R. Y. CATCH BASIN
GUY WIRE	EXISTING BURIED CABLES
OVERHEAD LINES	INDICATES EXISTING TREE TO BE REMOVED
LIGHT POLE	INDICATES AREAS OF PAVEMENT, BUILDINGS, ETC. TO BE REMOVED
SIGN	REMOVE CURB & SHAPE AND CRUSH EXHIBITING PAVEMENT AND SUB-BASE
EXISTING GAS MAIN	
EXISTING UTILITY TO BE REMOVED	
EXISTING UTILITY TO BE ABANDONED	
1" MAPLE	
INDICATES EXISTING TREE TO BE REMOVED	
INDICATES AREAS OF PAVEMENT, BUILDINGS, ETC. TO BE REMOVED	
REMOVE CURB & SHAPE AND CRUSH EXHIBITING PAVEMENT AND SUB-BASE	

BENCHMARK
ARROW ON HYDRANT
ELEVATION 790.98
U.S.G.S. DATUM

BENCHMARK
GEAR PIN ON LP
ELEVATION 785.66
U.S.G.S. DATUM



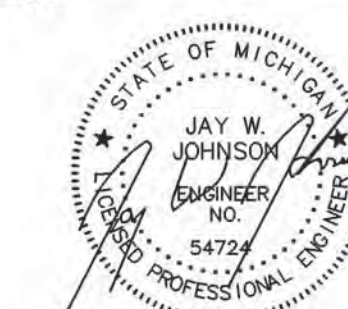
Location Map
N.T.S.



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46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
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SEAL



PROJECT
Parkridge Apartments
City of Ypsilanti, Michigan

CLIENT
Ypsilanti Housing
Commission
33 S. Gay Street
Baltimore, MD 21202
c/o Chesapeake Comm.
Advisors

PROJECT LOCATION
No. 601 Armstrong Drive
Part of French Claim 690
T.3S., R.7E.,
City of Ypsilanti,
Washtenaw County, MI

SHEET
Overall Paving



Know what's below
Call before you dig.

REVISIONS
00-00-00

DRAWN BY:
N. Naoum

DESIGNED BY:
M. Peterson

APPROVED BY:
M. Peterson

DATE:
10-20-2015

SCALE: 1" = 40'

NFE JOB NO.
H812

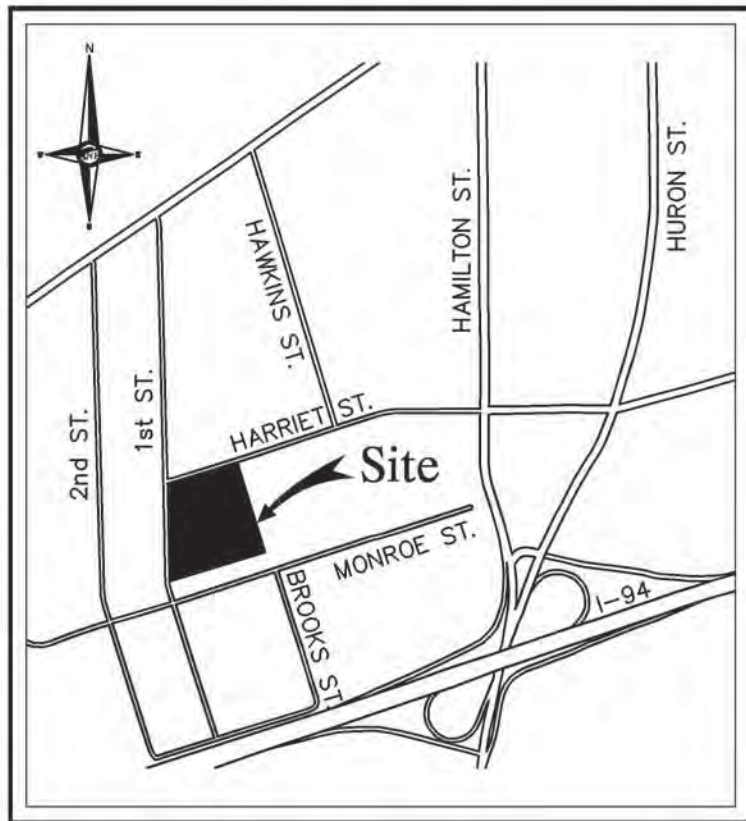
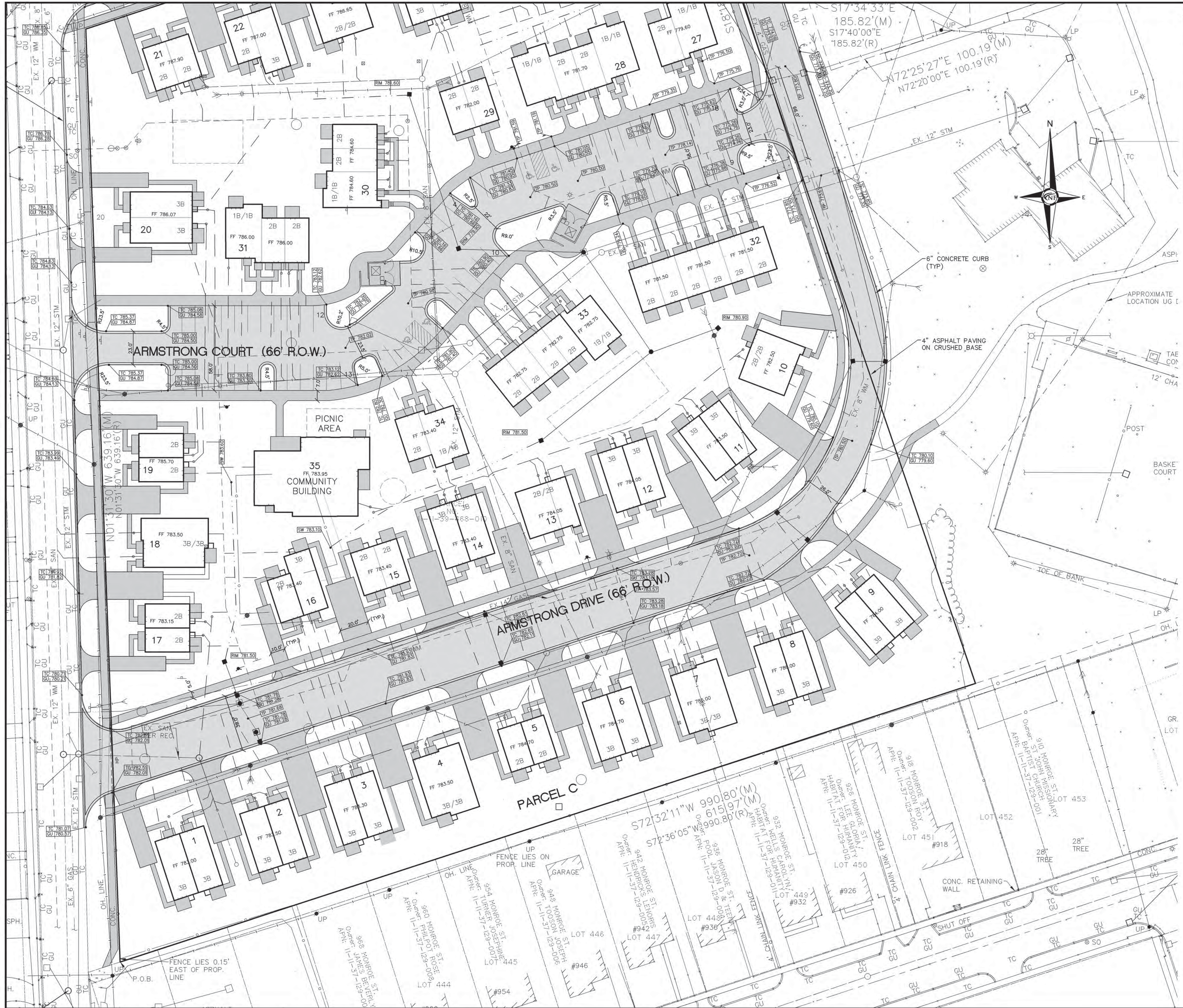
SHEET NO.
C4

PAVING LEGEND

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

LEGEND

	EXISTING SANITARY SEWER
	SAN. CLEAN OUT
	EXISTING WATERMAIN
	EXISTING STORM SEWER
	EX. R. Y. CATCH BASIN
	EXISTING BURIED CABLES
	OVERHEAD LINES
	LIGHT POLE
	SIGN
	EXISTING GAS MAIN
	PR. SANITARY SEWER
	PR. WATER MAIN
	PR. STORM SEWER
	PR. R. Y. CATCH BASIN
	PROPOSED LIGHT POLE
	PR. TOP OF CURB ELEVATION
	PR. GUTTER ELEVATION
	PR. TOP OF WALK ELEVATION
	PR. TOP OF P.V.M.T. ELEVATION
	FINISH GRADE ELEVATION



Location Map
N.T.S.



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SEAL



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City of Ypsilanti, Michigan

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Advisors

PROJECT LOCATION
No. 601 Armstrong Drive
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T.3S., R.7E.,
City of Ypsilanti,
Washtenaw County, MI

SHEET
Paving and Grading Plan



Know what's below
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REVISIONS
00-00-00

DRAWN BY:
N. Naoom

DESIGNED BY:
M. Peterson

APPROVED BY:
M. Peterson

DATE:
10-20-2015

SCALE: 1" = 30'

NFE JOB NO.
H812

SHEET NO.
C5

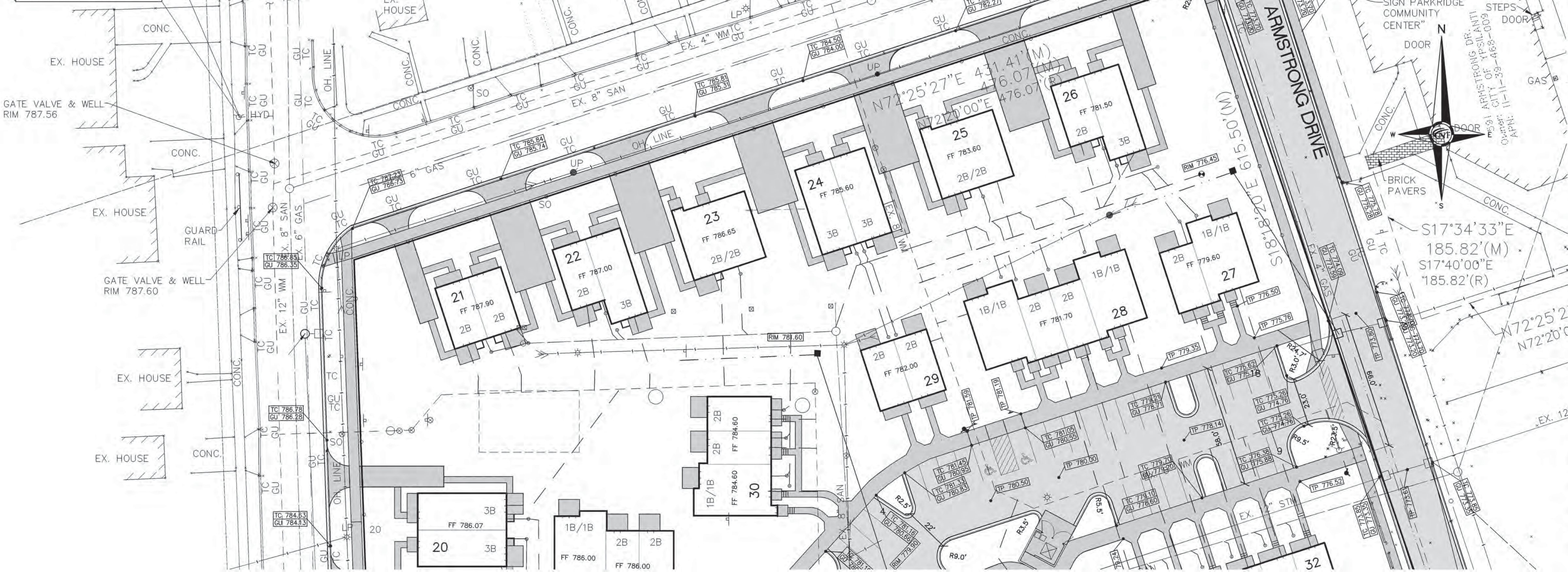
PAVING LEGEND

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

LEGEND

	MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		SAN. CLEAN OUT
	GATE VALVE		EXISTING WATERMAIN
	CATCH BASIN		EXISTING STORM SEWER
	UTILITY POLE		EX. R. Y. CATCH BASIN
	GUY WIRE		EXISTING BURIED CABLES
	OVERHEAD LINES		LIGHT POLE
	SIGN		EXISTING GAS MAIN
	C.O.		PR. SANITARY SEWER
	HYDRANT		PR. WATER MAIN
	INLET		PR. STORM SEWER
	MANHOLE		PR. R. Y. CATCH BASIN
	PROPOSED LIGHT POLE		PR. TOP OF CURB ELEVATION
	PR. TOP OF GUTTER ELEVATION		PR. TOP OF WALK ELEVATION
	PR. TOP OF P.V.M.T. ELEVATION		PR. FINISH GRADE ELEVATION

BENCHMARK
ARROW ON HYDRANT
ELEVATION 790.98
U.S.G.S. DATUM



Location Map
N.T.S.

GENERAL PAVING NOTES

PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

CONCRETE: PORTLAND CEMENT TYPE 1A (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.

ASPHALT: BASE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100L, 20AA; SURFACE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100L, 20AA; ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MDOT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD; MAXIMUM 2 INCH LIFT.

PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.

ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.

ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-S164.

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.

ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.

ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.

CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.

FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LICENSES ARRANGE FOR ALL INSPECTION.

EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.

EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII.

SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.

ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.

FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.

SEAL

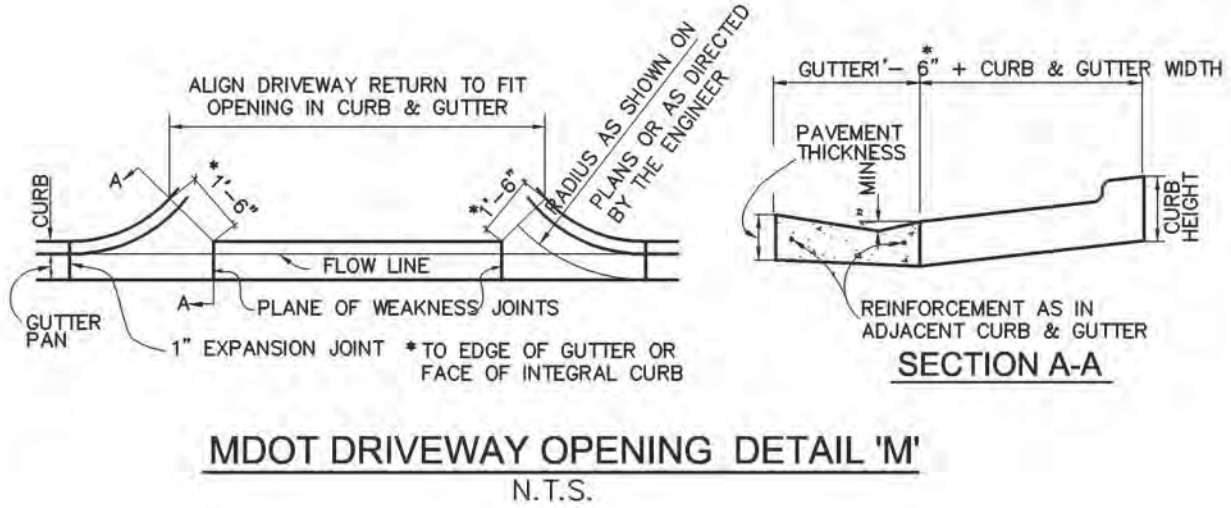
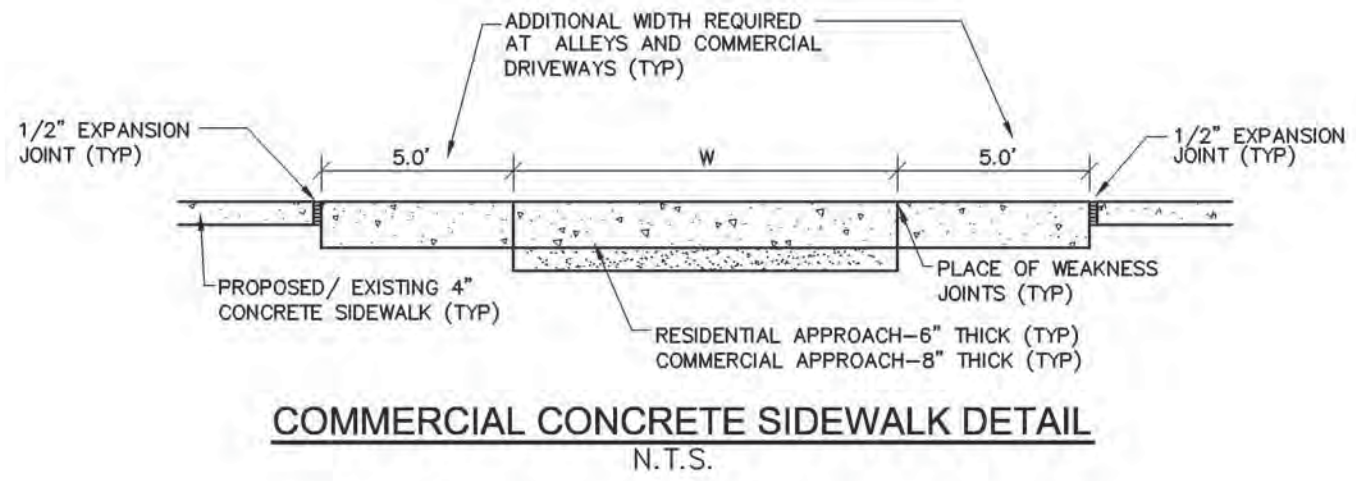
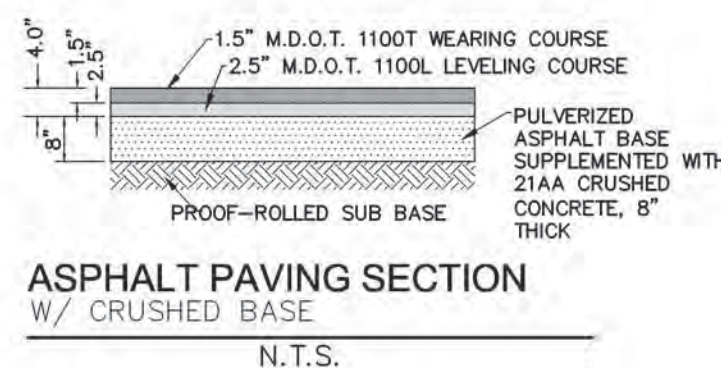
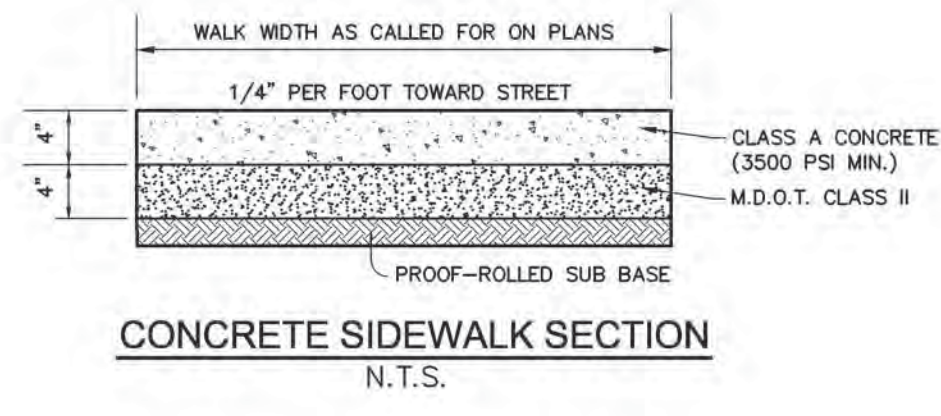
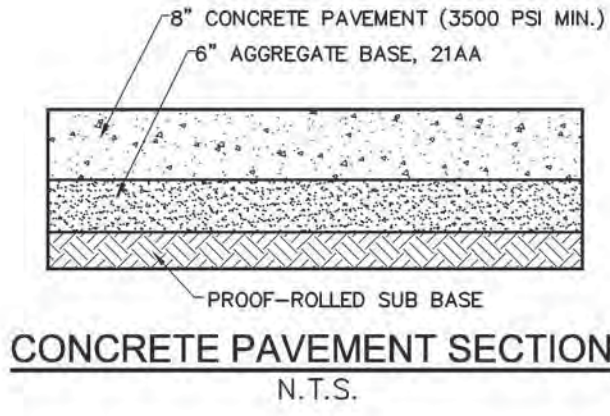
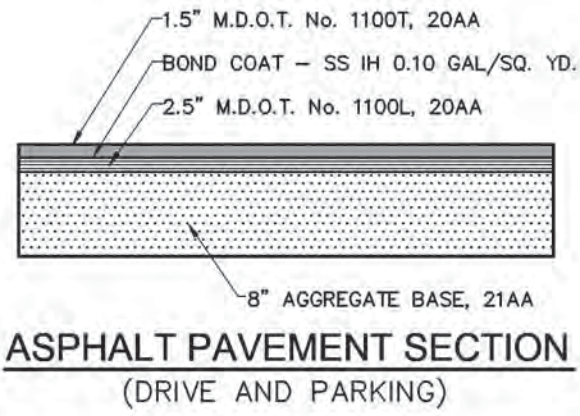
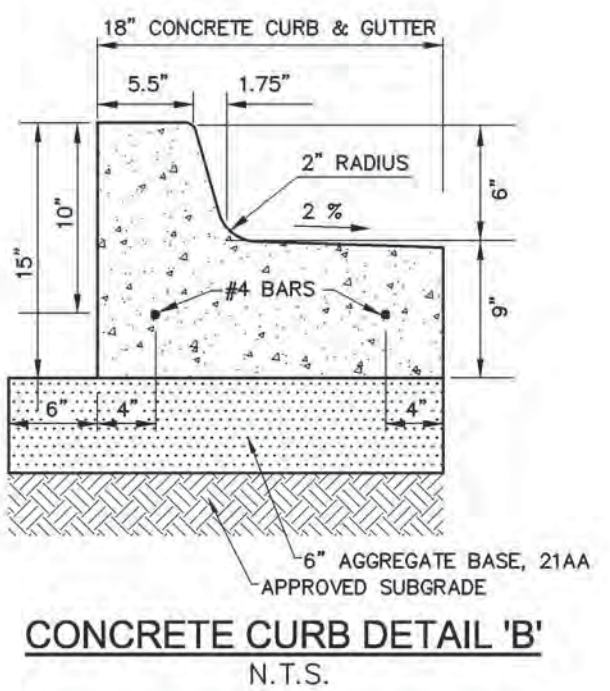
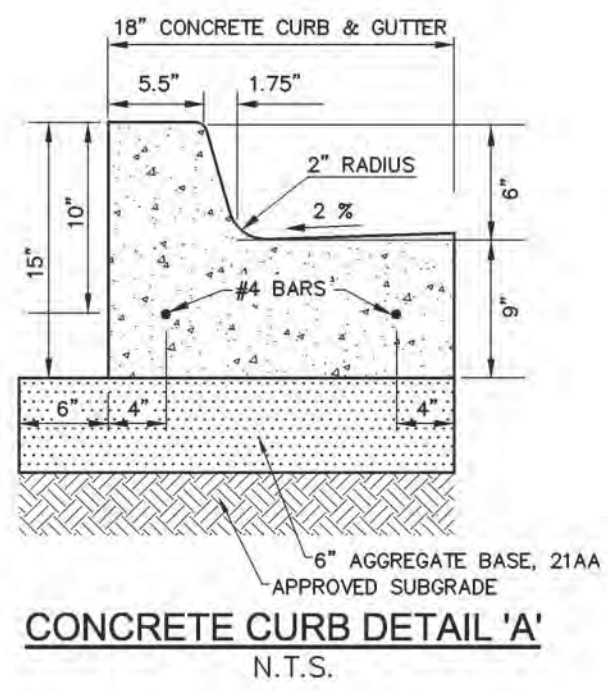


PROJECT
Parkridge Apartments
City of Ypsilanti, Michigan

CLIENT
Ypsilanti Housing
Commission
33 S. Gay Street
Baltimore, MD 21202
c/o Chesapeake Comm.
Advisors

PROJECT LOCATION
No. 601 Armstrong Drive
Part of French Claim 690
T.3S., R.7E.,
City of Ypsilanti,
Washtenaw County, MI

SHEET
Paving and Grading Plan



PAVING LEGEND	
	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

LEGEND	
	MANHOLE
	HYDRANT
	MANHOLE CATCH BASIN
	UTILITY POLE
	GUY POLE
	GUY WIRE
	EXISTING SANITARY SEWER
	SAN. CLEAN OUT
	EXISTING WATERMAIN
	EXISTING STORM SEWER
	EX. R. Y. CATCH BASIN
	EXISTING BURIED CABLES
	OVERHEAD LINES
	LIGHT POLE
	SIGN
	EXISTING GAS MAIN
	PR. SANITARY SEWER
	PR. WATER MAIN
	PR. STORM SEWER
	PR. R. Y. CATCH BASIN
	PROPOSED LIGHT POLE
	PR. TOP OF CURB ELEVATION
	PR. GUTTER ELEVATION
	PR. TOP OF WALK ELEVATION
	PR. TOP OF PMT. ELEVATION
	FINISH GRADE ELEVATION



REVISIONS
00-00-00

DRAWN BY:
N. Naoum

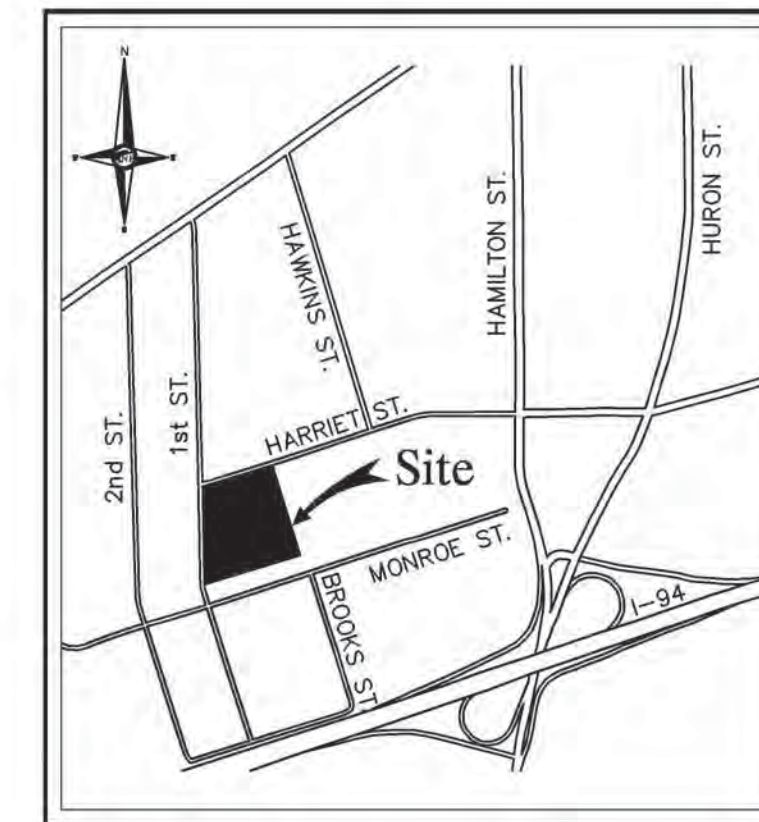
DESIGNED BY:
M. Peterson

APPROVED BY:
M. Peterson

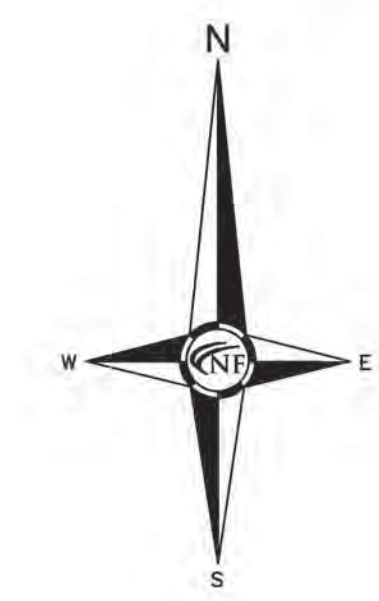
DATE:
10-20-2015

SCALE: 1" = 30'

NFE JOB NO. H812 **SHEET NO.** C6



Location Map
N.T.S.



NF ENGINEERS
CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
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PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257

SEAL



PROJECT
Parkridge Apartments
City of Ypsilanti, Michigan

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Commission
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Part of French Claim 690
T.3S., R.7E.,
City of Ypsilanti,
Washtenaw County, MI

SHEET
Overall Utility Plan



REVISIONS

NO.	DATE	DESCRIPTION
00-00-00		

DRAWN BY:
N. Naoum
DESIGNED BY:
J. Johnson
APPROVED BY:
M. Peterson
DATE:
10-20-2015

SCALE: 1" = 40' / 1" = 4'
NFE JOB NO. **H812** SHEET NO. **C7**

LEGEND

MANHOLE	EXISTING SANITARY SEWER
HYDRANT	SAN. CLEAN OUT
MANHOLE CATCH BASIN	EXISTING WATER MAIN
UTILITY POLE	EXISTING STORM SEWER
GUY POLE	EX. R. Y. CATCH BASIN
GUY WIRE	EXISTING BURIED CABLES
EXISTING GAS MAIN	OVERHEAD LINES
PR. SANITARY SEWER	LIGHT POLE
PR. WATER MAIN	SIGN
PR. STORM SEWER	EXISTING GAS MAIN
PR. R. Y. CATCH BASIN	PR. SANITARY SEWER
SAND BACKFILL (95% DENSITY)	PR. WATER MAIN
PROPOSED LIGHT POLE	

SHADING NOTE: SHADED AREA ALONG FIRST AVENUE AND HARRIET STREET INDICATES AREAS WITH EXISTING STREET LIGHTING THAT IS TO REMAIN, AND OUTSIDE THE SCOPE OF THIS PROJECT. THE LIGHTING PHOTOOMETRY CALCULATED THIS SHEET DID NOT INCLUDE THE CONTRIBUTION FROM THE EXISTING LIGHTING FIXTURES THAT ARE TO REMAIN ALONG FIRST AVENUE AND HARRIET STREET.

NOTE: ILLUMINATION VALUES AT THE PROPERTY LINES NOT CONSIDERED PROJECT DUE TO ALL AREAS TO BE ILLUMINATED FALLING OUTSIDE INDIVIDUAL PROPERTY LINES FOR EACH AREA INDICATED.

NOTE:
ILLUMINATION VALUES AT THE PROPERTY LINES NOT CONSIDERED FOR THIS PROJECT DUE TO ALL AREAS TO BE ILLUMINATED FALLING OUTSIDE OF THE INDIVIDUAL PROPERTY LINES FOR EACH AREA INDICATED.

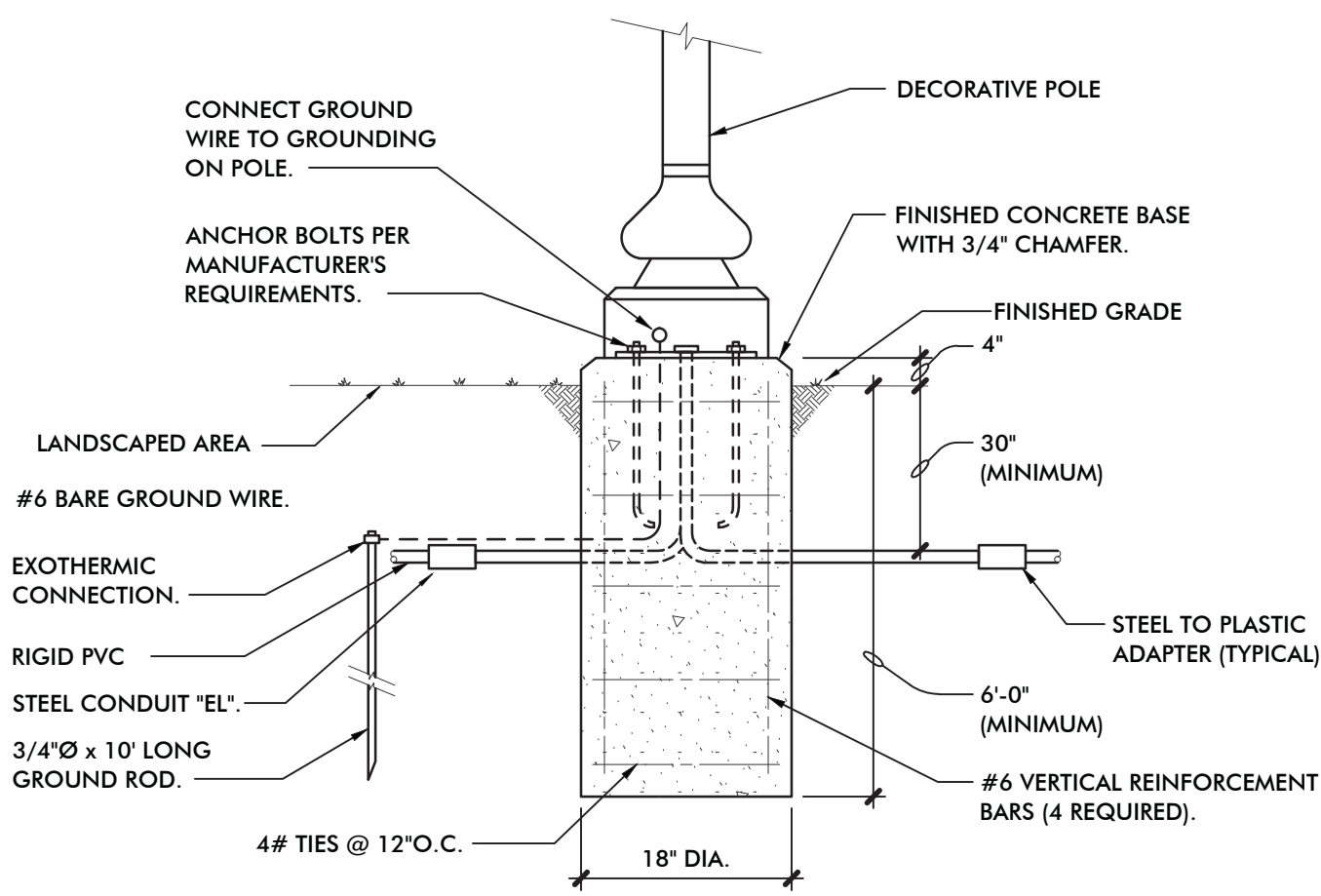
Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
	29	OA	SINGLE	N.A.	0.900	GVD 60 4K XX X X 3N FCVR X

Point-by-Point Lighting Photometry Calculation Summary - Calculations Values indicated at Grade						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Entire Site_Planar	Illuminance	Fc	0.29	1.7	0.0	N.A.
Armstrong Court	Illuminance	Fc	0.78	1.7	0.3	2.60
Armstrong Drive	Illuminance	Fc	0.74	1.5	0.2	3.70

Point-by-Point Lighting Photometry Calculation Summary - Calculations Values at Five (5) Feet Above Grade Per the Zoning Ordinance						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Entire Site - Values at 5 Feet	ILLUMINANCE	Fc	0.32	4.0	0.0	N.A.
Armstrong Court	ILLUMINANCE	Fc	0.74	3.9	0.2	3.70
Armstrong Drive	ILLUMINANCE	Fc	0.77	3.7	0.1	7.70

Luminaire Location Summary						
LumNo	Label	X	Y	Z	Orient	Tilt
1	OA	13324107	267183.4	11.5	107.072	0
2	OA	13324093	267227.8	11.5	286.821	0
3	OA	13324224	267223.4	11.5	107.072	0
4	OA	13324273	267286.7	11.5	286.821	0
5	OA	13324356	267267.3	11.5	107.072	0
6	OA	13324404	267327.2	11.5	286.821	0
7	OA	13324095	267473	11.5	90	0
8	OA	13324169	267448.4	11.5	90	0
9	OA	13324257	267453.2	11.5	109.409	0
10	OA	13324094	267525	11.5	270	0
11	OA	13324183	267524.8	11.5	270	0
12	OA	13324247	267533.1	11.5	308.991	0
13	OA	13324294	267578.6	11.5	314.324	0
14	OA	13324416	267642.2	11.5	289.754	0
15	OA	13324478	267663.1	11.5	289.754	0
16	OA	13324524	267676.9	11.5	20.084	0
17	OA	13324329	267503.7	11.5	134.507	0
18	OA	13324381	267549.8	11.5	109.409	0
19	OA	13324467	267579	11.5	109.409	0
20	OA	13324545	267604.2	11.5	109.409	0
21	OA	13324491	267776.4	11.5	20.084	0
23	OA	13324568	267543.9	11.5	20.084	0
24	OA	13324463	267843.1	11.5	108.375	0
34	OA	13324263	267412.9	11.5	0.988	0
35	OA	13324175	267254.7	11.5	286.821	0
36	OA	13324485	267306.2	11.5	107.072	0
37	OA	13324588	267377	11.5	144.674	0
38	OA	13324523	267369.4	11.5	300.98	0
39	OA	13324589	267460.2	11.5	354.051	0
40	OA	13324353	267622.4	11.5	288.768	0

NOTE:
ALL SITE LIGHTING POLES PROPOSED FOR INSTALLATION ON THIS PROJECT
ARE MOUNTED AT A MAXIMUM ELEVATION OF 11'-6" ABOVE FINISHED
GRADE, ON A CONCRETE BASE.



BASE DETAIL "A"

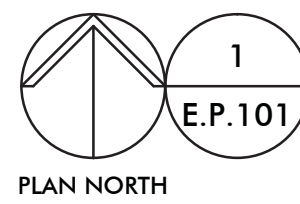
NO SCALE

SITE PLAN GENERAL NOTES:

1. REFER TO CIVIL PLAN FOR ADDITIONAL INFORMATION REGARDING PROPOSED WALKWAYS, PATIOS AND OTHER RENOVATION WORK ASSOCIATED WITH THE PROJECT.
2. REFER TO SHEET E.901 FOR LIGHTING FIXTURE CUT SHEETS.

KEY NOTES:

- 1 REFER TO BASE DETAIL "A" ON THIS SHEET.
- 2 ORNAMENTAL, POST-TOP MOUNTING, POLE MOUNTED SITE LIGHTING FIXTURE, MOUNTED ON A CONCRETE BASE. LIGHTING FIXTURE EMITTER TO BE MOUNTED AT APPROXIMATELY 11'-6".
- 3 ILLUMINATION VALUES AT ROADWAY AREAS INDICATED COMPLY WITH THE IES RECOMMENDATIONS FOR ROADWAY LIGHTING. THE ZONING ORDINANCE SECTION 122-641 "OUTDOOR LIGHTING" DOES NOT APPLY TO THE PUBLIC ROADWAYS NOTED, AND THE ASSOCIATED ILLUMINATION LEVELS INDICATED.



SITE PLAN - POINT-BY-POINT LIGHTING PHOTOMETRY

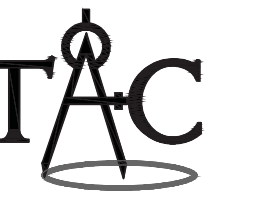
SCALE: 1" = 40'-0"

LIGHTING DESIGNED IN ACCORDANCE WITH THE YPSILANTI ZONING ORDINANCE SECTION 122-641 "OUTDOOR LIGHTING".



550 E. NINE MILE ROAD
FERNDALE, MICHIGAN 48220
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TAC ASSOCIATES, LLC

Consulting Engineers

4321 East Camden Road
 Chicago, IL 60631

Ph. (517) 254-4789 • Fax (517) 254-4886
<http://foxoutdoorsmagazine.com>

TAC Project No. 15-043

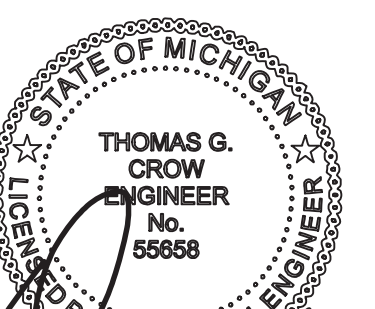
MICHIGAN

PARKRIDGE HOMES

YPSILANTI

0.16.15	Site Plan Approval
DATE	ISSUE

EAL


A circular seal for a Professional Engineer. The outer ring contains the text "PROFESSIONAL ENGINEER" at the top and "STATE OF TEXAS" at the bottom. The center of the seal features a five-pointed star.

FSP PROJECT NO. CCA15.035

DRAWING TITLE

Site Plan - Point-by-Point Lighting Photometry

DRAWING NUMBER

E.P.101

Date_____

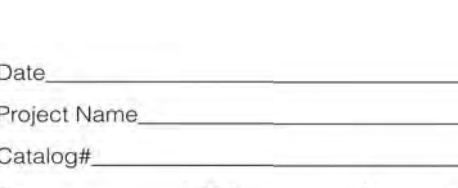
Project Name_____

Catalog#_____

Type_____Initials_____Approved ☐ Approved as noted ☐

WINDSOR-17 SERIES

Fiberglass Base/Shaft



OVERALL
HEIGHT
5'10 1/2"
96" to 144"

TYPE "OA"

Features

Fluted/tapered fiberglass base and shaft

- Unique fiberglass RTM process for high density/hollow core
- Strong
- Lightweight for ease of installation
- Low maintenance
- Economical
- Multiple luminaire ornamentation
- 3" Diameter lantern tenon standard.

Finish Options

Superior finish coat of polyurethane paint to match fiberglass core color. Fade and chemical resistant

Standard Colors:
BK=Black **GY**=Matte Gray **MG**=Menthol

BRIDGE HOMES

E.901



1
L100

**OVERALL
SITE PLANTING PLAN**

SCALE 1" = 40'

 NORTH

PARKRIDGE HOMES

10.16.15	SPA RESUBMISSION
09.18.15	SPA SUBMISSION
DATE	ISSUE



FSP PROJECT NO.
CCA15.035

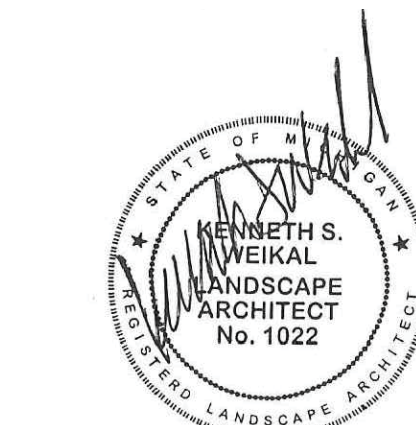
DRAWING TITLE
**OVERALL
SITE PLANTING
PLAN**

DRAWING NUMBER

L100

PARKRIDGE HOMES

10.16.15 SPA RESUBMISSION
09.18.15 SPA SUBMISSION
DATE ISSUE



FSP PROJECT NO.
CCA15.035

DRAWING TITLE
**TREE
MANAGEMENT
PLAN**

DRAWING NUMBER

L101

NOTE KEY: ②

- ① TREE PROTECTION FENCE - SEE 3/L101
② EXISTING TREE TO REMAIN, TYP.

2 TREE INVENTORY KEY

NOT TO SCALE

#	10" PINE	EXISTING TREE TO REMAIN
#	14" CEDAR	EXISTING TREE TO REMAIN
#	14" CEDAR	EXISTING TREE TO BE REMOVED
#	20" MAPLE	EXISTING TREE TO BE REMOVED

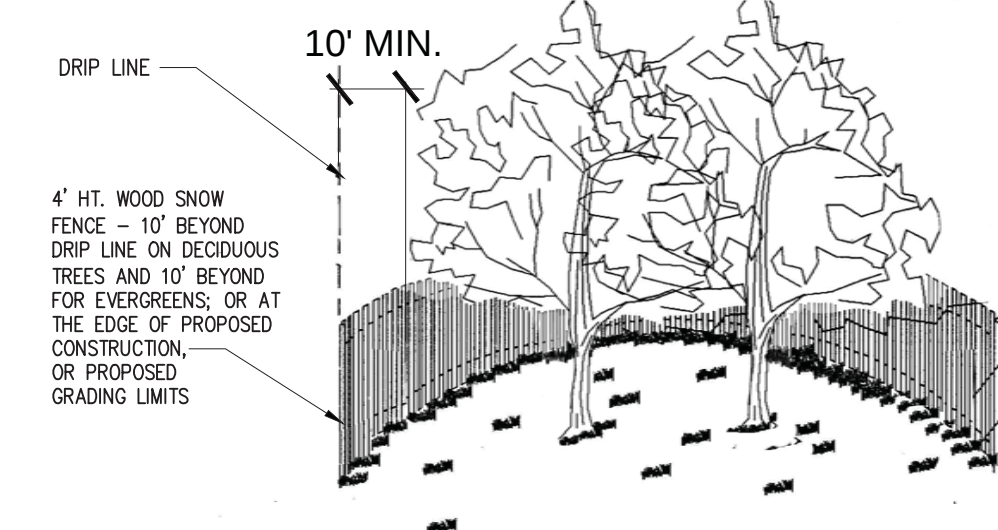
TREE INVENTORY

TREE NUMBER	TREE TYPE
1.	10" PINE
2.	14" CEDAR
3.	14" CEDAR
4.	20" MAPLE
5.	36" MAPLE
6.	20" ELM
7.	20" LOCUST
8.	20" PINE
9.	30" OAK
10.	20" MAPLE
11.	24" MAPLE
12.	24" MAPLE
13.	24" MAPLE
14.	14" MAPLE
15.	6" MULBERRY
16.	12" BOX ELDER
17.	20" LOCUST
18.	40" PINE
19.	18" PINE
20.	36" MULBERRY
21.	14" MAPLE
22.	50" OAK
23.	24" ELM
24.	18" PINE
25.	18" LOCUST
26.	12" ASH
27.	30" ELM
28.	12" MAPLE
29.	20" PINE
30.	20" PINE
31.	20" PINE
32.	8" ASH
33.	6" ASH
34.	18" LOCUST
35.	12" MAPLE
36.	14" OAK
37.	14" MAPLE
38.	12" BOX ELDER
39.	30" ELM
40.	12" TREE OF HEAVEN
41.	18" ELM
42.	18" ELM
43.	4"-10" LOCUST
44.	16" MAPLE
45.	40" COTTONWOOD
46.	18" PINE
47.	16" PINE
48.	12" BLACK WILLOW
49.	10" ASH
50.	10" ASH
51.	18" MAPLE
52.	28" ELM
53.	14" MAPLE

NOTE:

4' HT. PROTECTIVE WOOD SNOW FENCE - METAL STAKES 8' O.C. MAXIMUM. PLACE NO CLOSER THAN 10' FROM DRIP LINE OF PRESERVED TREE OR AS NOTED ON PLANS. STORE NO MATERIALS WITHIN THE SNOW FENCE AREA. SNOW FENCE TO BE TAKEN DOWN ONLY UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT OR ARCHITECT.

WOOD SNOW FENCE - TREE PROTECTION



3 TREE PROTECTION DETAIL

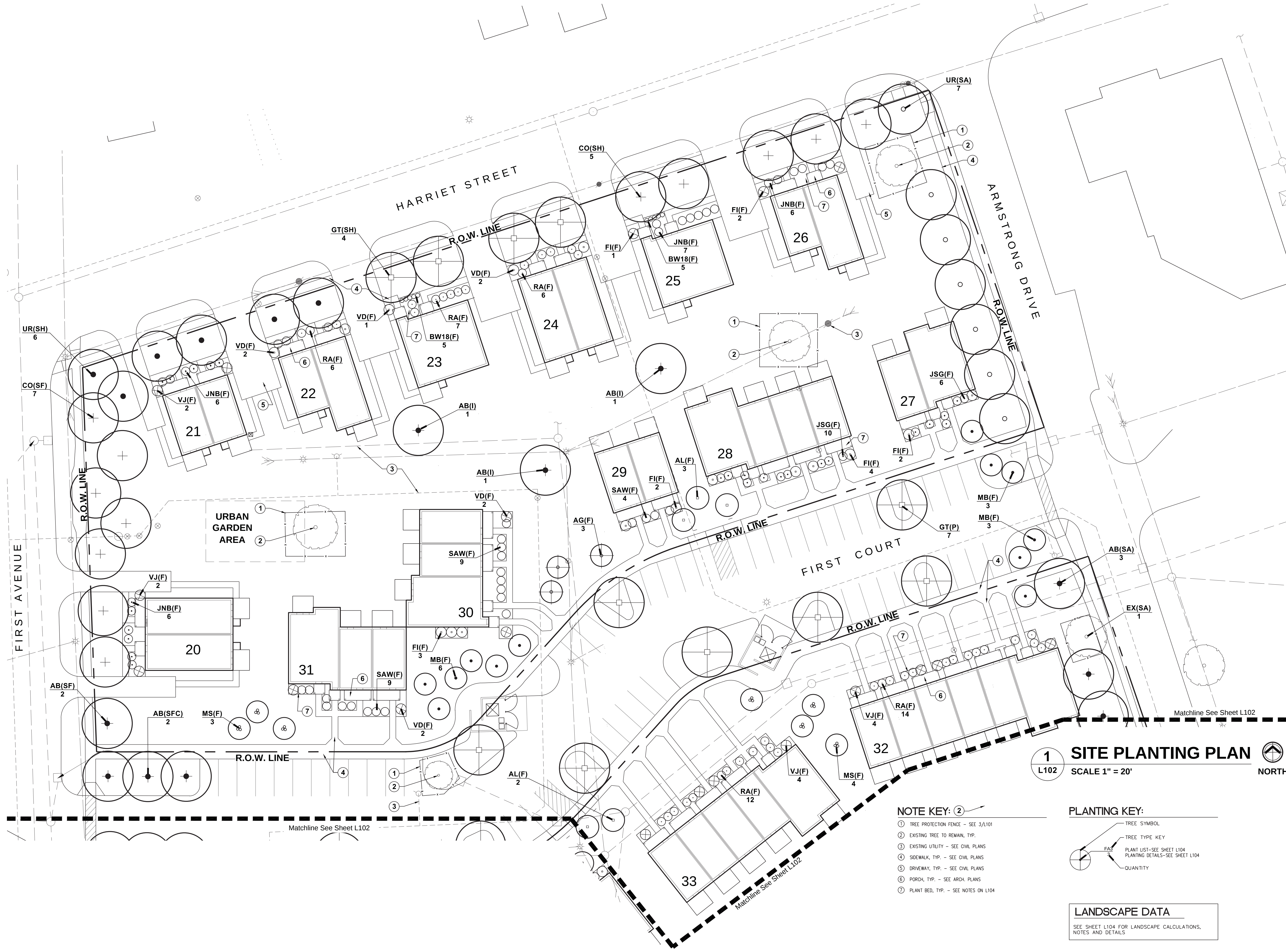
NOT TO SCALE

1 TREE MANAGEMENT PLAN

L101

SCALE 1" = 40'





PARKRIDGE HOMES

10.16.15	SPA RESUBMISSION
09.18.15	SPA SUBMISSION
DATE	ISSUE

10.16.15 SPA RESUBMISSION
09.18.15 SPA SUBMISSION
DATE ISSUE

STATE OF MICHIGAN
KENNETH S. WEIKAL
LANDSCAPE ARCHITECT
No. 1022

FSP PROJECT NO.
CCA15.035

SITE PLANTING PLAN

1 SITE PLANTING PLAN

L102 SCALE 1" = 20' NORTH

- NOTE KEY: ②
- ① TREE PROTECTION FENCE - SEE 3/L101
 - ② EXISTING TREE TO REMAIN, TYP.
 - ③ EXISTING UTILITY - SEE CIVIL PLANS
 - ④ SIDEWALK, TYP. - SEE CIVIL PLANS
 - ⑤ DRIVEWAY, TYP. - SEE CIVIL PLANS
 - ⑥ PORCH, TYP. - SEE ARCH. PLANS
 - ⑦ PLANT BED, TYP. - SEE NOTES ON L104

PLANTING KEY:

TREE SYMBOL

TREE TYPE KEY

FAS

PLANT LIST-SEE SHEET L104
PLANTING DETAILS-SEE SHEET L104

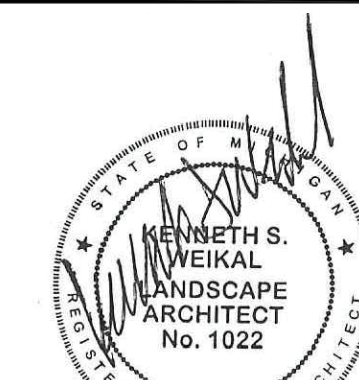
QUANTITY

LANDSCAPE DATA

SEE SHEET L104 FOR LANDSCAPE CALCULATIONS,
NOTES AND DETAILS

PARKRIDGE HOMES

10.16.15	SPA RESUBMISSION
09.18.15	SPA SUBMISSION
DATE	ISSUE



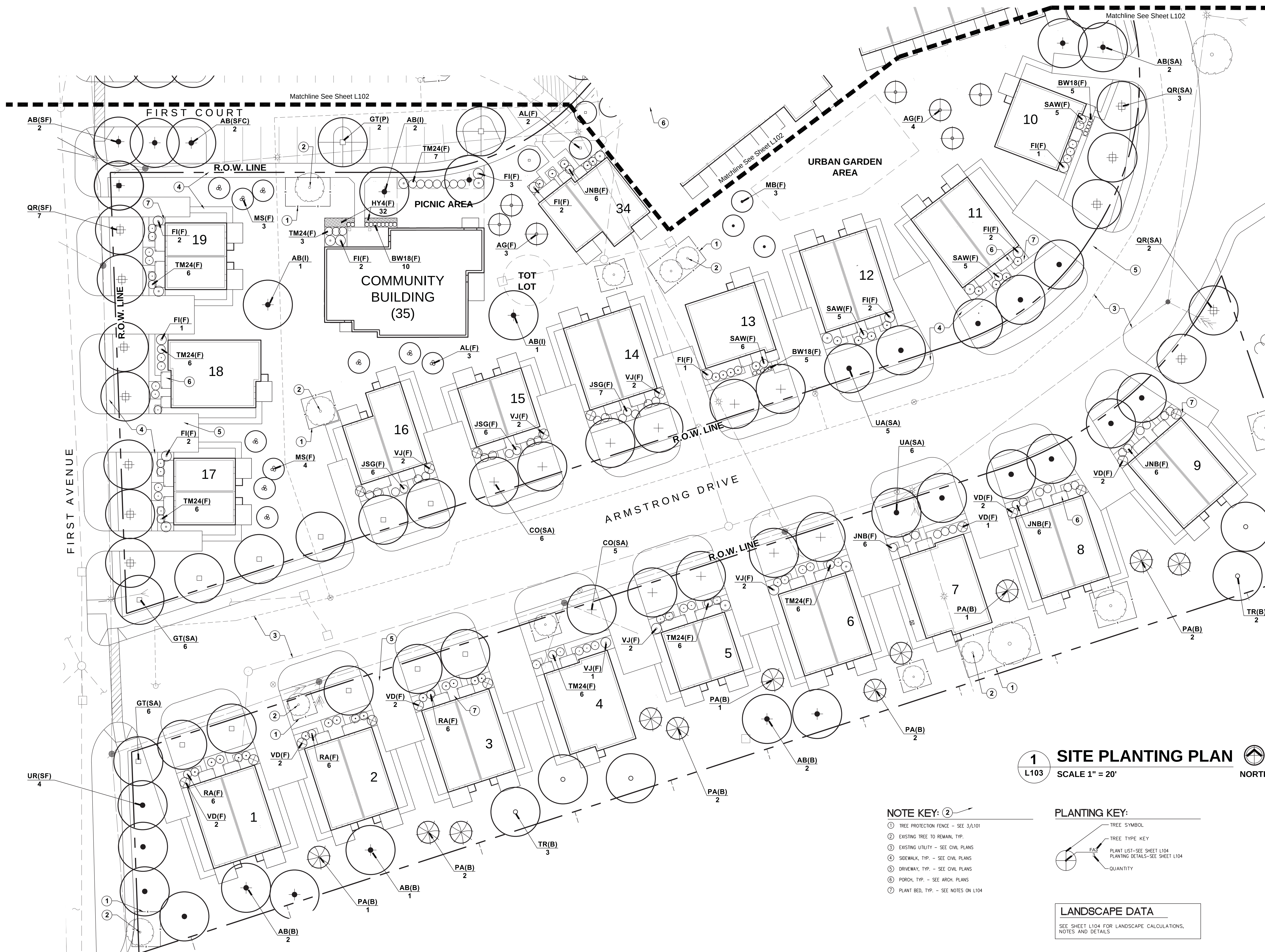
FSP PROJECT NO
CCA15.035

DRAWING TITLE

SITE PLANTING PLAN

DRAWING NUMBER

L103



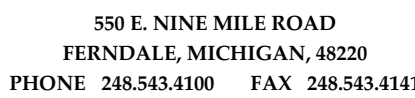
PLANTING KEY:

Diagram illustrating the components of a tree symbol:

- TREE SYMBOL
- TREE TYPE KEY
- FA3 (Plant List-See Sheet L104, Planting Details-See Sheet L10)
- QUANTITY

LANDSCAPE DATA

SEE SHEET L104 FOR LANDSCAPE CALCULATIONS,
NOTES AND DETAILS



HWILA

HAGENBUCH WEIKAL
LANDSCAPE ARCHITECTURE

MICHIGAN

MICHIGAN

L104

TREES PROVIDED: 7 TREES

All three of these elms have been specified by our office and are awaiting planting or have been specified and planted in Canton, Novi, Northville, West Bloomfield, Waterford, Shelby Township, Grand Blanc, the city of Detroit and projects in Illinois and Ohio.

PLANT LIST - INTERIOR (I)				
QUAN.	KEY	COMMON/ BOTANICAL NAME	SIZE	SPEC.
7	AB	Autumn Blaze Maple <i>Acer x. freemanii</i> 'Autumn Blaze'	2.5" Cal.	B&B



10.16.15	SPA RESUBMISSION
09.18.15	SPA SUBMISSION
DATE	ISSUE



DRAWING TITLE

NOTES AND DETAILS

DRAWING NUMBER

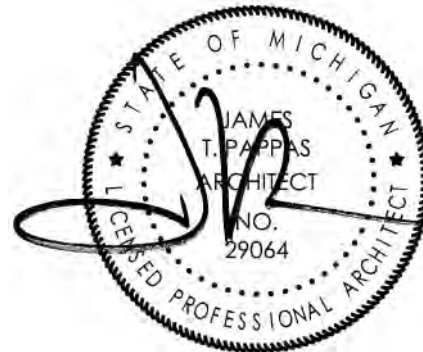
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YPSILANTI

PARKRIDGE HOMES

10.21.15	SFA RESUBMITTAL
DATE	ISSUE

KEY PLAN



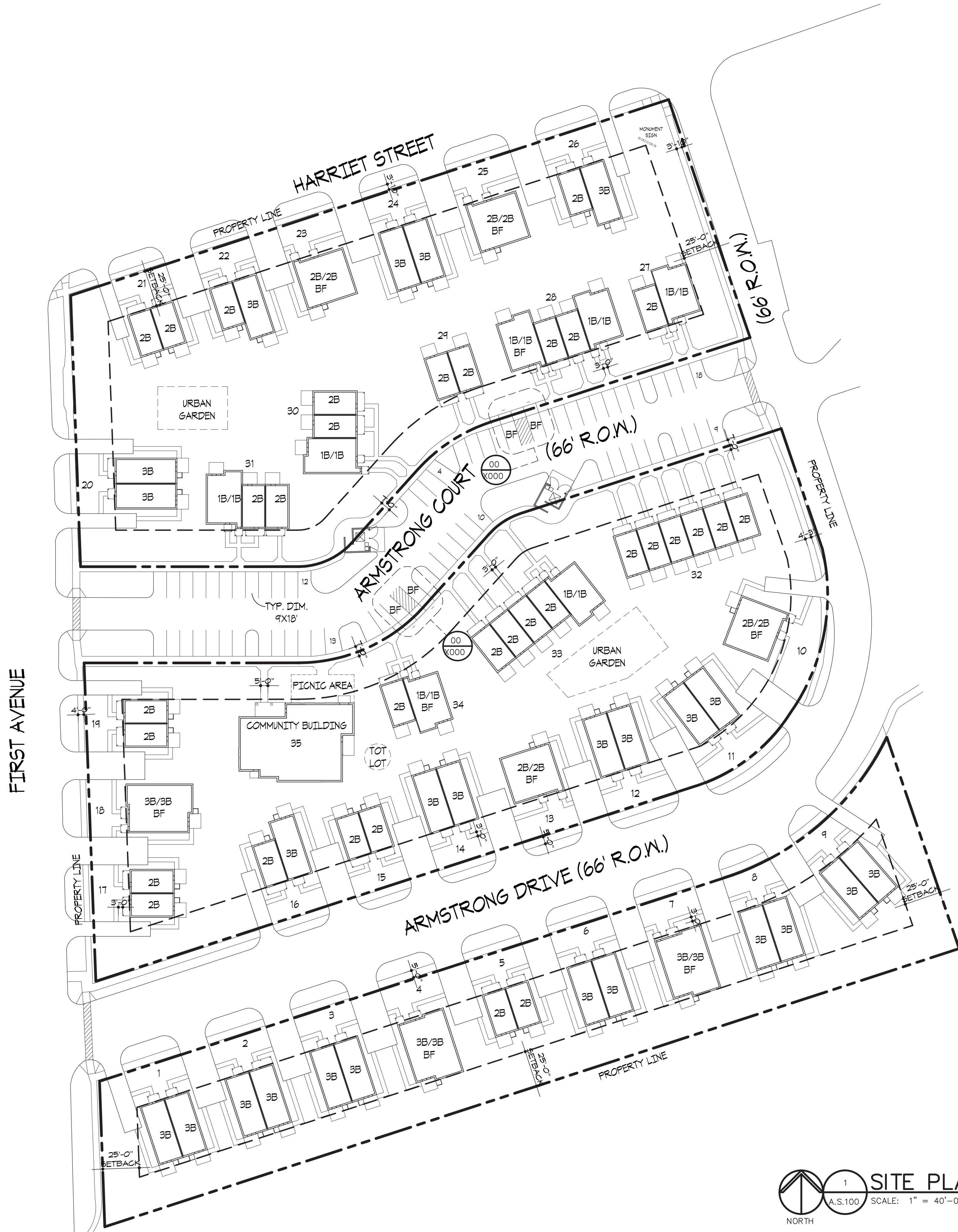
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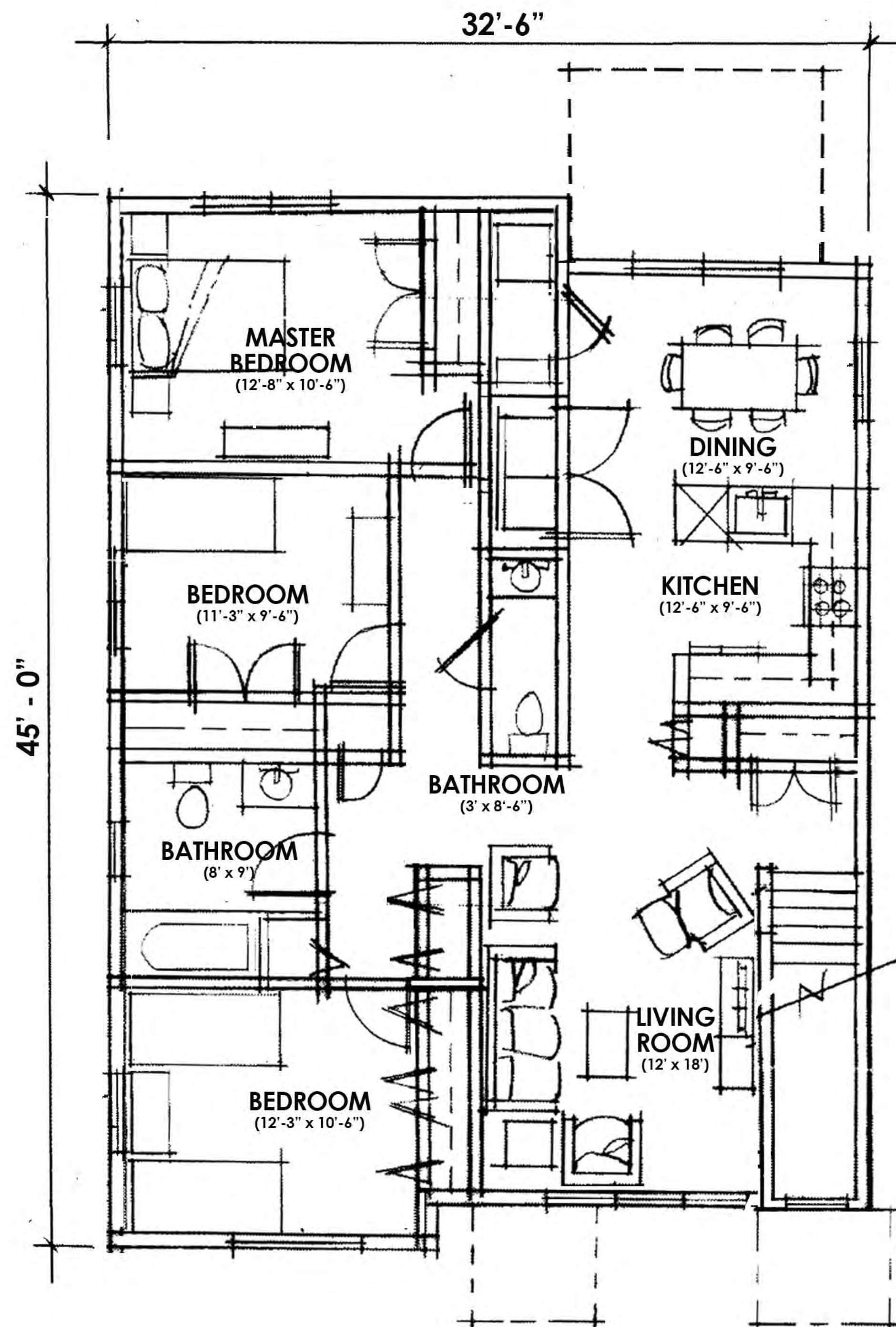
ARCHITECTURAL
SITE PLAN

DRAWING NUMBER

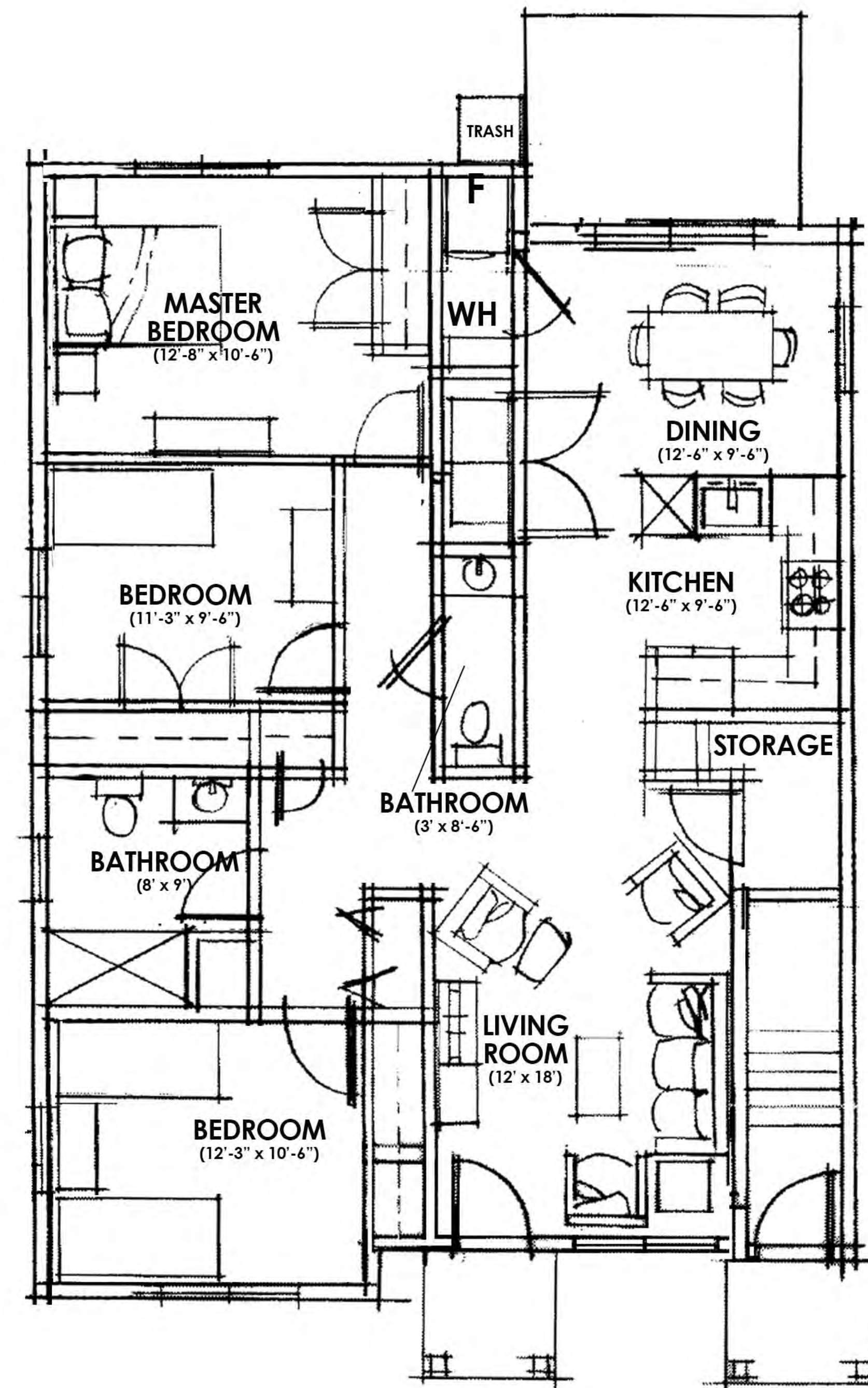
AS.100



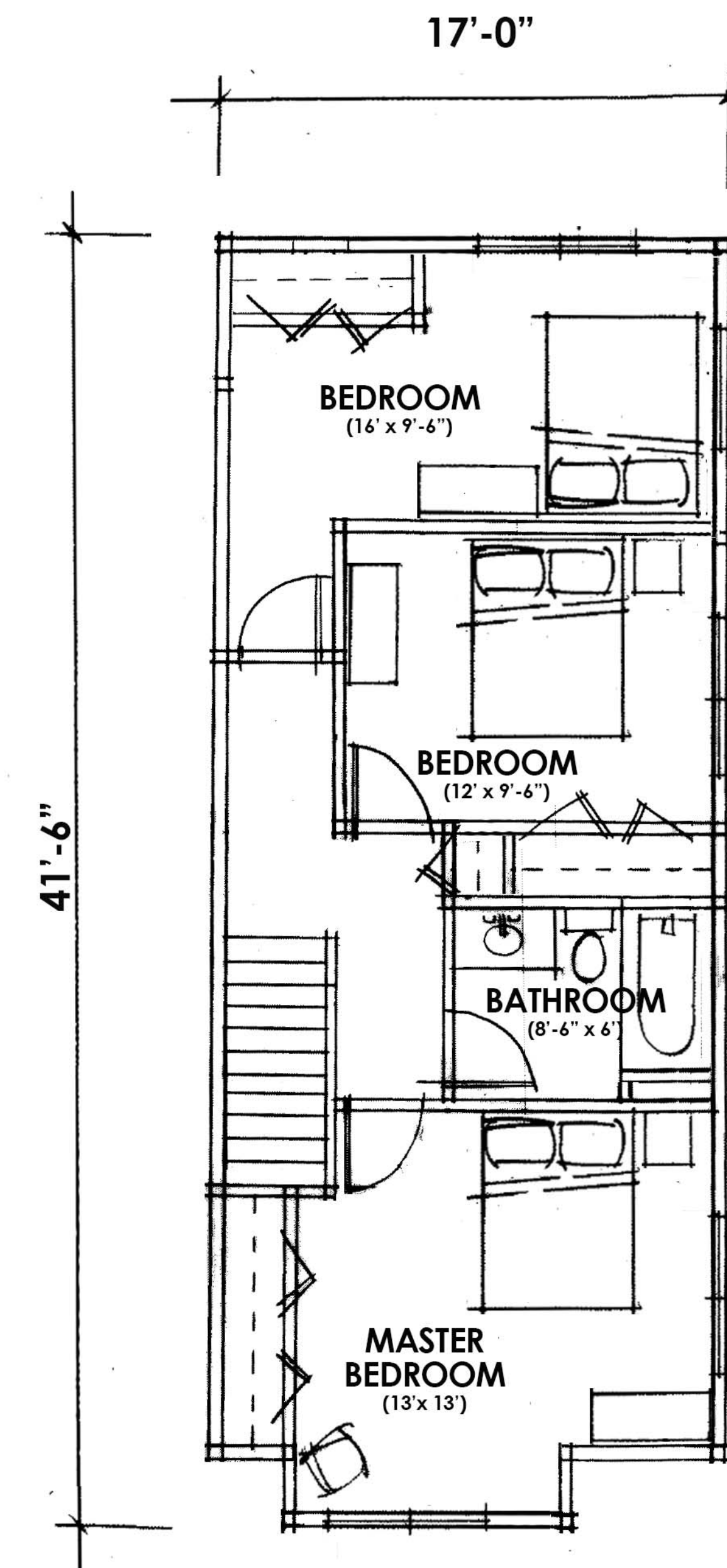
 **SITE PLAN**
NORTH
A.S.100 SCALE: 1" = 40'-0"



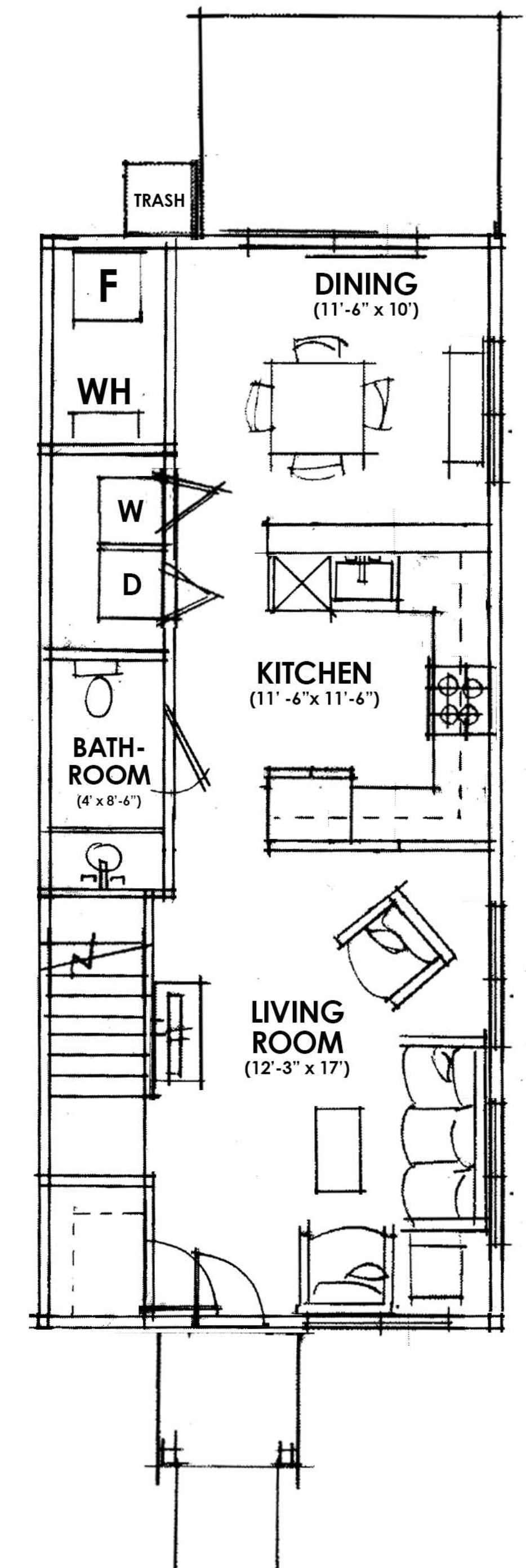
**UPPER
3B FLAT**
(1,400 SF)



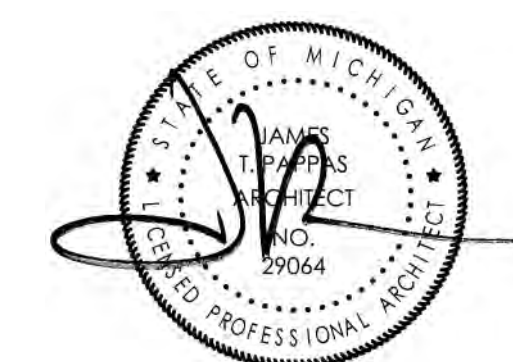
**LOWER
3B FLAT**
(1,400 SF)



3B TOWNHOME
(1,400 SF)



UNIT PLANS



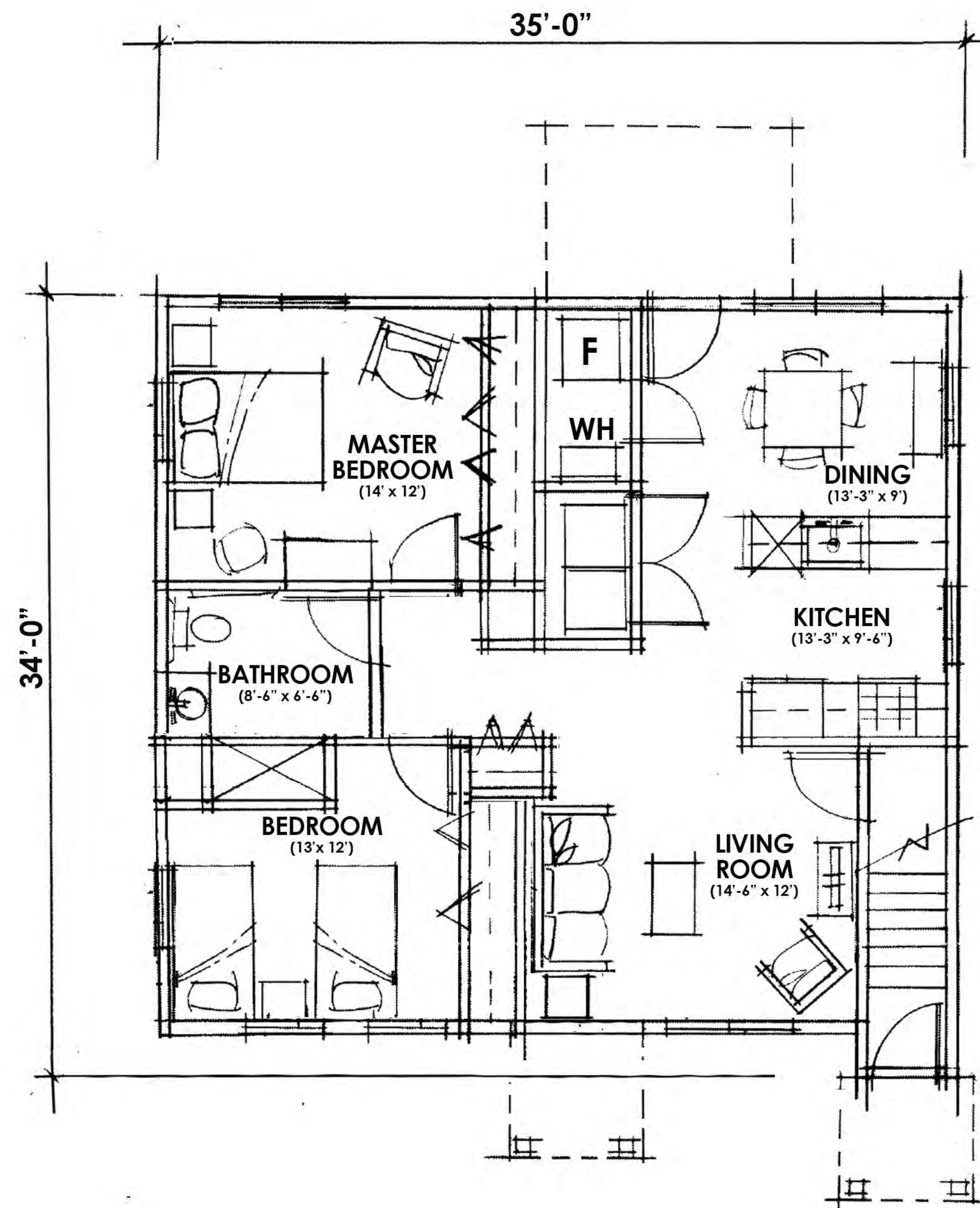
PARKRIDGE HOMES
YPSILANTI, MICHIGAN

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SHAFFER &
PAPPAS, INC.
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550 E. NINE MILE RD.
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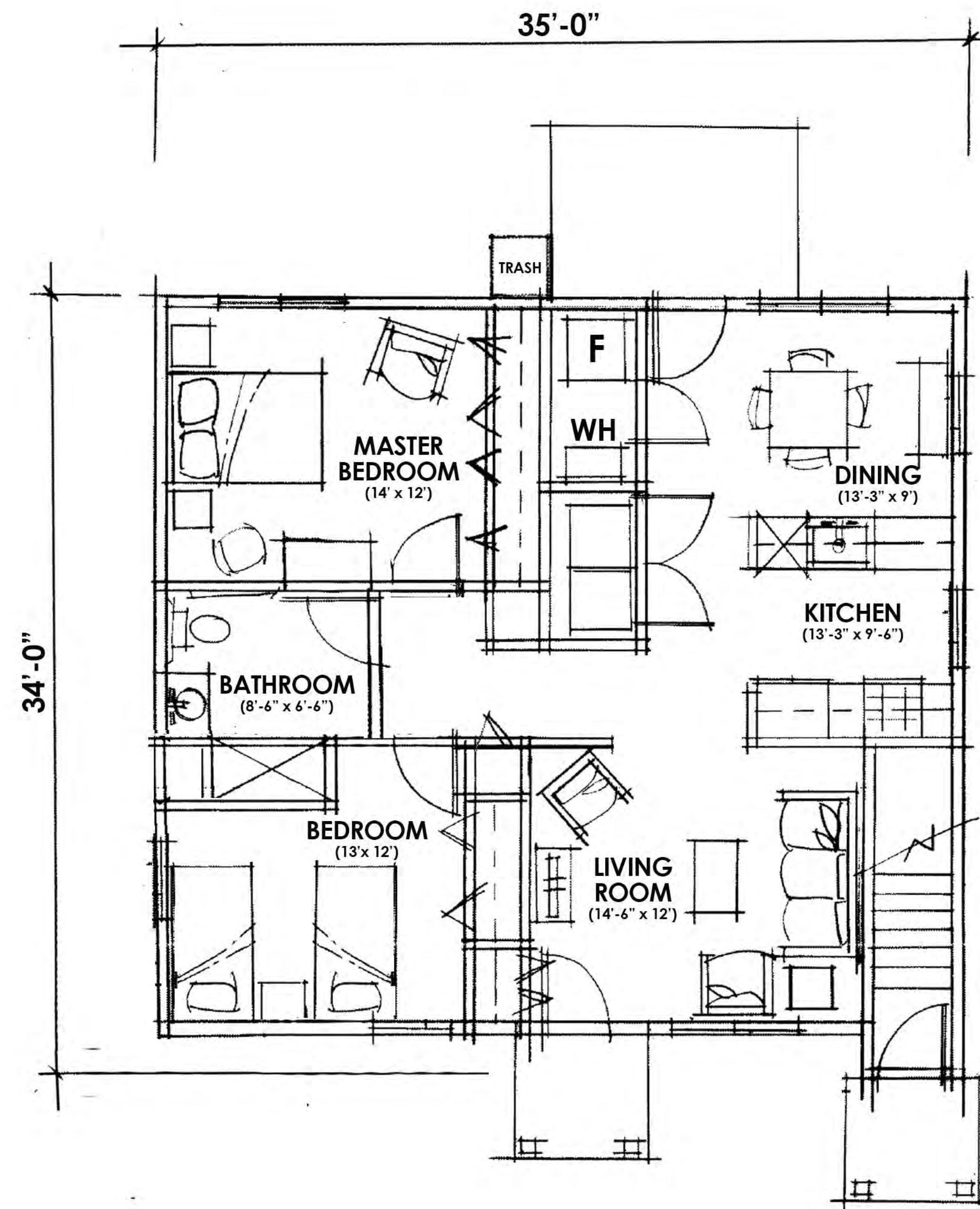
OCTOBER 21, 2015

PAGE 1 OF 5

UNIT PLANS



**UPPER
2B FLAT
(1,163 SF)**



**LOWER
2B FLAT
(1,163 SF)**

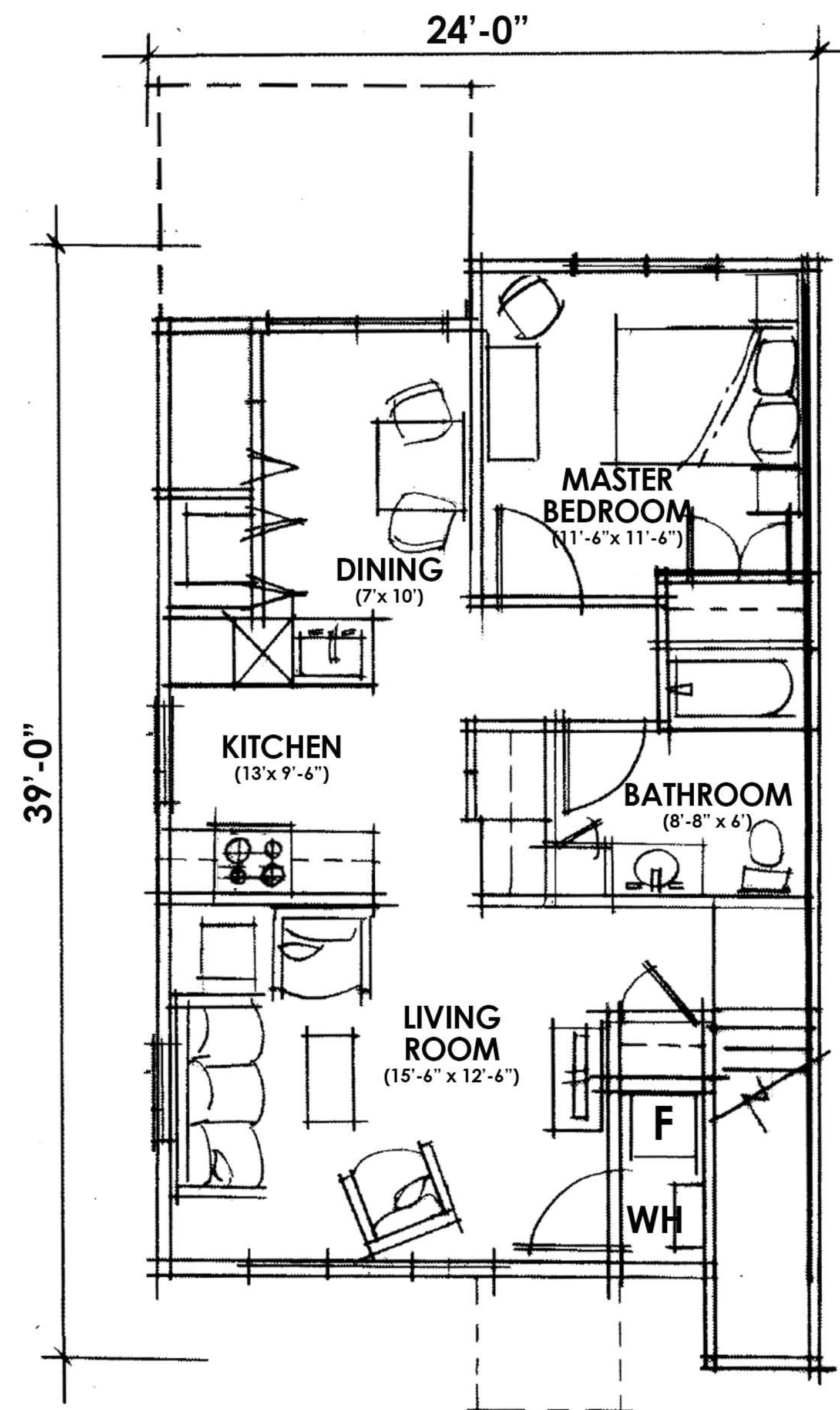


PARKRIDGE HOMES
YPSILANTI, MICHIGAN

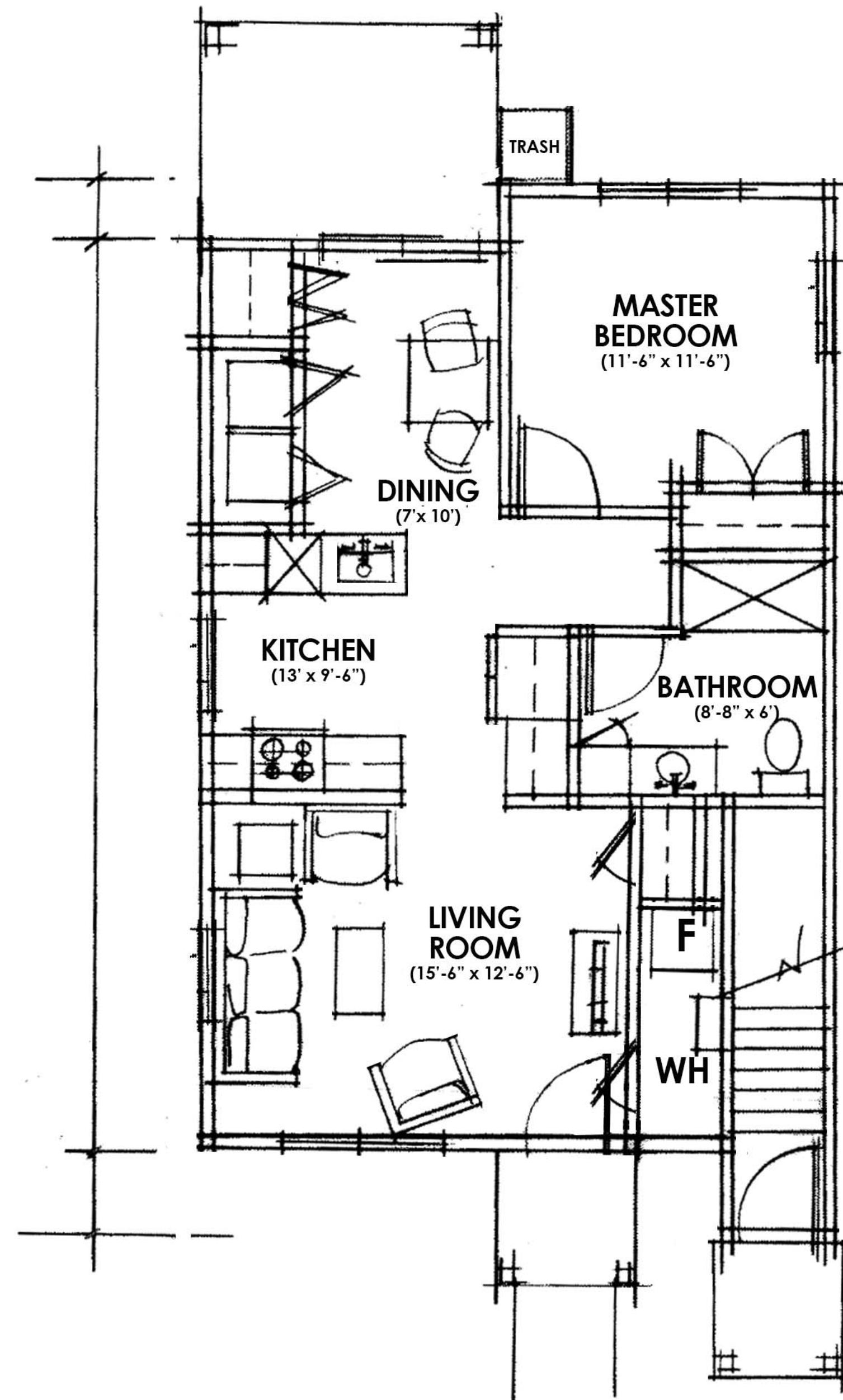
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OCTOBER 21, 2015

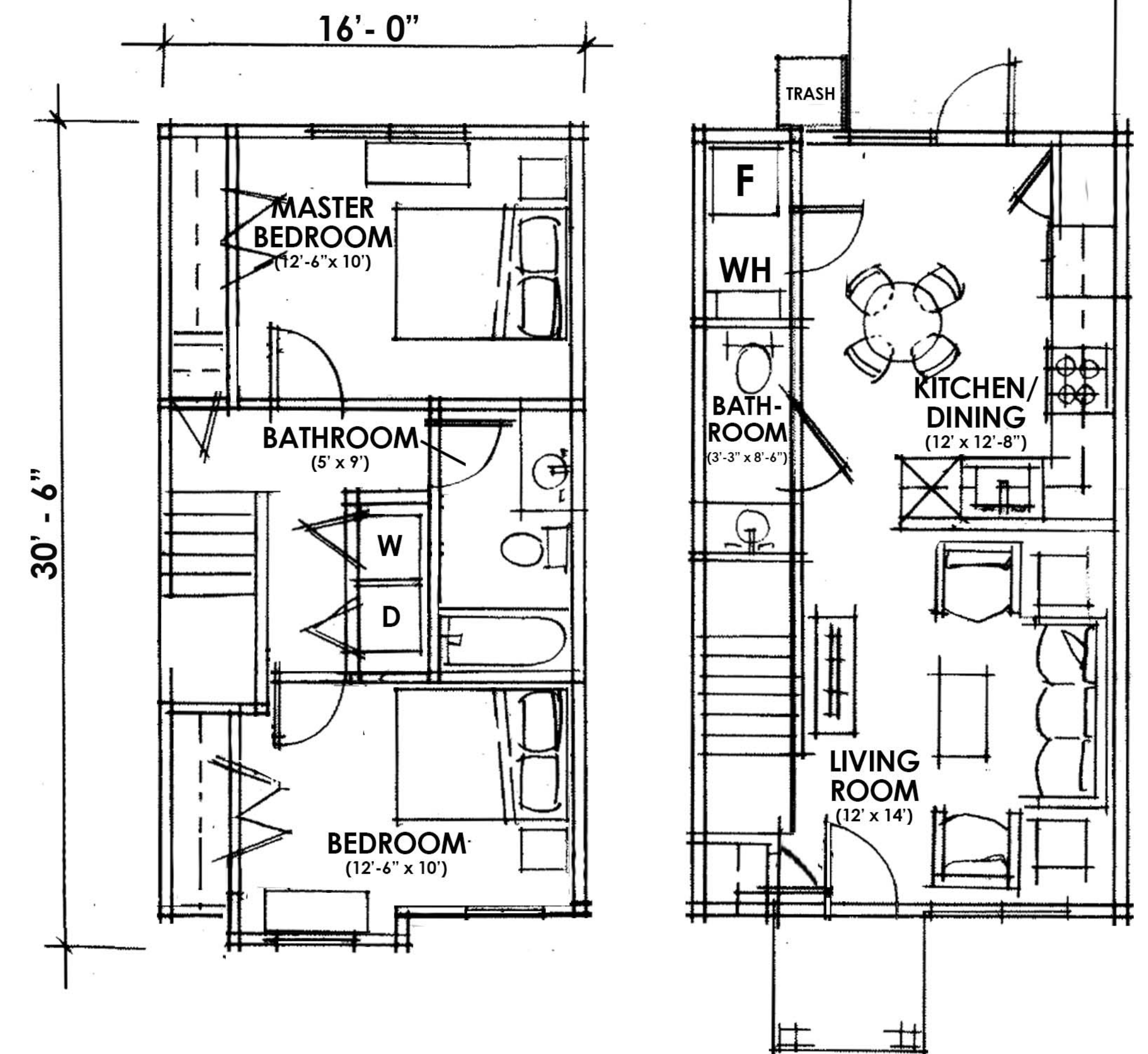
PAGE 2 OF 5



**UPPER
1B FLAT**
(807 SF)



**LOWER
1B FLAT**
(807 SF)



2B TOWNHOME
(976 SF)

UNIT PLANS





2B DUPLEX



2B DUPLEX



3B DUPLEX



3B DUPLEX (FLATS)

DUPLEX ELEVATIONS





TOWNHOME ELEVATION





Memo

To: Planning Commission
From: Bonnie Wessler, City Planner
Date: 16 October 2015
Subject: 50 Ecorse, Auto Sales Special Use Permit

Background

In May, staff discussed revocation of the Special Use Permit for Auto Sales at 50 Ecorse, due to continued noncompliance with the terms of said permit over the previous year. Just before the May Planning Commission, the property owner (Mr Garmo) expressed an intent to apply for an expanded special use permit for auto sales, based on the acquisition and demolition of the former restaurant on the adjoining lot to the south, 62 Ecorse. Staff recommended that the Planning Commission table the revocation to the June meeting, as the due date for applications is the same day as the meeting. The applicant did submit an application by that day, and Planning Commission tabled the revocation to July upon recommendation by staff. In July, in consultation with Mr Garmo, Planning Commission tabled the revocation to the October meeting.

Current Status

As of the writing of this memo (10/16/2015), staff has not yet received an updated application.

Recommendation

Staff recommends that Planning Commission deny the Site Plan and Special Use Permit application for 50-62 Ecorse dated 6/14/15; further, staff recommends that Planning Commission revoke the Special Use Permit issued in 2002 for Auto Sales at 50 Ecorse, as originally presented at the May 20th meeting and currently on the table.