

1. Planning Commission Regular Meeting Agenda

Documents:

[01-18JAN2017 AGENDA.PDF](#)

2. Planning Commission Regular Meeting Packet

Documents:

[1-18-2017 PC MEETING PACKET.PDF](#)

Agenda
Planning Commission
Council Chambers
Wednesday, 18 January 2017 – 7:00 P.M.

I. Call to Order

II. Roll Call

Heidi Jugenitz, Chair	P	A
Cheryl Zuellig, Vice Chair	P	A
Anthony Bedogne	P	A
Liz Dahl MacGregor	P	A
Toi Dennis	P	A
Matt Dunwoodie	P	A
Phil Hollifield	P	A
Jared Talaga	P	A

III. Approval of Minutes

- December 21, 2016

IV. Audience Participation

Open for general public comment to Planning Commission on items for which a public hearing is not scheduled.

V. Presentations and Public Hearing Items

- Rezoning: 311 Ballard St
Public Hearing

VI. New Business

- 2100 Washtenaw Ave
Site Plan Review
- 2016 Annual Report
- 2017 Schedule of Meetings
- Non-Motorized Advisory Committee: appointments

VII. Old Business

- None

VIII. Future Business Discussion / Updates

IX. Committee Reports

- Non-Motorized Advisory Committee: 2016 Annual Report
- Non-Motorized Advisory Committee: Resolution to MDOT on Non-Motorized Improvements
- Non-Motorized Advisory Committee: 2017 Project Priorities
- Non-motorized Advisory Committee: January Minutes

X. Adjournment

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**PLANNING COMMISSION
MEETING MINUTES
December 21, 2016
CITY COUNCIL CHAMBER
7:00 P.M.**

I. CALL TO ORDER

The meeting was called to order at 7:04 p.m.

II. ROLL CALL

Present: H. Jugenitz, A. Bedogne, J. Talaga, M. Dunwoodie,
L. MacGregor, P. Hollifield

Absent: C. Zuellig (excused) T. Dennis (excused)

Staff: Beth Ernat, Economic Development Director
Bonnie Wessler, City Planner
Cynthia Kochanek, Associate Planner
Nan Schuette, Executive Secretary

III. APPROVAL OF MINUTES

Commissioner Bedogne moved to approve the minutes of November 16, 2016 with recommended changes by Chairperson Jugenitz on pages 1 and 2 (Support: M. Dunwoodie) and the motion carried unanimously.

IV. AUDIENCE PARTICIPATION

None

V. PRESENTATION AND PUBLIC HEARING ITEMS

1. Special Nonconforming Status - 928 Frederick

This is a request for a non-conforming status of 0.15 acres on Frederick St between First and Orchard St, one block north of Parkridge Park. The structure has frontage on the north side of Frederick St. It is a two unit structure in 1,083 sq. ft. with a front porch running the length of the house and a shed to the northwest of the house.

The structure is currently zoned R-1, Single-Family Residential and the two units are nonconforming under the current zoning ordinance. The house was built in 1926 and at that time, the property was Class "B" zoning which allowed for dwellings for one or more families. The property was zoned R-2, for one and two family residential until 2015, when the most recent zoning ordinance went into effect. After research, records indicate there have been two units since at least 1984 and that a Certificate of Compliance/Occupancy (C/O) was issued to the property as far back as 1999. The property has a C/O from the Building that is valid through January 1, 2017 and is currently scheduled for a rental re-inspection on January 5, 2017. No special use permits or variances have previously been approved for this property.

There are no proposed changes to the site, the applicant is only pursuing the special nonconforming status in order to rebuild as a duplex in the event of a casualty.

Ms. Kochanek reviewed the criteria for nonconforming uses and conditions of approval.

Staff is recommending approval for 928 Frederick with a finding and conditions.

Commissioner Dunwoodie moved to open the public portion of the hearing (Support: P. Hollifield) and the motion carried unanimously.

Patricia Horn-McGee, 925 Frederick – directly across the street from this property – doesn't have particular problems at this time, however, if this property was to burn down, it could be rebuilt as a two family unit and it is a very small lot. She also has concerns about the use and parking is also a problem. Staff stated there had been no enforcement on this property and asked to have it checked.

Lois Richardson, 1055 Jefferson - for years she lived at 926 Frederick and during that time, there were issues with that house. It is very small and agrees right now that particular area should not be rebuilt as a duplex. The rest of the homes in that block are single family. She agrees that parking is a problem. Staff needs to re-check the use and it could create issues.

Commissioner MacGregor moved to close the public hearing (Support: A. Bedogne) and motion carried unanimously.

Chairperson Jugenitz explained to the audience that regarding the number of residents in the unit – the current use would not be different than now; that is part of code enforcement and the size of the building would have to remain the same.

Commissioner Bedogne noted that in looking at this particular lot layout, it has a longer driveway than others and could accommodate 2-3 cars.

Commissioner Bedogne moved that the Planning Commission approve the Special Nonconforming Use permit for the duplex at 928 Frederick Street with the following finding and conditions:

Finding

1. The applicant substantially complies with Sec 122-206.

Conditions

1. Applicant to maintain the property in accordance with the Ypsilanti Property Maintenance Code in regard to vegetation/weeds at the foundation and in the gutters.
2. When the exterior lights at the sides of the structure are replaced or upgraded, they need to be dark sky compliant and conform with Sec 122-641.
3. If the structure needs to be rebuilt, the yard setbacks cannot be more non-conforming than what is currently on the site.
4. Secure/store the windows that are at the rear of the property.
5. Applicant to create a dedicated, enclosed storage area for the garbage receptacles.
6. The rental Certificate of Compliance & Occupancy must be successfully renewed within 3 months of this approval and maintained as prescribed by law as long as the structure is utilized as a rental/duplex.

The motion was supported by Commissioner Hollifield. A roll call vote was taken and carried unanimously 6:0.

2. Special Nonconforming Status - 914 N. Congress

Parcel 11-11-40-432-020 is 0.19 acres on Congress St between Elm and Summit Streets in the Normal Park area of the city. The structure has frontage on the north side of Congress St. The structure contains five units in 2,845 square feet with a wrap-around porch at the southeast corner of the house. There is a ~457 square foot, two car garage at the northwest corner of the parcel.

Currently zoned R-1, Single-Family Residential, the five units are nonconforming under the current zoning ordinance. The house was built in the late 1800s, at that time there was no zoning ordinance in effect for the City. When the first zoning ordinance went into effect for the City in 1925, the property was zoned Class A, which allows for one and two family residences. Research into the property history indicates that by 1922 there were at least two different last names listed in directories for this property. The property was already divided into five apartments by 1945 with permits granted from the building department in 1954 for work on a rental unit. In 1988, the planning department sent a letter to the owner of the property that recognized it "as a non-conforming use of six apartments." A file note from the building department states that there are currently 5 units, the basement unit was abandoned in 2000. No special use permits or variances have previously been approved for this property. The property has a Certificate of Compliance & Occupancy from the building department that is valid through March 1, 2018.

There are no proposed changes to the site, the applicant is only pursuing the special nonconforming status in order to rebuild as 5 units in the event of a casualty.

Ms. Kochanek added that there had been one enforcement issues on the property, which had been resolved. A low fence was recently added but could be moved to block the receptacles

from the view on Congress Street. Staff is recommending approval to the Planning Commission for this request with one finding and conditions.

Chairperson Jugenitz asked if it had been confirmed that a shower had been added to the efficiency apartment. Beth Ernat, Economic Development Director responded that she had not been able to confirm this at this point and asked the applicant to supply this information.

Commissioner MacGregor moved to open the public portion of the hearing (Support: P. Hollifield) and the motion carried.

Michael Gelletly, representing his daughter Christine Gelletly, who is out of the country at the present time. Stated that his only question is regarding the fence by the trash can – that fence is there because of raccoons – no problem screening front from view and asked if they could wait until spring to add it. The efficiency apartment does have a shower – hand sink is to be added.

Commissioner Dunwoodie moved to close the public portion of the hearing (Support: J. Talaga) and the motion carried unanimously.

Commissioner MacGregor moved that the Planning Commission approve the Special Nonconforming Use permit for the five unit multi-family use at 914 N. Congress St with the following finding and conditions:

Finding

1. The applicant substantially complies with Sec 122-206

Conditions

1. When the exterior lights at the rear are replaced or upgraded, they need to be replaced with fixtures that are dark sky compliant and conform to Sec 122-641.
2. The fence needs to be moved to the front of the garbage receptacle area to block the receptacles from view on Congress Street.
3. If the structure needs to be rebuilt, it cannot be more con-confirming in regards to the yard setbacks.
4. The rental Certificate of Compliance & Occupancy must be successfully renewed as prescribed by law and maintained as long as the structure is utilized as a rental property.

The motion was supported by Commissioner Bedogne. A roll call vote was taken and carried unanimously 6:0.

3. Special Nonconforming Status – 953 Sheridan

Parcel 11-11-40-137-004 is 0.16 acres on Sheridan St between Oakwood and Elm Streets in the Normal Park area of the city. The structure has frontage on the south side of Sheridan St. The structure contains two units in 1,512 square feet with an enclosed porch running the length of the front of the house. There are two accessory structures on the site. The one just to the southwest of the house is a 225 square foot, 1 ½ car garage and the other at the rear of the

property is a 2 ½ car garage in 452 square feet that is accessed by the public alley at the rear of the property.

Currently zoned R-1, Single-Family Residential, the two units are nonconforming under the current zoning ordinance. The house was built in 1932, at that time the property was Class "B" zoning which allowed for dwellings for one or more families. In 1975, the zoning for the property changed to R-1, Single Family Residential. It is unclear as to exactly when the property was converted to a duplex however it became part of the rental certification program for one and two-family units when the program started in 1997. No special use permits or variances have previously been approved for the property. The property has a Certificate of Compliance & Occupancy from the building department that is valid through September 1, 2017.

There are no proposed changes to the site, the applicant is only pursuing the special nonconforming status in order to rebuild as a duplex in the event of a casualty.

Ms. Kochanek reviewed the criteria and conditions for a nonconforming use. The property in question has been used as a duplex prior to the 1 and 2-family rental certification program 20 years ago. There are several other duplexes in the area and the proximity to EMU means that there are many multi-units in the area and there are no enforcement issues on the record. She added that staff is recommending approval with a finding and conditions.

Commissioner Bedogne asked about garbage cans and Ms. Kochanek responded that there is one garbage can on the west side but that it should be moved and hidden from view.

Commissioner Hollifield moved to open the public portion of the hearing (Support: L. MacGregor) and the motion carried unanimously.

Since there were no public comments, Commissioner Dunwoodie moved to close the public portion of the hearing (Support: A. Bedogne) and the motion carried unanimously.

Commissioner Talaga moved that the Planning Commission approve the Special Nonconforming Use permit for the duplex at 928 Sheridan Street with the following finding and conditions:

Finding

1. The application substantially complies with Sec 122-206.

Conditions

1. When the exterior lights on the structure are replaced or upgraded, they need to be dark sky compliant and conform with Sec 122-641.
2. If the structure needs to be rebuilt, the yard setbacks cannot be more non-conforming than what is currently on the site.
3. Applicant to create a dedicated, enclosed storage area for the garbage receptacles or store them in either accessory structure on site.
4. The rental Certificate of Compliance & Occupancy must be successfully renewed as prescribed by law and maintained as long as the structure is utilized as rental/duplex.

The motion was supported by Commissioner Bedogne. A roll call vote was taken and carried unanimously 6:0.

4. Zoning Text Amendment – PMD Production, Manufacturing and Distribution

B. Wessler, City Planner, gave some background information on the Bell and Kramer neighborhood. She stated that it is located SE of the intersection of Huron/Spring, one of the oldest neighborhoods in the city. To the west are two former gas stations and on the northwest is another former gas station. To the south is the former city landfill and there are parcels 4 other parcels owned by the city. The landfill was used from 1949 – 1967 for the city. There was a Phase I and Phase II report done in 2013 for the landfill, which are environment studies to determine just how contaminated the site might be.

Ms. Wessler listed the various meetings and notifications that were done to communicate the proposed zoning for the city for the update of the city Master Plan – approximately 1600 letters were mailed to notify residents of meetings, although they were mailed first-class, and not registered mail.

In 2014, in response to new information about potential environmental contamination in the area of the former landfill, the Bell-Kramer neighborhood was rezoned industrial as part of the comprehensive, City-wide rezoning. This halted new residential construction and made existing residences nonconforming. This nonconformity has presented significant roadblocks to property sales, as loans on such properties generally cannot be underwritten. Residents have expressed a desire to return to residential zoning. City Council has also expressed a desire to remove the nonconformity issue to lighten the economic burden on residents/property owners, but is not interested in permitting new residential construction.

The most recent zoning classification prior to PMD for the area was R2, One and Two family residential, and had been R2 since at least 1967. The most similar modern zoning classification is CN-Mid, which is not a good fit for the character of the neighborhood. A concern with zoning the properties as residential is that environmental site analyses are not required for the construction of single-family residences. With the current site conditions being unknown at this time, allowing new single-family construction by right would mislead potential builders and possibly expose the City to liability.

After discussions with Council, rezoning the area to Neighborhood Corridor was rejected in favor of rezoning all the residences in the PMD district to a special nonconforming status which allow for the residences to be rebuilt as they were prior to a casualty. It should be noted that the Bell-Kramer neighborhood will not be the only properties affected; it will also be applied to a single family home at 311 Babbitt, west of Marsh Plating.

Ms. Wessler reviewed the various rezoning considerations.

City Council has recently directed staff by resolution to apply to the Planning Commission to amend the text of the zoning ordinance to allow single and two family homes to be built in the event of a fire.

Commissioner Hollifield asked if the houses that were already knocked down can they be rebuilt on these lots. Ms. Wessler responded that they could not.

Chairperson Jugenitz asked for an update on the next step of the environmental review and what we can expect and Ms. Ernat responded that the city will be installing monitor points to 15 residential units which analyze removed vapor and check air quality. She said it is all very technical but explained as best she could in layman terms. Chairperson Jugenitz asked about the time frame for that and Ms. Ernat responded we are hoping for the second week in January – takes approximately 30 days to analyze and release results at a city council meeting and possibly a follow-up meeting with residents.

Ms. Ernat added that the biggest concern is right now there is nothing to prohibit a sale but underwriters want to know that properties can be re-built and what we are bringing to the commission this evening – is, there is no statute that allows us to do environmental testing before a single residence can be rebuilt, however, we can require a Phase I and II on commercial properties.

Commissioner Bedogne confirmed that new single family residential could not be built under PMD; however, a rebuild could be done in PMD.

Commissioner MacGregor moved to open the public portion of the hearing (Support: M. Dunwoodie) and the motion carried unanimously.

Lee Tooson, 107 Middle Drive – stated that this situation reminded him of Water Street. It is his opinion that the residents of the Bell/Kramer are owed restitution for contaminants that were known by the city for many years. He gave background information on the history of the neighborhood when there had been a fire in the area and it was checked at that time for contaminants. There were all kinds of contaminants thrown in the dump at the landfill.

Erin Snyder, 129 Bell – does have a tenant at this time. She has owned the property since 2004 and is unable to sell because of the contamination. She was never been informed that she was living next to an adjacent landfill. It is her opinion that this should be zoned residential in the future. Everyone's property is worth zero. This text amendment would allow people to have value in their real estate again. Glad the city is doing something about the contamination. She hopes that we get back to residential zoning if no contamination is found.

Michael Simmons – 128 Bell – his parents lived on that street for over 40 years. This landfill has always been under discussion. The city has never taken responsibility for the landfill. He is glad of necessary steps being taken to ensure residents living in a safe and healthy environment. He learned of the contaminants from the newspaper and residents relocated. He agrees with the text amendment since it protects the property right now.

Cherissa LaMarr, 123 Bell – stated her parents have lived in the area since the 1960's. They are hardworking taxpayers. She wants PMD zoning taken out and removed completely and wants the city to clean the lot. She built her house in 2004 and should have sovereign control of her property. City has failed to protect residents.

Mr. Johnson, 132 Bell Street – people have health problems from the landfill.

Lee Tooson, 107 Middle – contaminants affected animals in that area.

Dan Carlson – renter – 129 Bell – was completely ignorant of the problems when he rented and moved in. Doesn't understand why the owner should not have correct R2 zoning.

Lois Richardson, 1055 Jefferson – Council Member for Ward 1. This particular area is in her ward. She is asking the commission to put their selves in the same situation. – what could happen to one person could happen anyone. She is asking to make these people whole and put yourself in their position.

Lee Tooson, 107 Middle – gave some final comments.

Commissioners had questions for staff regarding various zoning, to which Ms. Wessler responded explaining the various code requirements regarding the various types of areas where the use might require environmental assessment. PMD would prevent new single family being built in the Bell/Kramer area. The text amendment would not allow expansion of the footprint of the existing building.

Chairperson Jugenitz stated for those in attendance that the proposal that is currently on the table is, that for the time being, residences can stay where they are, be rebuilt as they are in their current footprint, and sheds, garages could also be built on that property as long as they were not used for human beings.

Chairperson Jugenitz summarized her thoughts by stating that her own priorities on making this decision on how to proceed includes the health and wellbeing of residents on Bell/Kramer and future residents; protecting the economic interest to ensure their homes continue to have value and maintain the integrity of the neighborhood. The proposal on the table succeeds in a number of ways, although it is not a long term solution but it is a solution based on the information we have right now. She would be reluctant to have new people come in and build new homes and the proposal on the table does that. She is open to revisiting the zoning in the future once we have a firmer grasp of the situation on contamination.

Commissioner Bedogne stated that this is a core neighborhood with a long history. He does not feel he can support this since he doesn't like changing text in an ordinance to accommodate a current situation. We designed these districts a few years ago and we never discussed having residential in a commercial zone when we were re-doing the Master Plan and possibly this was a mistake at the time. We never discussed having residential in an industrial zone. He would like it rezoned in a creative way that fixes all the problems and changing the text is not a good idea. We could delay the process – but doing wrong way to do it the quick way is not the right answer.

Chairperson Jugenitz asked how staff arrived at the proposal, which Ms. Wessler explained in detail on the various options they listed.

Commissioner Dunwoodie noted that based on history, it is more appropriate to consider industrial zoning but asked about consideration of neighborhood corridor zone and if it would it stop new single family building? However, the problem with that is an existing duplex that

would be nonconforming and if that would be rebuilt in the event of a catastrophe. Ms. Wessler gave an explanation of nonconforming zoning in general.

Commissioner Hollifield has issues with building with contaminants in the ground. The more he looks at this, the more it makes sense. It is one way for us to right a wrong since these people are being punished through no fault of their own. He is still in support of this – going in a positive direction and we could come back and change at a later date.

Commissioner MacGregor doesn't feel there isn't any way to ensure follow-up on this and we should come up with a temporary solution until we have more information. This would start things moving in the right direction but she would like to have some accountability included that we are definitely going to look at this when we have more information. Ms. Wessler responded that we could re-visit the Master Plan, which the Planning Commission has the authority to do. Commissioner MacGregor added that this could be added as a finding.

Staff had further discussion prior to a motion on some of their concerns agreeing that we should incorporate some language that the Planning Commission work with staff to ensure a safe community, re-visit the master Plan and ensure notification to all residents in the Bell and Kramer neighborhood.

Commissioner Dunwoodie moved that the Planning Commission recommend approval of a rezoning that grants a Special Nonconforming Use states for all residences in PMD - Production, Manufacturing, Distribution, to City Council with the following findings:

1. This rezoning is consistent with the policies and guiding values in the Master Plan.
2. The properties that are proposed to be re-zoned can accommodate the requirements of the proposed zoning.
3. This rezoning more appropriate than rezoning to another district as it allows for control of new development while permitting the single and two-family homes to be rebuilt or repaired in cases of casualty.

The motion was supported by Commissioner Hollifield. A roll call vote was taken with a vote of 6:0. Commissioner Bedogne opposed.

Commissioner MacGregor moved that the Planning Commission direct staff to propose a work plan to investigate creation of sub area plan for Bell/Kramer within 180 days (Support: A. Bedogne) and carried unanimously.

5. Zoning Text Amendments – Citywide

Ms. Wessler presented her staff report and reviewed proposed changes, which had been submitted for review by Giffels-Webster, a planning firm retained by the MEDC on behalf of the City, due to our standing as a Redevelopment Ready Community.

This review noted several areas of improvement. Many proposed changes were either stylistic or easily resolved; others, such as RLUIPA issues, require feedback. Our practice, more or less

has been to equate religious uses with schools and private assembly. Giffels-Webster noted that oftentimes, they are tied to schools and/or theaters and/or catering.

See the staff report dated December 16, 2016 included in the Planning Commission packet dated December 21, 2016 on the city website.

Commissioner Dunwoodie moved to open the public portion of the hearing (Support: P. Hollifield) and the motion carried unanimously.

Since there were no comments, Commissioner Talaga moved to close the public portion of the hearing (Support: L. MacGregor) and the motion carried unanimously.

Commissioner Bedogne moved to recommend to City Council to accept the proposed changes as recommend by staff (Support: P. Hollifield) and the motion carried unanimously.

VI. NEW BUSINESS

None

VII. OLD BUSINESS

None

VIII. FUTURE BUSINESS DISCUSSION/UPDATES

Ms. Wessler stated that two applications have been received for the January meeting.

IX. COMMITTEE REPORTS

1. Non-motorized Advisory Committee – December minutes

X. ADJOURNMENT

Since there was no further business, Commissioner Hollifield moved to adjourn the meeting (Support: M. Dunwoodie) and the motion carried unanimously. The meeting adjourned at 9:30 p.m.



City of Ypsilanti
Community & Economic Development Department

January 10, 2017

**Staff Review of Rezoning Application
311 Ballard Rezoning
311 Ballard**

GENERAL INFORMATION

Applicant: AJAR, LLC

Project: 311 Ballard Rezoning

Application Date: December 7, 2016

Location: Southwest corner of the intersection of W. Cross and Ballard

Zoning: C-Center

Master Plan: Center

Action Requested: Rezone the entire parcel to CN, Core Neighborhood

Staff Recommendation: Approval

PROJECT AND SITE DESCRIPTION

A rezoning is requested for parcel #11-11-40-183-017. The parcel is 0.11 acres with an existing residence on site. The property is currently zoned C-Center. The property owner wishes to have the parcel rezoned to CN- Core Neighborhood in order to be able to utilize the structure as residential. The structure was built in 1900; prior to the existence of the City Zoning Ordinance. Previously the parcel was part of the 501 W. Cross parcel to the north and appears to have been split from that parcel at some point prior to mid-20th century. No variances or special uses have been approved for the property.

Figure 1: Subject Site Location & Zoning

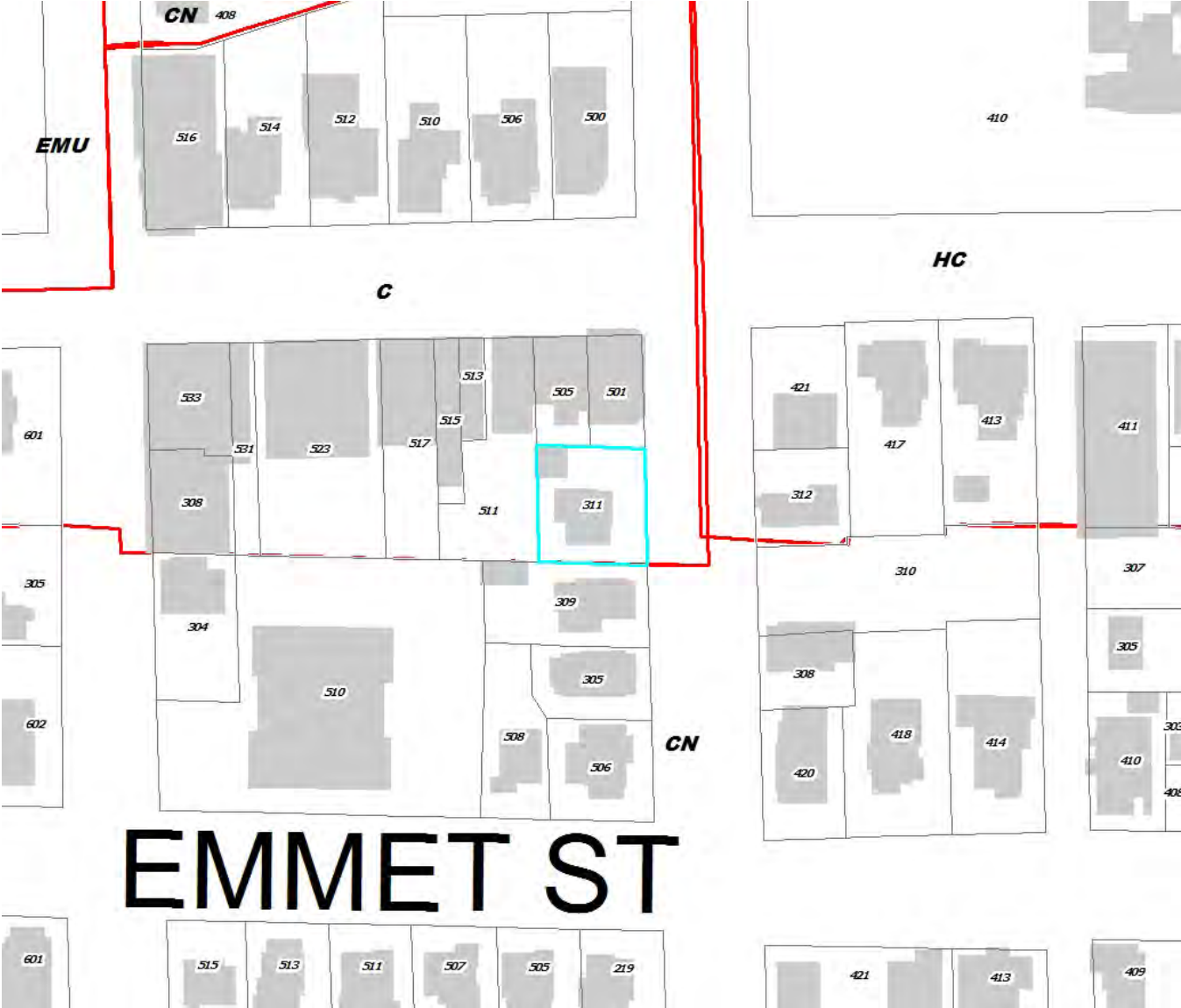


Figure 2: Site Aerial (2015)

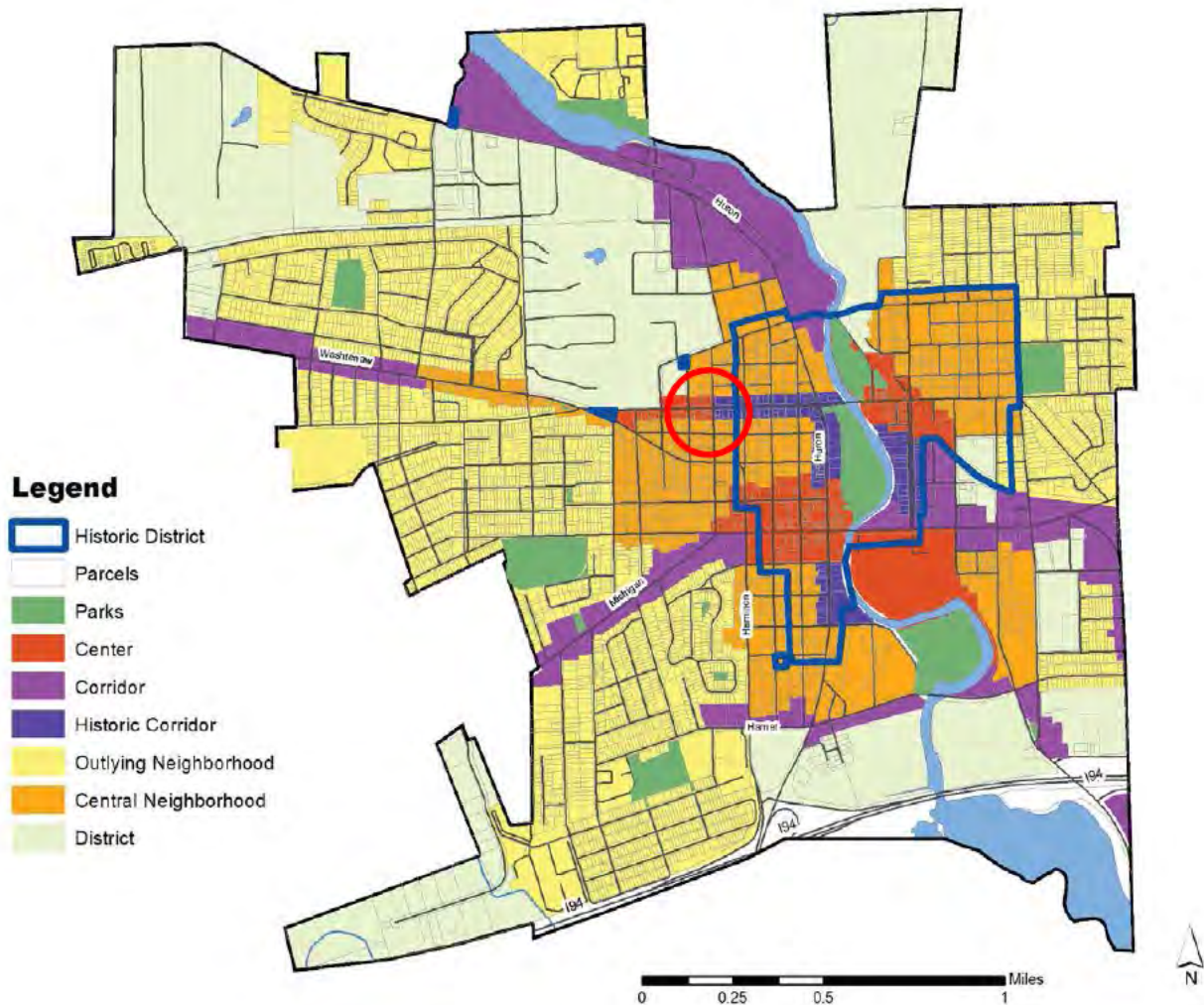


MASTER PLAN

The subject property is within the "Center" future land use. These areas are the heartbeat of the City – downtown, Depot Town and Cross Street adjacent to the EMU campus. Each area has buildings built up to the sidewalk and a variety of uses - retail, restaurants, services, office, civic, and residential. They are places where people walk, gather, shop, exchange and meet.

The future land use map, below, shows the property as Center.

Figure 3: Future Land Use Designations



EXISTING LAND USE AND ZONING

The property is currently used as a single-family rental property. It is just south of W. Cross St on Ballard, one block from Eastern Michigan University.

Figure 4: Surrounding Land Use and Zoning

	LAND USE	ZONING
NORTH	Market and Restaurant	C-Center
EAST	Single Family and Restaurant	HC- Historic Corridor
SOUTH	Multi-family residential	CN-Core Neighborhood
WEST	Multi-family residential and mixed use	CN-Core Neighborhood

REZONING IMPLICATIONS**INTENT**

C-Center district contains mixed-use areas with historic buildings. Center district includes the places where people shop, go to school, live, come to work, visit, drop by City Hall, eat, gather and have fun. They host events that bring thousands of visitors each year and bring the City together as a community. The intent of the zoning district is preserve the urban form, walkable nature and vibrant mix of uses in these areas.

CN-Core Neighborhood is intended to directly border center districts and have a variety of housing types, ranging from cottages to group living to apartment buildings. This district also affords opportunities for accessibly-placed walkable, neighborhood businesses.

Figure 5: Permitted uses in existing and proposed zonings.

P=Principal, A=Accessory, S=Special Land Use

USES	C	CN
RESIDENTIAL		
Single-Family Detached Dwelling	--	P
Accessory Dwelling Unit	--	A
Two-family dwelling units	--	P
Multiple Family Dwellings, maximum of 4 units per building	p*	P
Multiple Family Dwellings, more than 4 units per building	p*	S
Apartments located above ground floor of permitted nonresidential uses	P	P
Home Occupation	A	A
Family Child Care Home	--	A
Adult foster care family homes	--	A
Group Child Care Home	--	S
GROUP LIVING		
Group residence	--	S
Group living with support staff, not licensed by State of	--	S

P=Principal, A=Accessory, S=Special Land Use

USES	C	CN
Michigan		
Roominghouse	--	S
Adult foster care small & group homes, adult congregate facilities	--	S
Adult foster care facilities licensed by a state agency for care and treatment of persons released from or assigned to adult correctional facilities.	--	S
RECREATION, EDUCATION & PUBLIC ASSEMBLY USES		
Museums & libraries	P	--
Park	P	P
Public Art	A	A
Indoor recreation	P	--
Outdoor Recreation	--	A
Performance venues/theaters	P	--
Municipal, county, regional & state service uses	P	S
Primary & Secondary Schools (public & private)	--	S
Post-secondary educational institutions (public & private)	P	S
Religious institution	--	S
Private assembly, banquet hall allowed	--	S
INFRASTRUCTURE		
Essential Services	P	P
Communication Devices	A	A
Alternative Energy	A	A
Stormwater Control	A	A
Public & Private Transportation Passenger Terminals	S	--
SERVICES		
Bed & Breakfast or Inn	--	S
Funeral Homes	--	S
Nursing Homes	--	S
Business and professional offices and services	P	--
Financial services, including banks	P	--
Personal service establishments	P	--
Body Art Facilities	P	--
Printing services, including but not limited to: publishing,	S	--

P=Principal, A=Accessory, S=Special Land Use

USES	C	CN
engraving, photo development, lithographing, silk screening and three-dimensional printing		
Hotels & motels	P	--
Child Care Centers	P	--
Laundromats and dry cleaners	P	--
Medical or dental offices	P	S
Medical or dental clinics (5 or more practitioners)	P	--
Medical Marijuana Dispensary	P	--
Catering services	A	--
Self-storage	S	--
COMMERCIAL		
Retail stores	P	--
Resale stores	P	--
Arts & crafts studios	P	S
Food stores, excluding sale of alcohol, less than 15,000 square feet	P	S
Food stores, excluding sale of alcohol, greater than 15,000 square feet	P	--
Food stores less than 15,000 square feet, with sale of alcohol	S	--
Food stores greater than 15,000 square feet with sale of alcohol	P	--
Farmers' market	P	A
Auction houses	P	--
RESTAURANTS		
Carry-out and/or delivery restaurant	P	S
Café or coffee shop	P	S
Sit-down	P	--
Bar/Lounge	P	--
Tasting room and/or restaurant	A	--
Outdoor cafes	A	--
Fast Food	P	--
AUTO-ORIENTED		
Automobile Filling Station - no repair	--	S
Parking lot (as principal use)	S	--
Parking Garage	S	--
Automobile Share Parking	A	A
PRODUCTION, MANUFACTURING & DISTRIBUTION		
Microbrewer/ small distiller /small wine maker	P	--
TEMPORARY USES		

P=Principal, A=Accessory, S=Special Land Use

USES	C	CN
Temporary permitted use in vacant storefront	P	--
Food concession sales	P	--
PERFORMANCE OR STRUCTURES REQUIRING SPECIAL LAND USE		
Operation between 2 a.m. and 6 a.m. during any 24-hour period	P	--
Sale of alcoholic beverages for consumption off the premises	S	--
GARDENS/COMMUNITY GARDENS		
Community gardens	--	P
Passive solar structure (hoophouse, greenhouse, etc.)	--	A
Toolhouses, sheds and other similar buildings for the storage of domestic supplies	--	A

**Multi-family is only permitted in Center in specific building types or above the ground floor of permitted nonresidential uses.*

Figure 6: Area Regulations

BUILDING TYPE		CN	CN-MID	CN-SF	C	HHS	HC	NC	GC
MA	Mansion	L	L	L	--	--	L	--	--
ES	Estate	P	P	P	--	--	P	P	--
HS	House	P	P	P	--	P	P	P	--
CO	Cottage	P	P	P	--	--	--	--	--
TH	Townhouse	P	P	--	L	--	--	P	--
AH	Apartment House	P	P	--	P	P	P	P	--
CA	Courtyard Apartment	P	--	--	L	--	P	P	P
AB	Apartment Building	P	--	--	L	--	L	P	P
CS	Commercial/Mixed-Use Small	L	--	--	P	--	P	P	P
CM	Commercial/Mixed Use Medium	--	--	--	P	--	P	P	P
CL	Commercial/Mixed Use Large	--	--	--	P	P	--	--	P
SC	Single Story Commercial Building	L	L	L	--	--	L	P	P
LS	Large Single Story Commercial Building	--	--	--	--	P	--	--	P
MB	Multiple Story	--	--	--	P	P	--	--	P
IT	Institutional	P	P	P	P	P	P	P	P

HS

HOUSE

Detached residential buildings built for a single dwelling unit. They are located on lots that accommodate a detached primary building with small side yards and relatively large rear or front yards. They generally have one primary entrance.

LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	35	80
B - Lot Depth (ft)	100	--
C - Lot Size (sf)	4,000	12,000
D - Lot Coverage (%)	--	60
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	15 ⁽¹⁾	25
F - Side Setback (ft)	5	--
G - Rear Setback (ft)	20	--
H - Frontage Buildout (%)	60	80
ACCESSORY BUILDING ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	5	--
K - Rear Setback (ft)	5	--
L - Building Footprint (sf)	--	800
Note: There is a maximum of two accessory buildings		
BUILDING HEIGHT	MIN	MAX
M - Principal Building (st)	1	3
N - Accessory Structure(s) (ft)	--	15
PARKING PROVISIONS		
Location	Side, street-side yard, and rear yards	
PRIVATE FRONTAGES	Required:	

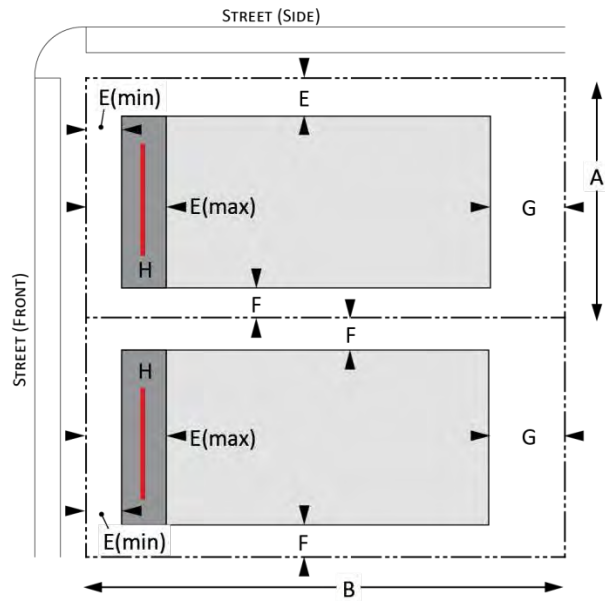
Porch or Stoop

⁽¹⁾ The street setback will be determined by the average of the front yards of existing buildings on same street side and block in which the new building is being proposed in residential districts only.

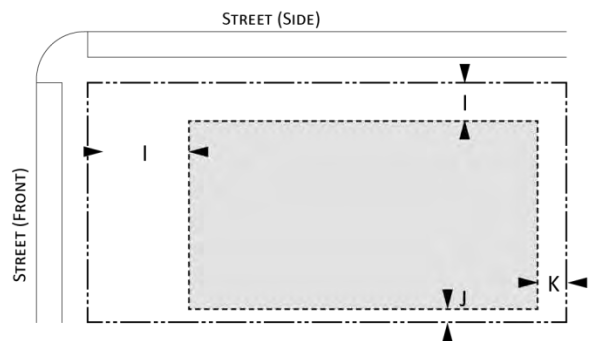


EXAMPLE

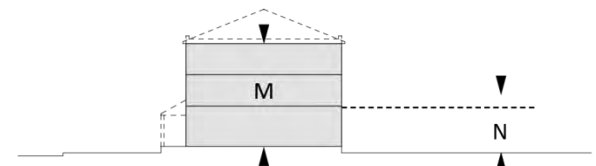
LOT REQUIREMENTS AND BUILDING ENVELOPE



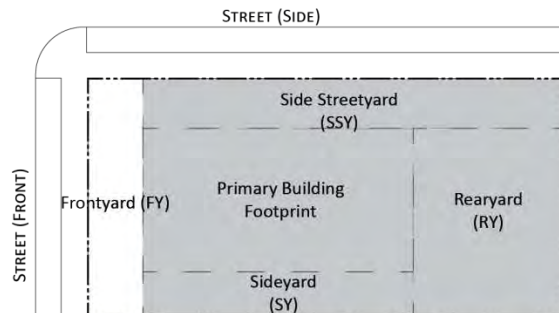
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



PARKING LOCATION



REZONING CONSIDERATIONS

The following are generally accepted criteria for evaluating a rezoning request and staff responses to each:

- 1) *Is the rezoning consistent with the policies, guiding values and Future Land Use Map in the Master Plan, including any subarea or corridor studies?*

Yes and No. While the Master Plan recommends that the future use of this parcel be “center” which is what the parcel is currently zoned, this parcel has been a residential home since around 1900 and has consistently been lumped in with the business district to the north on W Cross due to the depth of the rest of the parcels on the south side of W. Cross.

The Shape Ypsilanti master plan states that “Anyone, no matter what age or income, can find a place to call home in Ypsilanti” (p 6). This rezoning will result in the continued maintenance and care of an existing residence and create housing that is always in demand in the EMU area. “Ypsilanti is an asset of Eastern Michigan University, and Eastern Michigan University is an asset of Ypsilanti” (p. 7) is also a goal of the Shape Ypsilanti master plan. As this rezoning is to accommodate an existing residence within a block of EMU, this action helps Ypsilanti be a home for the university and its students, faculty and staff. Form-based code calls for properties to match or relate to that of the surrounding area.

- 2) *Does the rezoning sustain the site's physical, geological, hydrological and other environmental features with the potential uses allowed in the proposed zoning district?*

Yes. The uses permitted in CN would not affect the physical, geological, hydrological and other environmental features of the property and residence.

- 3) *Can the property that is proposed to be re-zoned accommodate the requirements of the proposed zoning district?*

Yes. The existing structure is residential in use and building character thus rezoning the parcel from Center to Core Neighborhood will bring the property more into alignment with the neighborhood to the south.

- 4) *Are all of the potential uses and building types allowed in the proposed zoning district compatible with surrounding uses, buildings, and zoning in terms of land suitability, impacts on the environment, impacts on the transportation network, density, nature of use, aesthetics, infrastructure and potential influence on property values?*

Yes. All potential uses and building types allowed in the proposed zoning district are more compatible with the surrounding uses to the south, east and west than those allowed within the current zoning.

- 5) *Is the capacity of City infrastructure and services sufficient to accommodate the uses permitted in the requested district without compromising the health, safety, sustainability and welfare of the City?*

Yes. There is little to no effect expected on the City infrastructure and services with this rezoning.

- 6) *Will the rezoning be detrimental to the financial stability and economic welfare of the City?*

No. This rezoning matches that of the properties to the south, east and west and is not expected to affect the financial stability and economic welfare of the City.

7) *Would the rezoning negatively impact the condition of any nearby parcels considering existing vacancy rates, current per-square-foot lease or sale rates, and other impacts?*

Unlikely. The potential uses of this structure, if rezoned to CN, closely match the current uses of the structures to the south, east and west.

8) *Is the rezoning consistent with the trend of development in the neighborhood or surrounding area?*

Yes. This area mainly consists of multi-family housing to support the needs EMU students and staff. This rezoning brings the parcel and residence more in line with the uses to the south, east and west.

9) *Was the property in question improperly zoned or classified when this Chapter was adopted or amended?*

Yes. The zoning classification of Center relies on the previous classification of B3-Central Business, which was inappropriate for the existing character and use.

10) *Where a rezoning is reasonable given the above criteria, is the map amendment or rezoning to the proposed zoning district more appropriate than another district or than amending the list of permitted or special land uses within a district?*

Yes. Core Neighborhood is more appropriate than any other district since it is the zoning for the property and neighborhood directly to the south. Core Neighborhood is meant to be a transitional area directly adjacent to the Center district. Amending the list of permitted uses for Center district to include lower density residential uses is not preferred.

STAFF RECOMMENDATION

Staff recommends that the Planning Commission recommend **approval** of the rezoning for 311 Ballard to Core Neighborhood to City Council with the following findings:

1. The rezoning is consistent with the goals in the Shape Ypsilanti master plan of “Anyone, no matter what age or income, can find a place to call home in Ypsilanti” and “Ypsilanti is an asset of Eastern Michigan University, and Eastern Michigan University is an asset of Ypsilanti.”
2. The proposed rezoning would not affect the physical, geological, hydrological and other environmental features of this parcel.
3. Rezoning the parcel to Core Neighborhood will bring the property and any potential uses into alignment with the existing neighborhood to the south.
4. This rezoning is consistent with the trend of development in the neighborhood to the south.
5. The current zoning is inappropriate for the existing character and use.

Cynthia Kochanek

Associate Planner, Community & Economic Development Division

c.c. File
 Applicant



City of Ypsilanti
Community & Economic Development Department

January 13, 2017

**Staff Review of Site Plan Review Application
Washtenaw Dental Associates Office Expansion
2100 Washtenaw Ave**

GENERAL INFORMATION

Applicant: Washtenaw Dental Associates
2100 Washtenaw Ave
Ypsilanti, MI 48197

Project: Washtenaw Dental Associates Office Expansion

Application Date: December 20, 2016
Revised Plans January 12, 2017

Location: North side of Washtenaw Ave between Courtland St and Bellevue St

Zoning: GC- General Corridor

Action Requested: Approval of site plans for expansion

Staff Recommendation: Approval

PROJECT AND SITE DESCRIPTION

Parcel # 11-11-06-408-003 is 0.73 acres fronting on Washtenaw Ave. There is an existing 1,740 square foot single story building on site. There are 21 parking spaces in the lot, including one ADA space and one curb cut on Washtenaw Ave. No special uses or variances have been approved for the property.

The property is zoned **GC- General Corridor**, which permits medical and dental offices and clinics by right. The plans submitted call for a single story addition to the north side of the structure and associated site improvements, including a dumpster enclosure, additional parking including bike parking, a curb cut onto Whittier, and a sidewalk along Washtenaw. The Washtenaw frontage of the building will retain the same footprint; however two windows are being added to increase transparency and to reduce the nonconformity of the façade.

Figure 1: Subject Site Location

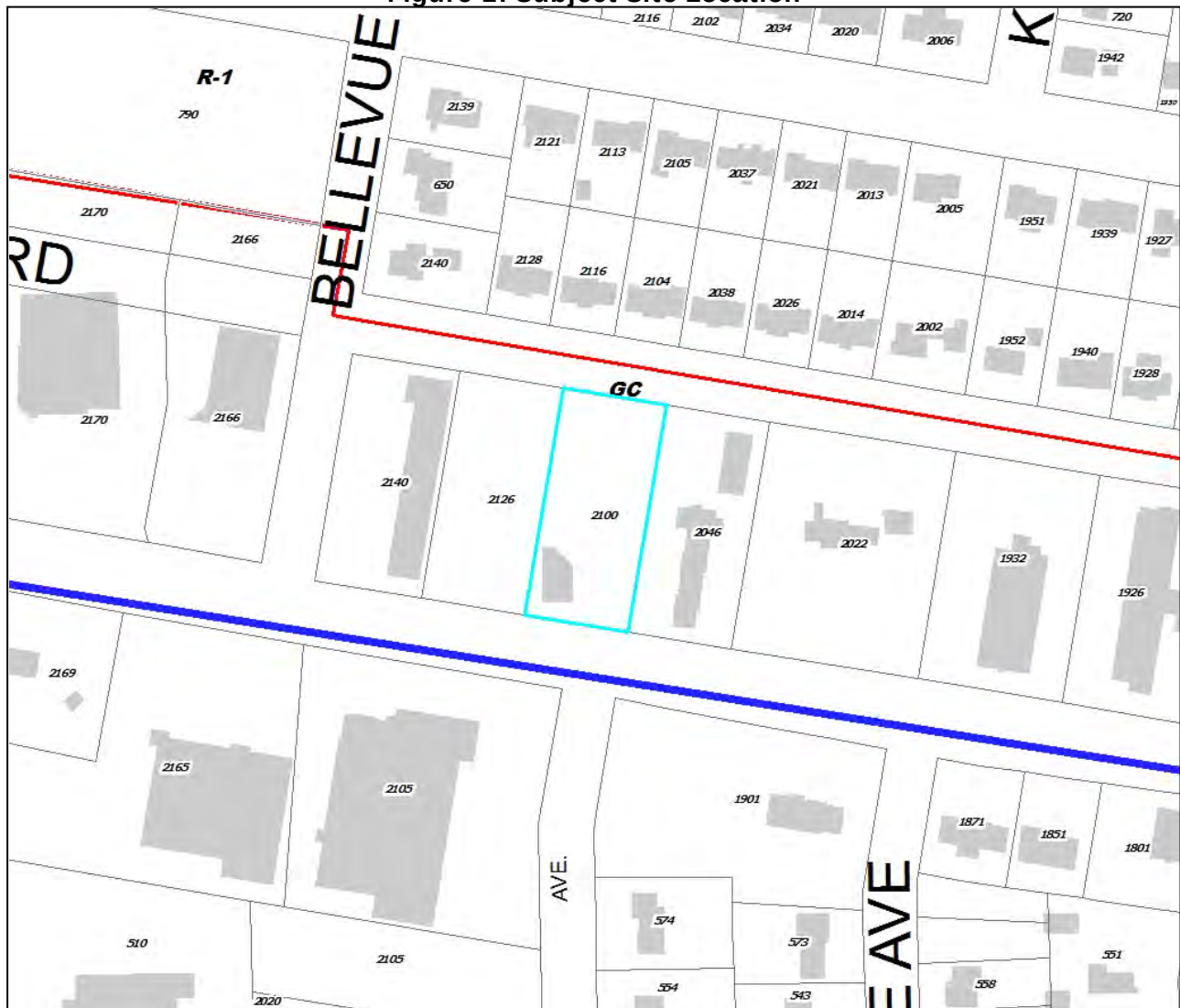


Figure 2: Site Aerial (2015)



Figure 3: photograph of site (google street view, Oct 2016)



Figure 4: Land Use and Zoning of Surrounding Area

	LAND USE	ZONING
NORTH	Single family residential (across Whittier)	R-1, Single Family Residential
EAST	Retail/Commercial	GC, General Corridor
SOUTH	Vehicle Dealership	P-1, Vehicular Parking (Ypsi Township)
WEST	Retail/Parking Lot	GC, General Corridor

SITE PLAN: CRITERIA AND REVIEW

§122-128

STANDING

§122-128(1)

The applicant is legally eligible to apply for site plan review, and all required information has been provided.

REQUIREMENTS

§122-128(2)

"The proposed site plan conforms with all the provisions and requirements, as well as the spirit and intent of this chapter and the Master Plan. The proposed development will meet all the regulations of the zoning district in which it is located."

Figure 5: Requirements

ORDINANCE REFERENCE	REQUIRED		EXISTING CONDITIONS	PROPOSED
GC: BUILDING TYPE §122-274	Determined by lot size		Single story commercial	Unchanged
LOT REQUIREMENTS				
Width ft	Min 50	Max 300	120'	Unchanged
Depth ft	Min 100	Max 300	264'	Unchanged
Area sf	Min 7500	Max 90,000	31,680sf	Unchanged

ORDINANCE REFERENCE	REQUIRED		EXISTING CONDITIONS	PROPOSED
Coverage %	Min -	Max 60%	Building footprint: 1,740 sf/31,680= 5.5%	Building footprint: 5,920/31,668= 18.7%
BUILDING ENVELOPE AND HEIGHT				
Street setback ft	Min 5	Max 15	15.24' from current Washtenaw ROW Less than 10' from future ROW line	Unchanged
	If on Washtenaw, no more than 10' from future ROW line			
Side setback ft	Min 0	Max -	5' on east and west sides	51.12', meets
Rear setback ft	Min 15 (25 if adjacent to existing SF)	Max -	185'	104.72', meets
Frontage buildout %	Min 50	Max 100	<50%	Unchanged, existing nonconforming
Height stories	Min 1	Max 1	1	1
PARKING PROVISIONS	Location: side, street-side and rear		Side and rear	Side and rear
PRIVATE FRONTAGES	Permitted: commercial		Commercial	Commercial
Distance between façade openings ft	Min --	Max 2	No openings	n/a
Door recess Ft	Min --	Max 5		n/a
Ground floor transparency %	Min 60	Max -		n/a
Height to bottom of window ft	Min --	Max 2.5		n/a
Interface zone	Extended sidewalk from right-of-way			Proposed sidewalk along Washtenaw frontage will connect to N-S sidewalk along east side of building, leading to entrance.
§122-861 et seq	SIGNAGE	Master sign plan: HC, NC, GC, C, PMD, P; nonres uses in R1, CN-SF, CN-Mid, CN, MD	Monument sign	Existing monument sign to remain, additional wall sign on east side, submit master sign plan with sign application

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
Area maximum			submit master sign plan with sign application
Height maximum			submit master sign plan with sign application
Setbacks minimum	Front property line: 3' Side/rear property lines: 10'	Front property line: 4' East Side: 70' West Side: 49' Rear: ~250'	Existing monument sign, meets. Is within "future right of way" area.

Items to be Addressed:

1. Applicant to provide a master sign plan for all existing and proposed signage with sign permit applications.

BUILDING LOCATION AND SITE ARRANGEMENT

§122-128(3)

"All elements of the site plan shall be harmoniously and efficiently organized in relation to the character of the proposed use, the size and type of lot, the size and type of buildings, and the character of the adjoining property. The site shall be so developed as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter."

The existing building, on the southwest corner of the lot, is proposed to be the base for an extensive addition to the north. The existing frontage along Washtenaw is to remain unchanged in terms of footprint, due to existing lot and access constraints. This lot is narrow and deep.

The proposed entrance to the building is located in the north east corner of the proposed addition, relocated from the south-east corner of the building (now a secondary exit and access point). The parking is currently oriented to the east and north of the building; the proposed parking will be reconfigured but still located to the east and north of structure.

Although this arrangement is suboptimal generally, the narrowness and depth of the lot do not allow for much design flexibility. Were the building entrance to remain as it is, an increased number of customers would cross an increased amount of traffic incoming from Washtenaw to get to the door. Were the parking "flipped" to be adjacent to the building, the entrance off Washtenaw would have to be relocated; due to the proximity to the drive to the east, such a request would be declined.

Items to be Addressed: None.

SITE ACCESS, TRAFFIC, AND PARKING

§122-128(4)

"With respect to vehicular and pedestrian circulation on the site, including walkways, interior drives, and parking; circulation shall to the extent possible create potential cross-and joint-access to adjacent parcels and the existing block layout. Special attention shall be given to the location, number and spacing of ingress and egress points; general interior circulation including turnaround areas; adequate provisions for delivery of services (trash removal, school buses, mail and parcel delivery); separation of pedestrian and vehicular traffic; avoidance of building corners next to access drives; identification of addresses; storage of plowed snow; and arrangement of parking areas that are safe and convenient, and insofar as practicable, do not detract from the design of the proposed buildings and structures, neighboring properties, pedestrian and bicyclist safety, access to transit and

flow of traffic on adjacent streets. All buildings or groups of buildings shall be so arranged as to permit adequate access by emergency vehicles as required by the city building code."

Proposed vehicular access points include the current curb cut off of Washtenaw and a new one on the north side of the lot off of Whittier. Bicycle and pedestrian access is via the same points. AAATA bus route 4 runs down Washtenaw Ave. There is one bus stop within 400 feet of the office and another within 500 ft. Sidewalks are not complete in this area of Washtenaw Ave. There are 33 vehicle parking spaces proposed on site, no loading spaces (none required), and 8 bicycle parking spaces.

Figure 6: Site Access, Traffic and Parking

ORDINANCE REFERENCE		REQUIRED	EXISTING CONDITIONS	PROPOSED
GC: §122-273	CIRCULATION STANDARDS	CN, C, HC, NC, GC, HHS: Sites <3 acres: circulation plan to ID potential cross and joint access to adjacent parcels Sites >3 acres: block plan		Circulation plan is provided.
		Easements: nonmotorized plan, ReImagine Washtenaw, other		Future ROW line shown. Existing ground sign in the future ROW area. Minimal easement discussions.
§122-834	PARKING Dimensions	• 9'x18' minimum, exceptions if adjacent to wall or overhang provided • May have 20% small car (8'x16', signed) • May have 10% motorcycle (5x8', signed)		9'x18' parking dimensions proposed
§122-835	Access	5' walkway from parking lot to parks, commercial, transit, walkways, institutions; raised/marked crosswalks within parking lot		5' walkway and sidewalk proposed, no marked crosswalks indicated within the parking lot. No sidewalk adjacent to/accessible from barrier-free spaces at north end of building. No ramp at building entrance.
	Ingress & Egress	• Aligned across ROW, or offset by 25' • >50' from intersection • 20'-30' driveway	Washtenaw: existing.	Requirements met for both existing and proposed (Whittier) drive.
	Internal Maneuvering	10' width driveway		22' width drive, meets

Surfacing	paved with a durable bonded material in accordance with accepted engineering standards		See engineer's letter.
Drainage			See engineer's letter.
Striping	spaces shall be outlined with three-inch wide strips of white or yellow paint, except that barrier-free spaces shall be blue, with a symbol of compliance in blue.		Adequate
Wheel Stops	wheel stops or curbing shall be provided for all parking spaces		6" curbing indicated on plans
Lighting	Parking lots utilized during night-time hours shall be artificially illuminated		Lighting fixture location and type shown on plans. Five poles shown; no photometric submitted. Applicant to submit photometric to ensure lighting to east parking spaces is adequate.
Screening & Landscaping (internal)	1 tree per 8 spaces		$33/8=4.125$, 4 trees required, 14 on site, not including the 3 up front counted to meet the street tree requirement, meets
	1 landscape island for each 16 spaces		Meets
	Islands w trees: 9' wide min and 160' sf Islands w 5' min walkway: 11' wide min Islands: curbed or used for stormwater		Corner island just north of structure and east of barrier free spots includes a walkway and ramp; ramp points away from barrier-free spaces. No ramp at building entrance.
	All aisle-ends & corners protected w curbed island		All aisle-ends & corners protected w/curbed island, meets
Screening & Landscaping (perimeter)	Screened in accordance with 703 if abutting R1, MD, CN, CN-Mid, CN-SF		Not required.

		3'-4' screen 80% opacity where visible from ROW		Whittier: west: 4 norfolk spruces ; east: 1 london planetree. Spruces are adequate; Planetree is not. Washtenaw: screening would be located within the visibility triangle; due to the slight grade change and other visibility challenges, staff recommends a waiver.
		Landscaped areas, walls, structures, walks- must be protected by curbing		All areas curbed.
§122-836	Motor spaces	1 for each 300 square feet of usable floor area in waiting rooms, plus 1 for each examining room, dental chair, or similar use area.		24 offices/treatment rooms= 24 spaces and ~1,200 sq ft of waiting area=4 spaces, total=28 spaces, 33 proposed is less than 120% of requirement, meets
	Bicycle spaces	1 per 5 motor spaces, minimum of 2	None	34/5 = 7; 8 provided.
122-837	Parking discounts	Transit	~400' to closest transit stop	~400' to closest transit stop
		Alternative Vehicles	None	n/a
		Bicycle	None	n/a
		PC discretion, special circumstances not listed above		n/a

§122-647	SIDEWALKS	provide a sidewalk or shared-use path	None	A 5' sidewalk 2' from the Washtenaw Ave curb is proposed. More detail shall be submitted for engineering review regarding crossing the curb cut. No sidewalk is proposed on Whittier; applicant proposes fee-in-lieu for other nonmotorized improvements.
§122-649	TRAFFIC VISIBILITY	Maintain shrubs/other obstructions lower than 30" and trees/other obstructions higher than 8': At driveway: within a 10'x10' triangle formed by the street ROW line and the edge of the driveway At intersection: within a 25' x 25' triangle formed by an extension of the property lines, as measured from the pavement edges.		Red Maple proposed at east side of Washtenaw driveway. Plantings shown are not anticipated to cause additional visibility issues.

Items to be Addressed:

1. Barrier-free access within the parking area appears challenging; there is not a clear path from accessible spaces to the entrance. Applicant to revise and resubmit.
2. Applicant to submit photometric to ensure compliance with outdoor lighting standards.
3. Provide off-street parking landscaping screening from Whittier on the east side of the parking lot.
4. Planning Commission waiver requested from off-street parking landscaping screening along Washtenaw frontage for visibility concerns.
5. Applicant to provide additional detail about how the Washtenaw sidewalk will cross the curb cut.
6. Applicant to provide estimate for fee-in-lieu of construction for the Whittier sidewalk.

ENGINEERING & STORMWATER

§122-128(6), §122-128(7)

(6) Adequate services and utilities including sanitary sewers shall be available or provided, with sufficient capacity to properly serve the development. Appropriate measures will be taken to ensure that site drainage will not adversely affect adjoining properties or the capacity of the public storm drainage system, or nearby bodies of water. Provisions shall be made to accommodate stormwater and prevent soil erosion. All stormwater management facilities, including but not limited to storm sewers and detention/retention facilities, shall be designed in accordance with the "Rules of the Washtenaw County Water Resources Commissioner," together with any special provisions established by the city.

(7) Natural resources will be protected to the maximum feasible extent. The proposed development will not cause soil erosion or sedimentation problems, and will respect floodways or floodplains on or in the vicinity of the subject property.

Site plan approval is subject to engineering review.

Items to be Addressed: See attached engineering review.

SCREENING

§122-128(8)

"The site plan shall provide reasonable visual and sound privacy for all dwelling units on or adjacent to the property. Fences, walks, barriers, and landscaping shall be used, as appropriate, for protection and enhancement of the property. All outdoor storage of materials, loading and unloading areas, and refuse containers shall be screened or located so as not to be a nuisance. Outdoor lighting shall be shielded so as to not adversely affect neighboring properties or traffic on adjacent streets."

Figure 7: Screening

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
§122-641 Lighting	• Dark Sky compliant; may be full cutoff where affecting residential uses • not >0.5 fc @ lot line • not >16'in height • not < 0.3 fc		Photometric requested for administrative review. Anticipate applicant will add lights at main entrance and at secondary/emergency doors.
§122-650 Refuse Containers	masonry enclosure 1' taller than dumpster (no less than 6'), in rear yard, 80% opaque swing door, on a concrete pad	Not shown	Submitted; see engineering letter.
§122-703 Screening Between Land Uses <i>if conflicting use</i>	visual buffer of at least 80% opacity and 6' height		n/a
§122-704 Street Trees	1 tree per 30' of lineal frontage, centered between sidewalk and back of curb	120'/30'=4 trees required	Washtenaw: 3 trees placed within front yard. Whittier: 4 trees placed on the Whittier side; potential conflict with gas line in ROW and overhead lines. Waiver requested.
§122-708 Site Landscaping	10%	10%*31,680=3,168	~4,000 sq ft, meets
122-711 Landscape Elements	Quality, composition, berms, spacing, species		
	Credit for existing vegetation		No vegetation is marked as to be retained.

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
§122-712 Maintenance	Readily available and acceptable water supply; may install underground sprinkler system		Irrigation system to be installed.
§122-713 Fencing, hedges, walls, berms	GC; shall not exceed ten (10) feet in height, and must be constructed in the side or rear yard.		"landscape walls" shown; no detail provided. Provide further detail.

Items to be Addressed:

1. Applicant to submit photometric to ensure compliance with outdoor lighting standards.
2. Waiver from street tree standards sought for the north (Whittier), due to utilities in the ROW.
3. Applicant to provide details on the landscape wall as indicated in plans for staff review.

PHASING

§122-128(9)

"Separate phases of development shall be in logical sequence, and each phase shall stand alone so that no one phase will depend upon a subsequent phase for adequate access, public utility services, drainage, or other improvements."

Phasing is indicated on the plans. Phase I is construction of the addition and parking and phase II is the renovations to the existing building. Phasing is only indicated on the architect plans, it is assumed that there all other work (i.e. landscaping, parking) will be handled in phase I.

OTHER DEPARTMENT AND AGENCY APPROVALS

§122-128(10)

"Site plans shall conform to all applicable requirements of state and federal statutes, including health and pollution laws, fire or explosion hazards, toxic and hazardous materials, and barrier-free requirements. Site plan approval may be conditioned on the applicant receiving necessary county, state, or federal permits before a local building permit or occupancy permit is granted."

DEPARTMENT OF PUBLIC SERVICES

The applicant is responsible for obtaining permits from the Department of Public Services before beginning work on any portion of the City right-of-way, including sidewalks, curbs, and driveways on Whittier.

FIRE DEPARTMENT

As applicant is requesting a new curb cut and changes to parking area circulation, Fire Department review is required. Fire Department has no objection to the proposed changes.

MICHIGAN DEPARTMENT OF TRANSPORTATION

The applicant is responsible for obtaining permits from the Michigan Department of Transportation before beginning work on any portion of the State right-of-way, including sidewalks, curbs, and driveways on Washtenaw.

MASTER PLAN CONSIDERATIONS

§122-128(11)

"An objective of site plan review shall be to protect and promote public health, safety, sustainability and general welfare. It is also the intent of site plan review to improve the quality of existing developments as they are expanded, contracted, or redeveloped in keeping with sound site development standards of this chapter and city master plan."

Safety Comes First. Adding proper sidewalks that are barrier-free in this area will add to the safety of pedestrians in this area of Washtenaw Ave.

Easily walk, bike, drive or take transit from anywhere. Adding of the sidewalks in this area is a step in making Washtenaw Ave more pedestrian friendly.

Great place to do business, especially green and creative. This expansion helps with the growth of a local dental office.

STAFF RECOMMENDATIONS: SITE PLAN

Staff recommends the Planning Commission *approve* the Site Plan for the Washtenaw Dental Associates Office Expansion at 2100 Washtenaw with the following finding, waivers and conditions:

Finding

1. The application substantially complies with §122-127.

Waivers

1. Planning Commission waiver requested from off-street parking landscaping screening along Washtenaw frontage for visibility concerns.
2. Waiver from street tree standards sought for the north (Whittier), due to utilities in the ROW.

Conditions

1. Applicant to provide a master sign plan for all existing and proposed signage with sign permit applications.
2. Barrier-free access within the parking area appears challenging; there is not a clear path from accessible spaces to the entrance. Applicant to revise and resubmit.
3. Applicant to submit photometric to ensure compliance with outdoor lighting standards.
4. Provide off-street parking landscaping screening from Whittier on the east side of the parking lot.
5. Applicant to provide additional detail about how the Washtenaw sidewalk will cross the curb cut.
6. Applicant to provide estimate for fee-in-lieu of construction for the Whittier sidewalk.
7. Applicant to provide details on the landscape wall as indicated in plans for staff review.
8. Engineering conditions as noted in the engineer's letter.
9. Applicant to consider granting an easement to the City for non-motorized transportation purposes over the future right-of-way area. Such an easement could allow for the existing ground sign to remain in place and be refaced as needed.

Bonnie Wessler
City Planner, Community & Economic Development Department

CC File
 Applicant
 Site designer

ARCHITECTS. ENGINEERS. PLANNERS.



January 13, 2017

City of Ypsilanti
Planning and Development Department
One South Huron Street
Ypsilanti, Michigan 48197

Attention: Ms. Bonnie Wessler

Regarding: 2100 Washtenaw
Site Plan Review No. 1
OHM Job No. 0094-16-1070

Dear Ms. Wessler:

The applicant is requesting site plan approval for building and parking lot expansion at 2100 Washtenaw Avenue. We have reviewed the plans dated December 16, 2016 for compliance with local ordinances and general engineering standards and do not recommend site plan approval at this time. The following items shall be addressed:

1. It appears the applicant is proposing in-line storage for storm water. Additional information on the system sizing and outlet restriction will be required during engineering plan review. A proposed stormwater treatment unit capable of treating the first flush volume is required and shall be shown on the plans.
2. Sidewalk is required along the frontage on Whittier.
3. The proposed drive approach on Whittier shall be concrete and shall meet the dimensional requirements of the engineering standards.
4. All work within the Washtenaw Avenue right-of-way will require plan review and permit from the Michigan Department of Transportation.
5. That applicant shall confirm with YCUA that the existing water and sanitary sewer connections are of appropriate material and size to accommodate the proposed expansion.
6. The applicant shall be aware that all outside agency permits as well as engineering plan review and approval are required prior to start of construction.

If you have any questions, please contact me at (734) 522-6711.

Sincerely,
OHM Advisors
Marcus McNamara

CC: Stan Kirton, Department of Public Services
Scott Westover, YCUA
Dean Wakeland, Giffels Webster, 6303 26 Mile Road, Ste 100, Washington Twp, MI 48094
File

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LIVONIA, MICHIGAN 48150

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ANN ARBOR, MI 48108

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INNOVATIVE CONSTRUCTION SYSTEMS
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MR. ANDY WAKELAND, PE
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(248) 852-3100

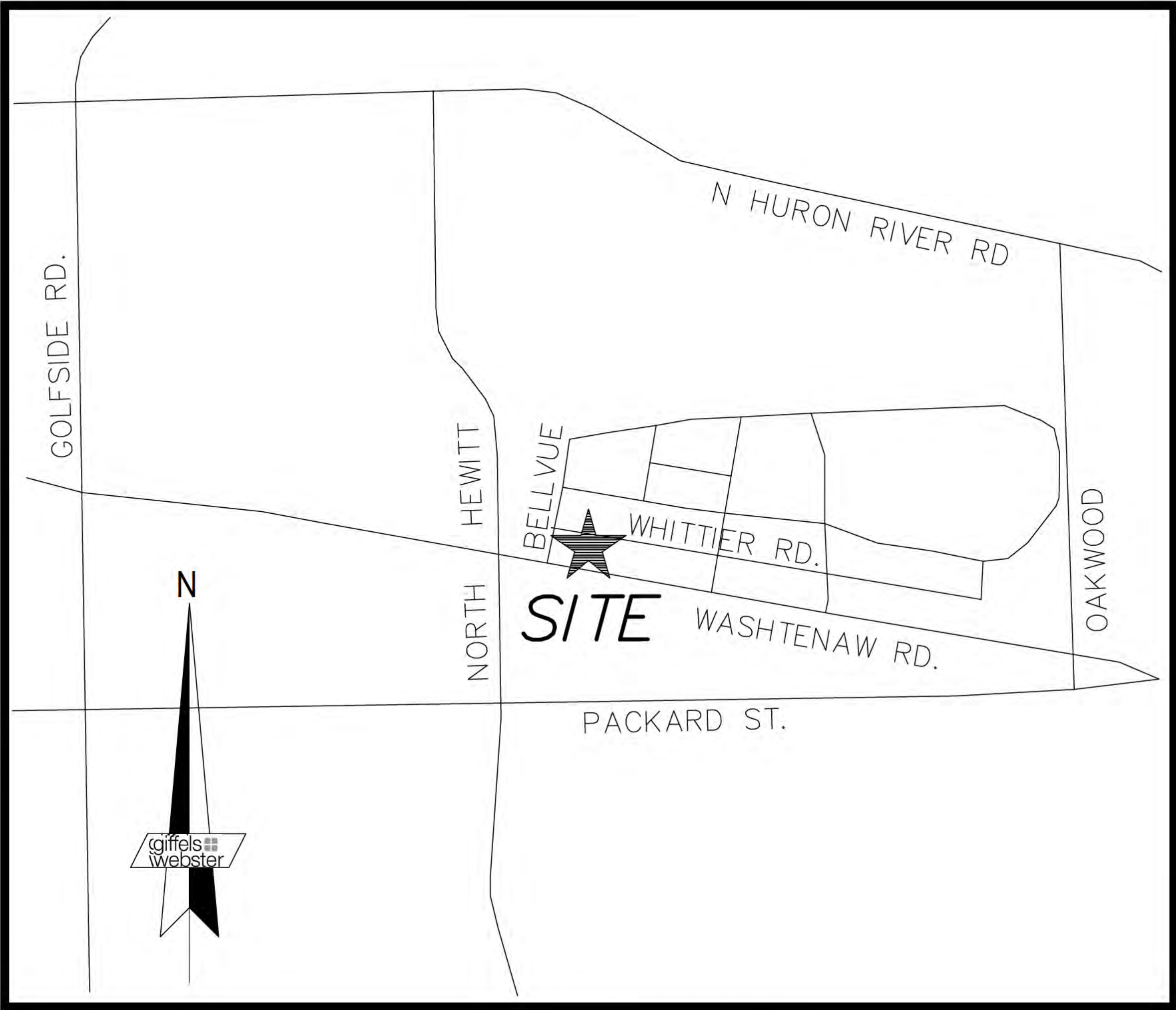
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MR. JOHN REDASH, PS
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LANDSCAPE ARCHITECT
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MR. MARK HANSEN, RLA
1025 E. MAPLE, SUITE 100
BIRMINGHAM, MI 48009
(248) 852-3100

2100 WASHTENAW AVE

CITY OF YPSILANTI, WASHTENAW COUNTY, MICHIGAN

SITE PLAN



LOCATION MAP

(NOT TO SCALE)

PROJECT DESCRIPTION

WASHTENAW DENTAL IS AN EXISTING DENTAL OFFICE THAT IS PROPOSING TO EXPAND THERE BUSINESS AT THERE CURRENT LOCATION OF 2100 WASHTENAW ROAD. AS PART OF THIS EXPANSION THEY ARE PROPOSING TO ADD AN ADDITION TO THE BUILDING AS WELL AS THE ASSOCIATED PARKING FOR THE ADDITIONAL CAPACITY WITHIN THE BUILDING. ALONG WITH THE SURFACE IMPROVEMENTS THE APPLICANT IS PROPOSING TO INSTALL AN UNDERGROUND DETENTION SYSTEM TO DETAIN FOR THE ADDITIONAL STORM WATER RUNOFF.

APPROVALS AND PERMITS

NAME	SUBMITTAL DATE	REVISION DATE(S)	APPROVAL DATE	PERMIT NO.
SITE PLAN APPROVAL	12.16.2016	01.12.2017	-	-
CITY ENGINEERING APPROVAL	-	-	-	-
SESC PERMIT	-	-	-	-
ROW PERMIT	-	-	-	-

SHEET INDEX

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SP 02 TOPOGRAPHIC SURVEY
SP 03 SITE PLAN
SP 04 GRADING & UTILITY PLAN
SP 05 CIRCULATION PLAN

LA 01 LANDSCAPE PLAN

SHEETS BY OTHERS

A 101 FLOOR PLAN
A 301 BUILDING ELEVATIONS

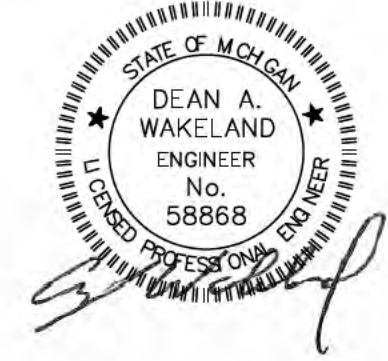
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Manager:	AW
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Quality Control:	MP
Section:	6
	T-3-S R-7-E

Professional Seal:



DATE:	ISSUE:
12.12.2016	OWNER REVIEW
12.16.2016	SITE PLAN SUBMITTAL
01.12.2017	SITE PLAN RESUBMITTAL

Developed For:
INNOVATIVE CONSTRUCTION
SYSTEMS, LLC
32384 EDWARD
MADISON HEIGHTS, MI 48071

248.616.9505 P
248.616.9097 F

COVER

2100 WASHTENAW

CITY OF YPSILANTI
WASHTENAW COUNTY
MICHIGAN

Date:	10.31.2016
Scale:	N/A
Sheet:	SP 01
Project:	19136.00

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_____	E/ PAVEMENT
_____	CURB
_____	E/ GRAVEL
_____	CL ROAD
_____	E/ WALK
_____	RAILROAD
-----	E/ BRICK
-----	MISC. LINE
_____	FENCE
_____	GUARD RAIL
_____	WALL
_____	BLDG. LINE
_____	OVERHEAD WIRES
_____	RAILING
-----	OVERHANG LINE
-----	T/ BANK
-----	B/ BANK
-----	CL DITCH/STREAM
-----	SHRUB LINE
-----	TREE LINE
-----	WATER EDGE
-----	WETLAND LINE
-----	STM
-----	STORM LINE
-----	SAN. LINE
-----	WATER LINE
-----	GAS LINE
-----	UOE
-----	UG ELEC. LINE
-----	UGT
-----	UG TELE. LINE
-----	UG CABLE TV LINE
-----	PAINT STRIPE
-----	COMBINED SEWER
-----	PLD LINE
-----	STEAM LINE
-----	SECTION LINE
-----	ELECTRIC OVERHEAD
-----	TELEPHONE OVERHEAD

	SAN. MH	①	STEAM MH	000.00+ 000.00	EXISTING ELEVATION
OC.O.	SAN. CLEAN OUT	②	PUBLIC LIGHTING MH		SOIL BORING
	SAN. RISER	③	GAS METER	⊗	MONITORING WELL
P.S.	SAN. PUMP STATION	④	GAS RISER	+	LAWN IRRIG. HEAD
	COMB. MH	GAS	GAS VALVE	★	CENTERLINE R.R. TRACK
⊗	GATE VALVE	⑤	GAS MH	★	MISC. TOPO. SHOT
⊗	HYDRANT	⑥	TELE. RISER	△	SURVEY CONTROL POINT
⊗	WATER VALVE	⑦	TELE. MH	●	FOUND IRON
W	WATER METER	⑧	TELE. CROSS BOX	⊗	F. CUT CROSS
⊗	POST INDICATOR VALVE	⑨	CABLE RISER	⊗	SECTION COR.
⊗	WELL HEAD	⑩	PAY PHONE	⊗	FENCE POST
⊗	FDC CONNECTION	⑪	MANHOLE	⊗	BENCHMARK
W	IRRIGATION CONTROL BOX	⑫	SGN	⊗	FOUND PIPE
⊗	STORM MH	⑬	PROT. POST/GUARD POST	●	FOUND MON.
⊗	CATCH BASIN	⑭	GUY	CONC.	CONCRETE
⊗	BEEHIVE CB	⑮	DECIDUOUS TREE	A.C.	AIR CONDITIONER
>	CULVERT E.S.	⑯	CONIFEROUS TREE	G.P.	GUARD POST
⊗	ROOF/DOWN SPOUT	⑰	DEAD TREE	C.L.F.	CHAIN-LINK FENCE
⊗	OVERFLOW/OUTLET STRUCTURE	⑱	UTILITY FLAG	D.L.	DOOR LEDGE
OC.O.	STORM CLEAN OUT	⑲	BLDG. CORNER (FIELD LOCATED)	C.B.	FINISHED FLOOR
⊗	ROUND CB	Ⓚ	HANDICAP PARKING	O.H.	OVERHANG
⊗	LIGHT POLE	★	WETLAND FLAG	F.I.	FOUND IRON
⊗	GROUND LIGHT	Ⓛ	BUSH/SHRUB	S.I.	SET IRON
⊗	UTILITY POLE	Ⓜ	PARKING MH	F.I.P.	FOUND IRON PIPE
E	ELEC. TRANS.	Ⓨ	RESIDENTIAL MAILBOX	M.	MEASURED
AC	AIR CONDITIONER	Ⓩ	U.S. MAILBOX	R.	RECORD
E	ELEC. MH	Ⓛ		F.M.	FOUND MONUMENT
E	ELEC. METER	Ⓜ		S.N.	SET NAIL
E	ELEC. RISER	Ⓨ		CMP	CORROGATED METAL PIPE
Ⓛ	TRAFFIC CONTROL BOX	Ⓩ		RCP	REINFORCED CONCRETE PIPE

STRUCTURE	TYPE	SIZE OF P PE	RIM	DROP	INVERT	DIRECTION	COMMENTS
116	CATCH BASIN		811.56				
117	GATE VALVE		811.77				
118	CATCH BASIN		811.66				
122	STORM MANHOLE	12"	811.51	-5.35	806.16	EAST	
		12"	811.51	-5.00	806.51	SOUTH	
		8"	811.51	-5.05	806.46	WEST	
			811.51			NORTH	NO P PE VISIBLE
141	CATCH BASIN	10"	811.26	-4.45	806.81	SOUTH	
232	TELEPHONE MAN HOLE		811.66				
233	TELEPHONE MAN HOLE		811.64				
338	ROUND CATCH BASIN		811.07				
339	ROUND CATCH BASIN	12" RCP	811.08	-5.02	805.16	NORTH	
		4" PVC	811.08	-4.98	806.10	SOUTH	
517	STORM MANHOLE	12" RCP	809.48	-5.56	803.92	WEST	
		12" RCP	809.48	-5.80	803.68	NORTHWEST	
		12" RCP	809.48	-5.55	803.93	SOUTH	
		12" RCP	806.54	-5.45	801.09	SOUTH	
533	CATCH BASIN	12" RCP	806.45	-3.28	803.17	SOUTHEAST	
541	CATCH BASIN	3" PVC	806.45	-4.45	802.00	SOUTHWEST	
		12" RCP	806.45	-4.90	801.55	NORTH	
		12" RCP	806.74	-5.55	801.19	SOUTH	
542	STORM MANHOLE	12"	806.74	-5.60	801.14	NORTH	
		18" RCP	806.74	-6.30	800.44	WEST	
		18" RCP	806.74	-6.33	800.41	EAST	FLOWS EAST
549	SANITARY MANHOLE		806.50	-9.00	797.50	EAST/WEST	CENTERLINE CHANNEL
580	SANITARY MANHOLE		809.51	-9.45	800.06	EAST/WEST	CENTERLINE CHANNEL FLOWS EAST
581	STORM MANHOLE	18" RCP	809.30	-5.85	803.45	EAST	
601	STORM MANHOLE		799.95	-13.35	786.60	EAST/WEST	CENTERLINE
		10" CLAY	799.95	-7.95	792.00	WEST	
			799.95				UNKNOWN DROP, CONNECTION WEST
602	STORM MANHOLE		798.96	-6.95	792.01	EAST/WEST	CENTERLINE CHANNEL

DATUM: CITY OF DETROIT

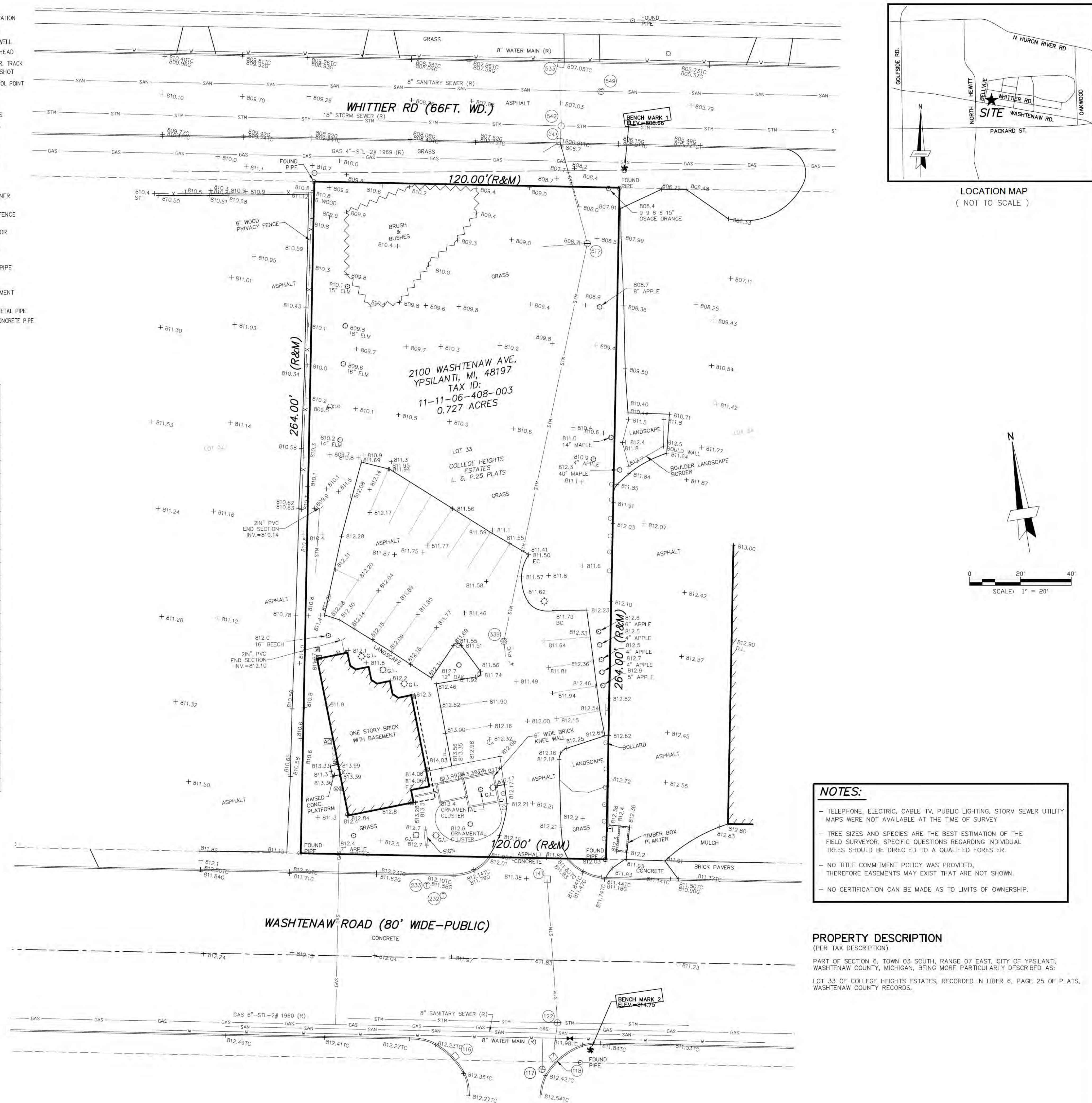
SITE BENCH MARK NO. 1
FOUND AXLE SHAFT NORTH SIDE OF U-POLE AT THE
NORTHEAST CORNER OF SITE ON THE SOUTH SIDE OF
WHITTIER AND APPROX 400 FT EAST OF BELLEVEUE
STREET EL = 808.66'

SITE BENCH MARK NO. 2
TOP OF NUT ON HYDRANT SOUTHEAST CORNER OF
WASHTENAW AND ROSDALE ROAD EL = 814.75

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

(R) = UTILITY SHOWN FROM RECORDS OR PLANS, & FIELD
LOCATED WHERE POSSIBLE.

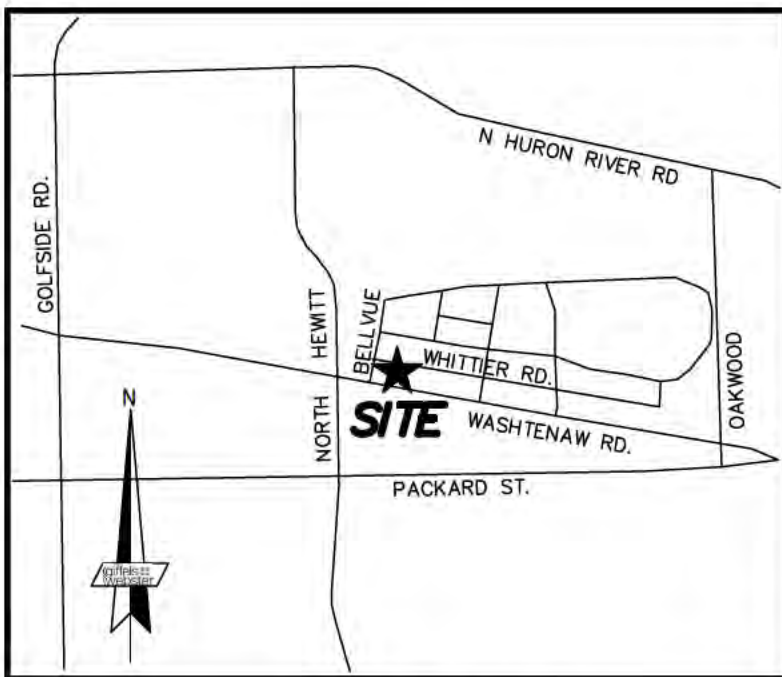
PRIOR TO THE PLANNED BUILDING IMPROVEMENTS, AND/ OR CONSTRUCTION, THE RESPECTIVE UTILITY COMPANIES MUST BE NOTIFIED TO STAKE THE PRECISE LOCATION OF THEIR UTILITIES.



- TELEPHONE, ELECTRIC, CABLE TV, PUBLIC LIGHTING, STORM SEWER UTILITY MAPS WERE NOT AVAILABLE AT THE TIME OF SURVEY
- TREE SIZES AND SPECIES ARE THE BEST ESTIMATION OF THE FIELD SURVEYOR. SPECIFIC QUESTIONS REGARDING INDIVIDUAL TREES SHOULD BE DIRECTED TO A QUALIFIED FORESTER.
- NO TITLE COMMITMENT POLICY WAS PROVIDED, THEREFORE EASEMENTS MAY EXIST THAT ARE NOT SHOWN.
- NO CERTIFICATION CAN BE MADE AS TO LIMITS OF OWNERSHIP.

PART OF SECTION 6, TOWN 03 SOUTH, RANGE 07 EAST, CITY OF YPSILANTI,
WASHTENAW COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS:

LOT 33 OF COLLEGE HEIGHTS ESTATES, RECORDED IN LIBER 6, PAGE 25 OF PLATS
WASHTENAW COUNTY RECORDS.



LOCATION MAP
(NOT TO SCALE)

NOTE

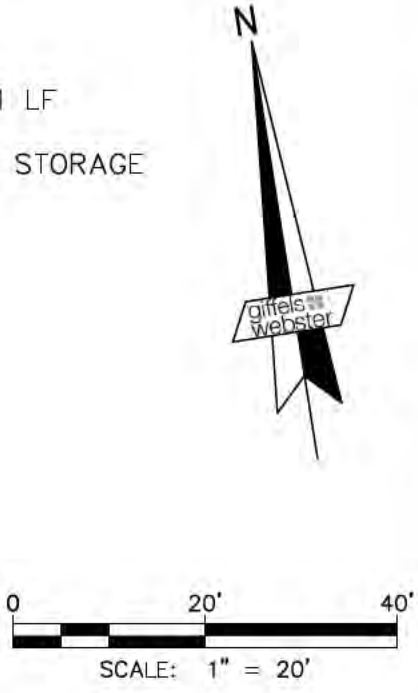
SEE ARCHITECTS PLANS FOR EXACT BUILDING DIMENSIONS AND ELEVATIONS.
BUILDING ADDITION TO BE SERVICED BY EXISTING UTILITY LEADS.

LEGEND

- PROPOSED STANDARD DUTY ASPHALT
- PROPOSED 4" CONCRETE
- PROPOSED 8" CONCRETE
- 6" CONCRETE CURB & GUTTER
- PROPOSED RIM ELEVATION
- ADJUST EXISTING RIM ELEVATION
- PROPOSED TOP OF WALL
- PROPOSED BOTTOM OF WALL
- PROPOSED GUTTER ELEVATION
- PROPOSED TOP OF ASPHALT ELEVATION
- PROPOSED FINISHED GRADE
- PROPOSED DROPPED FINISHED GRADE ELEVATION
- PROPOSED DOOR LEDGE ELEVATION
- PROPOSED TOP OF WALK ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- EXISTING RIM ELEVATION
- EXISTING GUTTER ELEVATION
- EXISTING TOP OF CURB ELEVATION
- RIDGELINE
- PROPOSED CONTOUR
- PROPOSED SWALE
- SAN. CLEAN OUT
- SAN. MAN-HOLE
- CATCH BASIN
- STORM MAN-HOLE
- HYDRANT
- PARKING SPACE COUNT
- PROPOSED STORM SEWER
- PROPOSED SANITARY LEAD
- PROPOSED WATER MAIN
- PROPOSED LANDSCAPE WALL

DETENTION CALCULATIONS

60" CMP = 18 CF OF STORAGE PER 1 LF
226 LF OF 60" CMP = 4,068 CF OF STORAGE



Executive:	MP
Manager:	AW
Designer:	AW
Quality Control:	MP
Section:	6
	T-3-S R-7-E

Professional Seal:



DATE:	ISSUE:
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GRADING &
UTILITY PLAN

2100 WASHTENAW

CITY OF YPSILANTI
WASHTENAW COUNTY
MICHIGAN

Date:	10.31.2016
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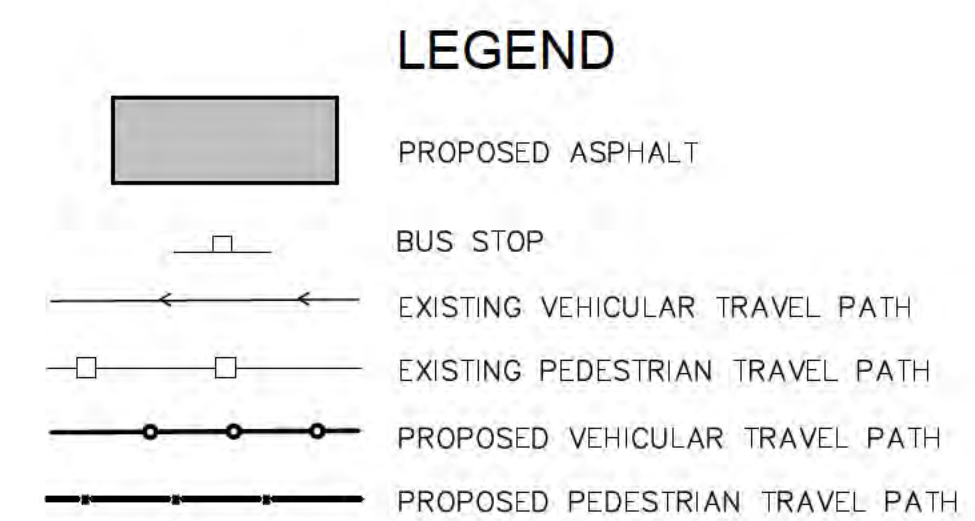
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2100 WASHTENAW

CITY OF YPSILANTI
WASHTENAW COUNTY
MICHIGAN

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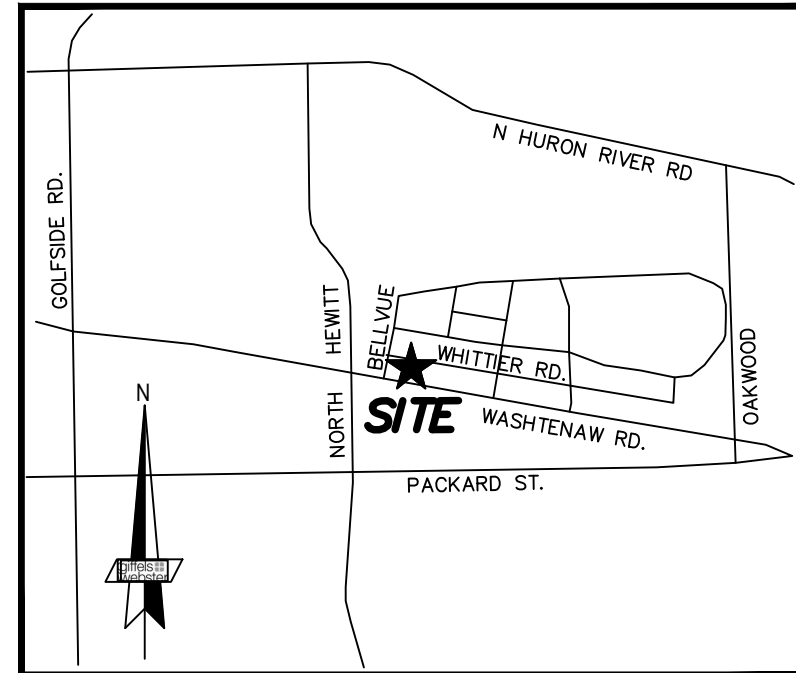
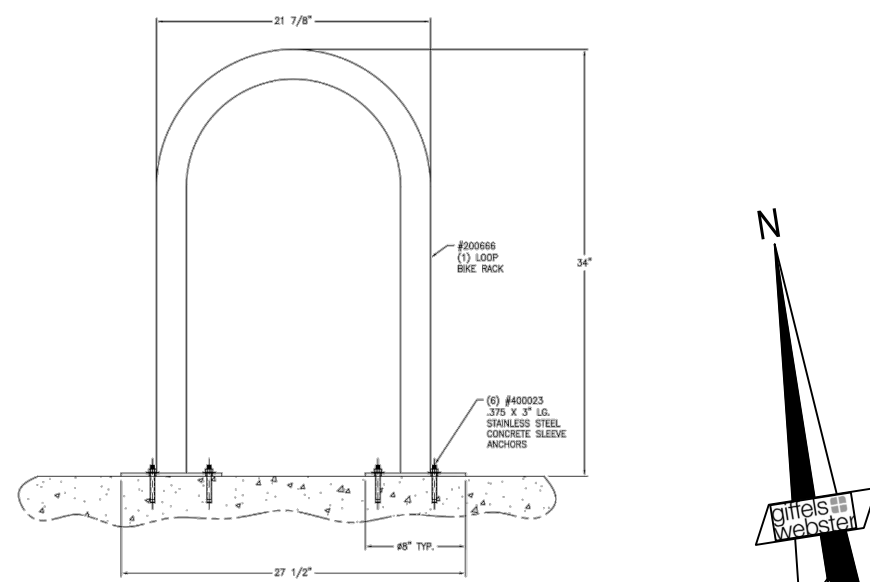
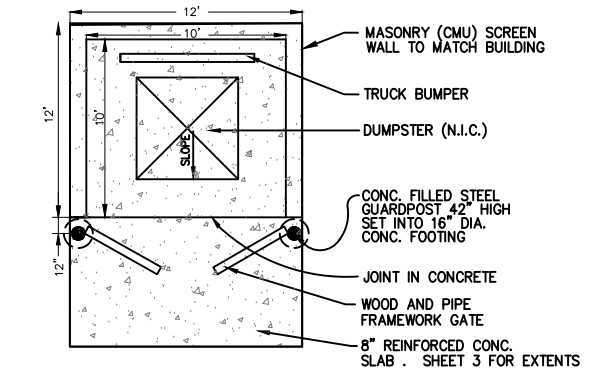
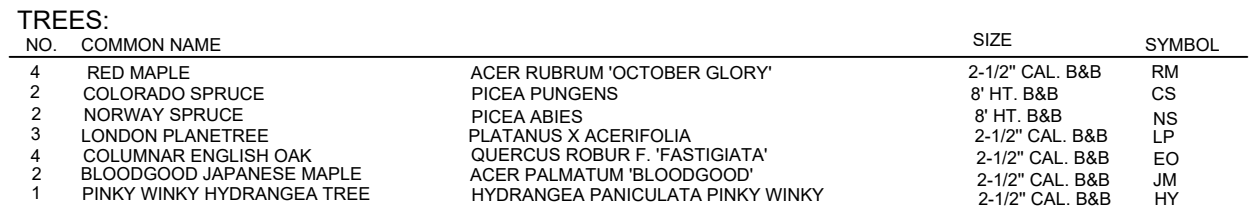
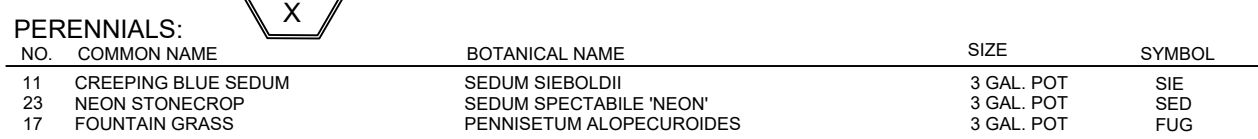
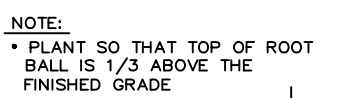
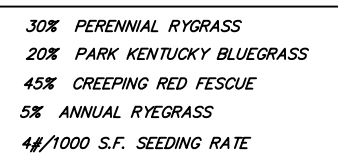
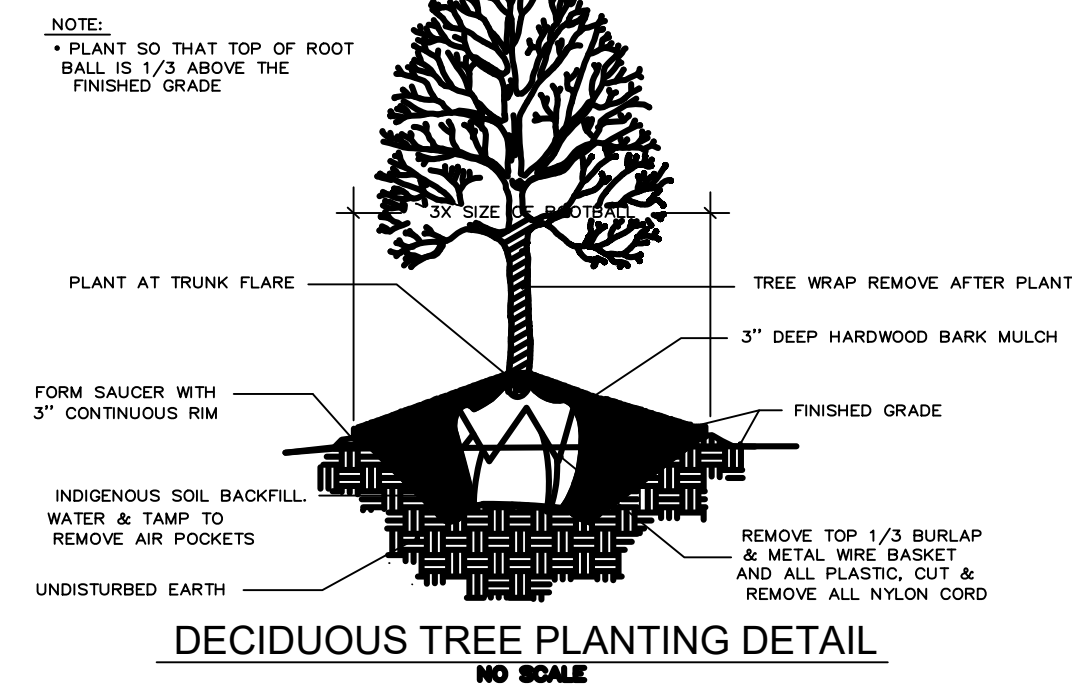
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1. PLANT MATERIALS SHALL BE SOUND, HEALTHY, VIGOROUS, FREE FROM PLANT DISEASES AND INSECTS OR THEIR EGGS, AND SHALL HAVE NORMAL, HEALTHY ROOT SYSTEMS. CALIPER MEASUREMENTS SHALL BE TAKEN 4" ABOVE THE GROUND LEVEL. ALL OTHER MEASUREMENTS SHALL BE TAKEN IN ACCORDANCE WITH THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z-601 - A302004).
2. PLANTING BED SOIL SHALL BE SCREENED TOPSOIL, TO DETER WEED GROWTH DURING THE ESTABLISHMENT OF ANNUAL & PERENNIAL BED, APPLY A PRE-EMERGENT ("PREEN" OR EQUIVALENT) AFTER PLANTING ANNUALS, 2-3 TIMES PER GROWING SEASON, AT A RATE AS PER RECOMMENDATION OF PRODUCT MANUFACTURER.
3. PLANTING POCKETS SHALL BE NO DEEPER THAN THE HEIGHT OF THE ROOT BALL, SAUCER SHALL BE MADE ON THE EDGES OF PLANTING POCKET.
4. ALL TREE WRAP SHALL BE REMOVED UPON PLANTING.
5. MULCH SHALL BE SHREDED HARDWOOD BARK, FREE FROM DELETERIOUS MATERIALS SUITABLE AS TO TOP DRESSING OF PLANTING BEDS AND INDIVIDUAL TREE PLANTINGS.
6. TREES SHALL BE MULCHED WITH MIN. 3" DEEP HARDWOOD BARK MULCH AROUND MATERIALS.
7. GRASS SEED SHALL BE CERTIFIED TURF GRASS SEED COMPLYING WITH A.S.P.A. SPECIFICATIONS, AND FREE OF WEED SEEDS AND NON-DESIRABLE NATURAL GRASSES. SEEDING SHALL BE DONE TO CUT ALL LAWN AREAS SHALL BE FERTILIZED AND WATERED AS REQUIRED DURING THE FIRST GROWING SEASON.
8. PLANTS SHALL BE GUARANTEED FOR TWO COMPLETE GROWING SEASON (24 MONTHS). PLANTS SHALL BE REPLACED AS NEEDED PRIOR TO THE END OF THE GUARANTEE PERIOD, IN ACCORDANCE WITH THE LOCAL ORDINANCE REQUIREMENTS.
9. CONTRACTOR SHALL PROVIDE IN WRITING A LIST OF RECOMMENDED MAINTENANCE PROCEDURES FOR THE FIRST TWO GROWING SEASON.
10. REMOVE TOP 1/3 OF BURLAP ON ROOT BALL OR ALL IF WRAPPED IN PLASTIC COVERING AND/OR ALL NYLON CORD.
11. PLANT MATERIALS SHALL BE USED IN COMPLIANCE WITH THE PROVISIONS OF THE LOCAL ORDINANCE AND SHALL BE NURSERY GROWN, FREE OF PESTS AND DISEASES, HARDY IN THIS COUNTY, IN CONFORMANCE WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN, AND SHALL HAVE PASSED INSPECTION AND BE QUALIFIED TO BE PLANTED IN THE COUNTY. ALL MATERIALS SHALL CONFORM TO THE STANDARDS OF COUNTY COOPERATIVE EXTENSION SERVICE.

1. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF LOCAL ORDINANCES.
2. ALL AREAS NOT BUILT, LANDSCAPED, OR PAVED UPON SHALL BE SEEDED OR SOODED. TERRA SEED SYSTEM OR APPROVED EQUAL IS ENCOURAGED.
3. ALL LAWN AREAS SHALL BE IRRIGATED WITH AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM. IRRIGATION HEADS SHALL BE FLAECED SUCH THAT WATER WILL NOT HIT ANY HARD STRUCTURES OR SURFACES.
4. TWO YEAR GUARANTEE PERIOD BEGINS AT FINAL INSPECTION OF LANDSCAPE MATERIAL BY THE CITIES REPRESENTATIVE. A LANDSCAPE ARCHITECT SHALL BE HIRDED AND PRIOR TO THE AUTHORIZATION OF THE OCCUPANCY PERMIT. THIS IS THE FIRST OF TWO REQUIRED CITY INSPECTIONS OF THE LANDSCAPE PLAN INSTALLATION.
5. BUILDING DEPARTMENT WILL NOT RELEASE CONSTRUCTION BONDS UNTIL CITY APPROVED LANDSCAPE ARCHITECT OR NURSERYMAN HAS INSPECTED THE SITE AND APPROVED THE INSTALLATION OF LANDSCAPE PLANTS. FINAL BOND NOT TO BE RELEASED UNTIL THE TWO YEAR GUARANTEE EXPIRES AND FINAL INSPECTION IS MADE.
6. OWNER IS THEN RESPONSIBLE FOR CARE AND MAINTNANCE OF ALL PLANTS UPON RETURN OF BONDS. ALL PLANT MATERIAL IS TO BE MAINTAINED FOR THE ENTIRETY OF THE PLANT. NO REMOVAL OF ANY PLANT MATERIAL IS PERMITTED WITHOUT REPLACEMENT.

IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO PROGRAM AND PERIODICALLY ADJUST THE IRRIGATION SYSTEM (PROVIDED BY OTHERS) AS REQUIRED TO INSURE DELIVERY OF PROPER AND ADEQUATE WATER SUPPLY TO ALL PLANT MATERIAL, AND SEEDED LAWN AREAS (SERVICED BY THE IRRIGATION SYSTEM) TO INSURE THE ESTABLISHMENT OF HEALTHY PLANT MATERIALS AND LAWNS FOR THEIR FIRST YEAR OF GROWTH. FOLLOWING THE LANDSCAPE CONTRACTOR'S "TWO-YEAR IRRIGATION REQUIREMENT PERIOD", THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH A SUGGESTED "IRRIGATION MAINTENANCE SCHEDULE" FOR THEIR USE.



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webster

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Know what's **below**.
Call before you dig.

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MADISON HEIGHTS, MI 48071

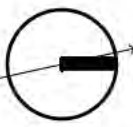
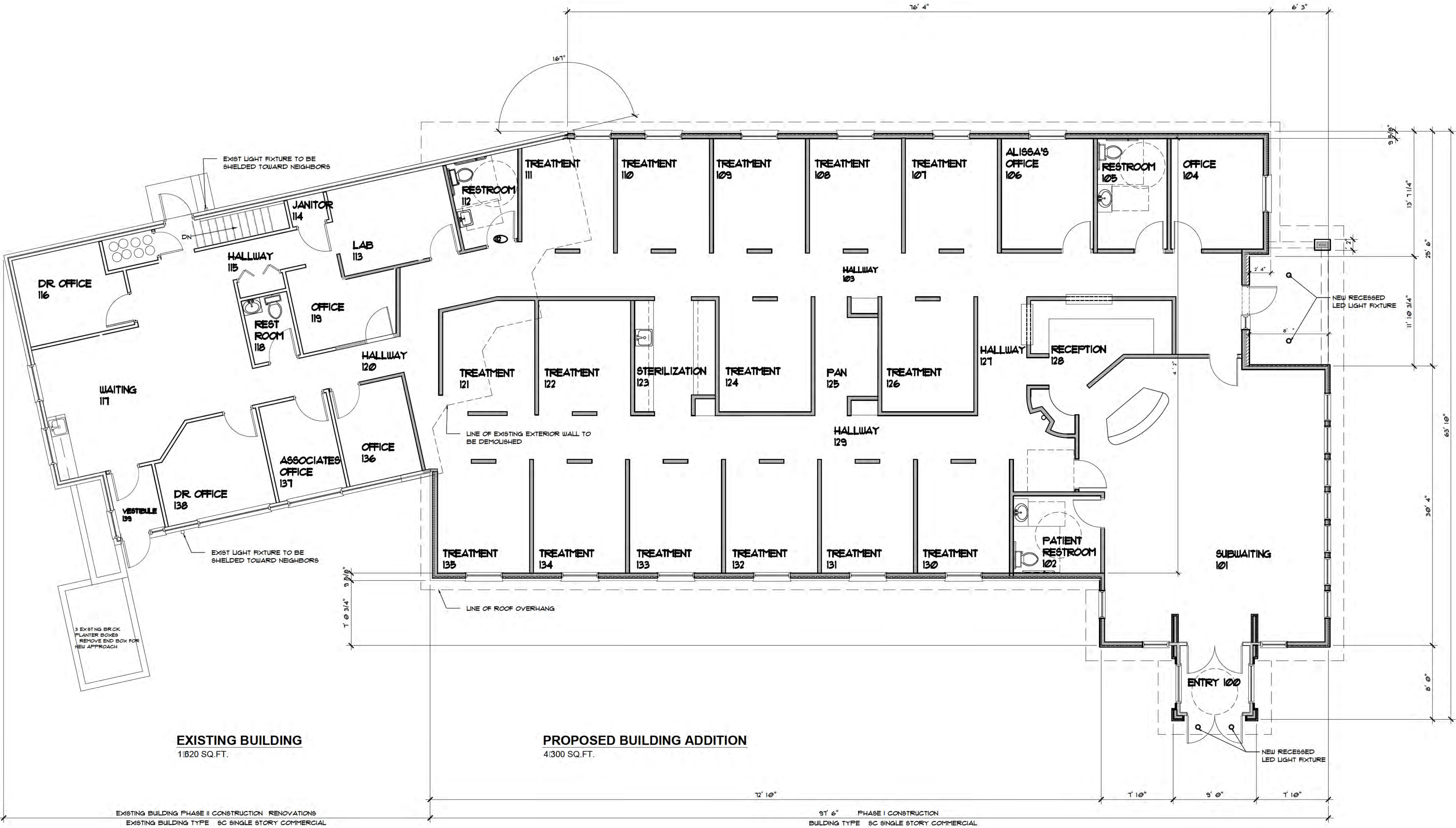
248.616.9505 F
248.616.9097 F

2100 WASHTENAW

CITY OF YPSILANTI
WASHTENAW COUNTY
MICHIGAN

Date:	10.31.2016
Scale:	1" = 20'
Sheet:	LA 01
Project:	19136.00

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FIRST FLOOR PLAN
SCALE: 3/16"=1'-0"

TOTAL BUILDING AREA 5,920 SQ. FT.

ICI - WASHTENAW DENTAL ASSOC.
2100 W...
32384 Ed...
MI 48071

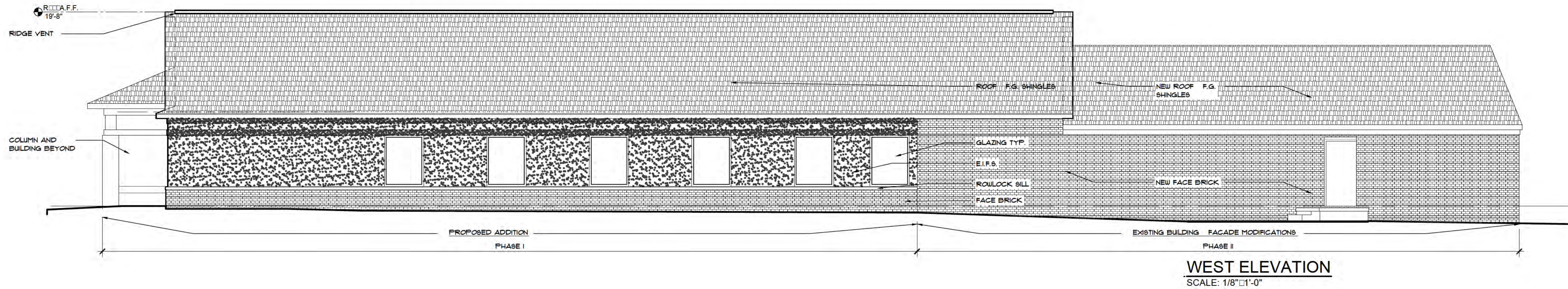
REVISION SCHEDULE	
DATE	DESCRIPTION
11/16/16	REVIEW CONCEPTS
11/23/16	REVIEW CONCEPTS
12/15/16	CITY PLANNING REVIEW

DRAWN BY: RDC
CHECKED BY: BSG

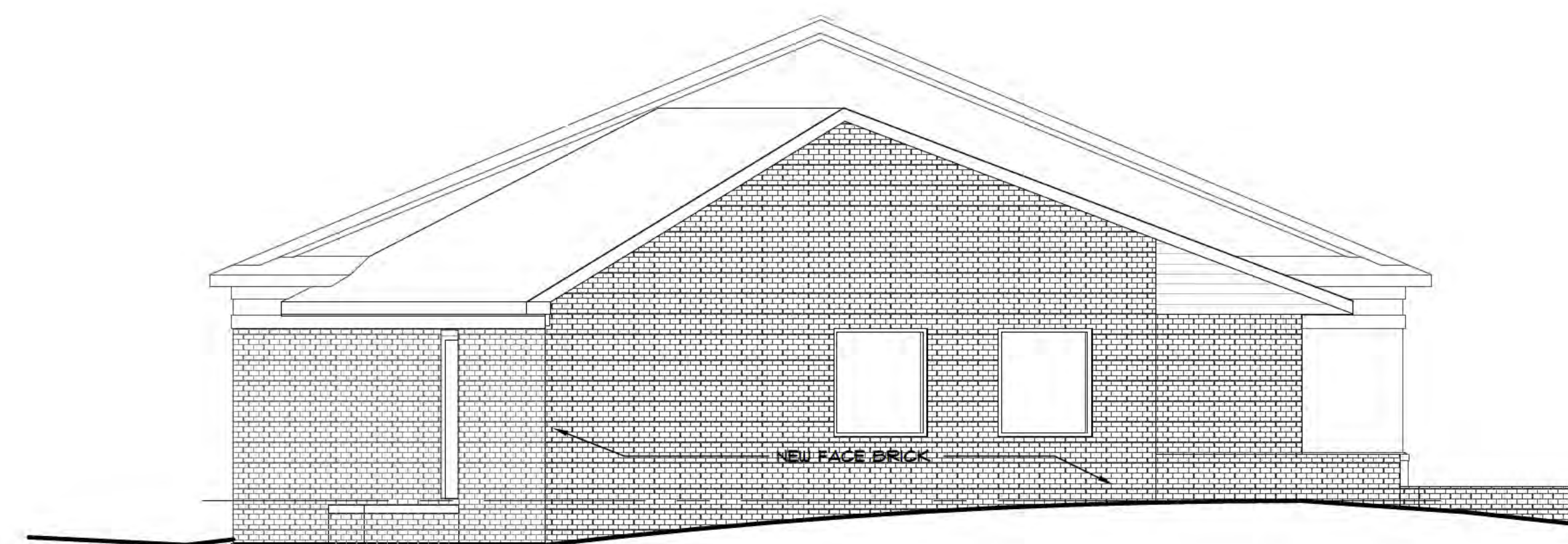
FLOOR PLAN

16-741

A 101



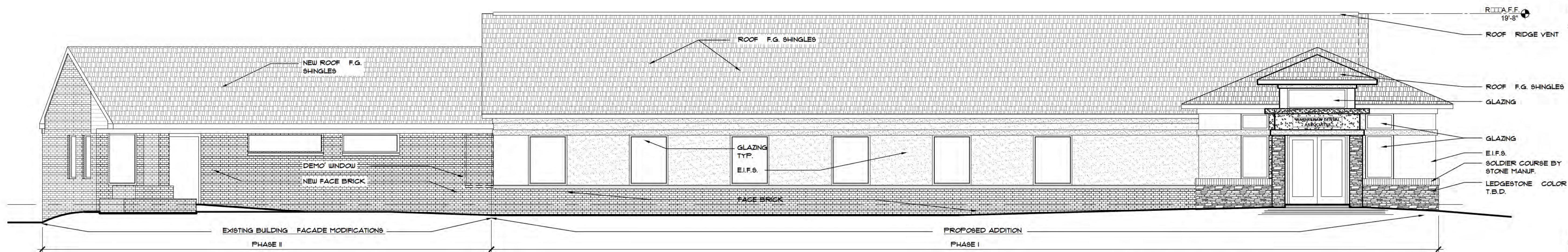
WEST ELEVATION
SCALE: 1/8"=1'-0"



SOUTH ELEVATION
SCALE: 3/16"=1'-0"



NORTH ELEVATION
SCALE: 3/16"=1'-0"



EAST ELEVATION
SCALE: 3/16"=1'-0"

ICI - WASHTENAW DENTAL ASSOC.
2100 W. WASHTENAW AVE. MI 48071

REVISION SCHEDULE	
DATE	DESCRIPTION
11/16/16	REVIEW CONCEPTS
11/23/16	REVIEW CONCEPTS
12/15/16	CITY PLANNING REVIEW

DRAWN BY: RDC
CHECKED BY: BSG

BUILDING ELEVATIONS

16-741

A 301



**2016 Annual Report
Planning Commission
Ypsilanti, Michigan**

INTRODUCTION

The Planning Commission of the City of Ypsilanti is governed by the Michigan Planning Enabling Act, State of Michigan Public Act 33 of 2008, and by the City of Ypsilanti's Zoning Ordinance.

In 2016, the Planning Commission's membership was as follows:

Heidi Jugenitz (chair)
Cheryl Zuellig (vice-chair)
Anthony Bedogne
Phil Hollifield
Liz Dahl MacGregor

Jared Talaga (appointed March)
Matt Dunwoodie (appointed April)
Toi Dennis (appointed June)
Briana A. Mason (resigned August)
Roderick Johnson (retired June)

Under the Planning Enabling Act, the Commission must provide an annual report to City Council, as the legislative body of the City. This report discusses,

1. The operations of the Commission during the past year
2. The status of any on-going planning activities
3. Recommendations to the legislative body related to planning and development

PLANNING COMMISSION OPERATIONS

The Planning Commission held regular monthly meetings during 2016, as well as two special meetings. One joint meeting with the Zoning Board of Appeals was held in January for the purposes of training. The Commission took slightly fewer applications in 2016 than in 2015; as a reminder, 2015 saw nearly twice as many actions in 2015 as in 2014; likely due to deferred applications due to the "in-progress" zoning ordinance. The number of site plan reviews continues to trend downward from 2013. The Nonmotorized Committee regularly met and continues to meet; other subcommittees did not meet in 2016. The Planning Commission currently has one vacant seat, having been at full capacity in June and July.

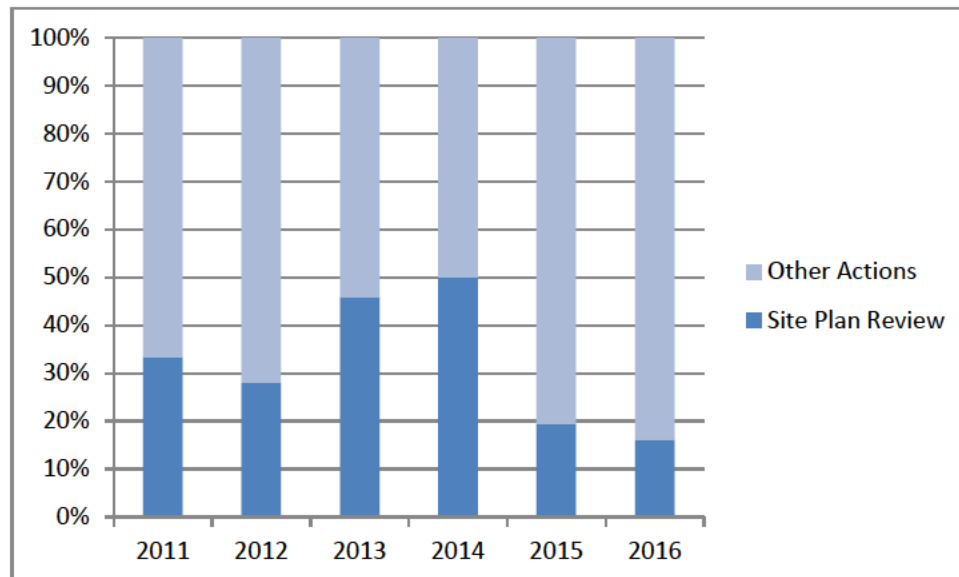
The Commission considered 30 actions, including 5 site/sketch plans, 5 special use permits, 1 Planned Unit Development (PUD); it also reviewed three standalone Capital Improvement Project requests; processed six designations of special nonconforming status ("Nonconforming A"); and held three public hearings on a significant "bugfix" of the zoning code, in addition to two standalone text amendments. The Planning Commission recommended that the Bell/Kramer area be a specific area of study in the coming five-year Master Plan update due to the unique interaction of current uses, past uses, environmental issues, and transportation resources.

Included in this year's annual report is the implementation matrix from the Master Plan, with topics not involving the Planning Commission removed. Although these topics are not included, they remain important to the overall success of the City.

Figure 1: Planning Commission Applications by Type (past five years)

Planning Commission Application / Deliberation	2011	2012	2013	2014	2015	2016
Site plan review	11	7	11	9	7	5
Amend approved site plan	2	1	--	1	--	--
Special use permit	7	2	5	2	6	5
Zoning map amendment	2	3	1	1	1	2
Zoning text amendment	6	2	--	1	2	5
Master plan amendment	--	--	1	--	--	--
Planned unit development	1	2	2	--	2	1
Amend approved PUD	--	--	--	--	--	--
Alley/Street closure/Vacation	2	1	1	2	--	2
Change in non-conforming use	--	--	--	--	--	1
Capital improvements reviews (begins 2010)	2	1	1	2	3	3
Special topic planning (begins 2010)	--	1	2	--	--	--
Study item (begins 2010)	--	4	--	--	7	1
Conditional rezoning (begins 2010)	--	1	--	--	--	--
Modification of Sign Standards (begins 2012)	--	0	--	--	1	--
Special Use Revocation (begins 2015)	--	--	--	--	1	--
Designation of Special Nonconforming Status (begins 2015)	--	--	--	--	6	6
Total Applications / Deliberations	33	25	24	18	36	31

Figure 2: Planning Commission Actions by Year (percent)



Master Plan Implementation Matrix

These goals and their matrices are taken directly from the Master Plan, adopted Oct 2013.

Capital Improvements Plan = CIP; Zoning Ordinance = ZO

Key	Action	Timeframe	Location	Safety	Diversity	Equity	Enviro	Economy	Primary Mechanism	Completion or Benchmark Date	Next Steps
Center	C1	Building standards for centers that preserve the architecture	2014-2015	All Centers					Zoning Ordinance	Ordinance passed 2014	Completed
	C2	Allow renewable energy facilities on all buildings	2014-2015	All Centers					Zoning Ordinance	Ordinance passed 2014	Completed
	C4	Finish upper stories	Ongoing	All Centers					Zoning Ordinance (enable private investment)	Ordinance passed 2014	Ordinance update underway, recommended to Council
	C5	Maintain and expand transportation options	Ongoing	Downtown					Zoning Ordinance, Capital Improvements Plan	Capital Improvements Plan adopted 2015	Ordinance update underway, recommended to Council; CIP annual update/review
	C7	Encourage business and event activity during the day and evening	2014-2019	All Centers					Zoning Ordinance (encourage mix of uses)	Ordinance passed 2014	Ordinance update underway, recommended to Council

Key	Action	Timeframe	Location	Safety	Diversity	Equity	Enviro	Economy	Primary Mechanism	Completion or Benchmark Date	Next Steps
	C9	Curbless "festival" street on Washington	2014-2019	Downtown					Capital Improvements Plan	Capital Improvements Plan adopted 2015	CIP annual update/review
	C10	Use vacant storefronts for temporary retail uses	2014-2019	Downtown					Zoning Ordinance	Ordinance passed 2014	Ordinance update underway, recommended to Council
	C14	Increase walkability (2-way streets & raised intersections)	2014-2024	Downtown					Capital Improvements Plan/ Transportation Plan	Capital Improvements Plan adopted 2015	CIP annual update/review
	C15	Curbless "festival" street on River and Cross Street	2014-2024	Depot Town					Capital Improvements Plan	Capital Improvements Plan adopted 2015	CIP annual update/review
	C16	Create a public space at new train station	2014-2024	Depot Town					Capital Improvements Plan	Capital Improvements Plan adopted 2015	CIP annual update/review
	C17	Separate Cross and Washtenaw	2014-2024	Cross Street					Capital Improvements Plan	Capital Improvements Plan adopted 2015	CIP annual update/review

Key	Action	Timeframe	Location	Safety	Diversity	Equity	Enviro	Economy	Primary Mechanism	Completion or Benchmark Date	Next Steps
	C18	Create a "front door" for EMU with reconfiguration of Cross and Washtenaw	2014-2024	Cross Street					Capital Improvements Plan	Capital Improvements Plan adopted 2015	CIP annual update/review
Neighborhood	N3	Plan and zone for range of housing typologies for the needs of all ages and abilities	Ongoing	All neighborhoods					Zoning Ordinance	Ordinance passed 2014	Ordinance update underway, recommended to Council
	N4	Streamline multiple-family living arrangements into categories based on number of units and form, instead of use	2014-2015	All neighborhoods					Zoning Ordinance	Ordinance passed 2014	Ordinance update underway, recommended to Council
	N5	Continue home-based entrepreneurship	2014-2015	All neighborhoods					Zoning Ordinance (enable)	Ordinance passed 2014	Ordinance update underway, recommended to Council

Key	Action	Timeframe	Location	Safety	Diversity	Equity	Enviro	Economy	Primary Mechanism	Completion or Benchmark Date	Next Steps
	N6	Regulate the form of buildings to preserve the character of neighborhoods	2014-2015	All neighborhoods					Zoning Ordinance	Ordinance passed 2014	Ordinance update underway, recommended to Council
	N7	Preserve the character of the area by using regulations on street type, building type as well as use	2014-2015	Central neighborhoods					Zoning Ordinance, Engineering Standards	Ordinance passed 2014	Ordinance update underway, recommended to Council
	N8	Regulations of the variety of housing types, uses and lot sizes will be calibrated to the existing patterns	2014-2015	Central neighborhoods					Zoning Ordinance	Ordinance passed 2014	Ordinance update underway, recommended to Council

Key	Action	Timeframe	Location	Safety	Diversity	Equity	Enviro	Economy	Primary Mechanism	Completion or Benchmark Date	Next Steps
N9	Limit uses to predominantly single-family residential uses in areas with small houses, suited for only single-family use	2014-2015	Outlying neighborhoods						Zoning Ordinance	Ordinance passed 2014	Ordinance update underway, recommended to Council
Corridor	Co 1	Designate the appropriate building form for each corridor based on existing patterns and vision for that corridor	2014-2015	All corridors					Zoning Ordinance	Ordinance passed 2014	Ordinance update underway, recommended to Council
	Co 2	Retain the mix of uses within each corridor but allow them throughout the area	2014-2015	All corridors					Zoning Ordinance	Ordinance passed 2014	Ordinance update underway, recommended to Council
	Co 3	Reinforce the preservation of historic buildings	2014-2015	Historic corridors					Zoning Ordinance; Historic District ordinance	Ordinance passed 2014	Ordinance update underway, recommended to Council

Key	Action	Timeframe	Location	Safety	Diversity	Equity	Enviro	Economy	Primary Mechanism	Completion or Benchmark Date	Next Steps
	Co 4	Maintain River Street as a historic boulevard	2014-2015	Historic corridors					Zoning Ordinance, Capital Improvements Plan	Ordinance passed 2014	Ordinance update underway, recommended to Council
	Co 5	Require a pedestrian-friendly building form while allowing a mix of uses for both students and residents along Huron River Dr, LeForge & Railroad corridors	2014-2015	General corridors					Zoning Ordinance	Ordinance passed 2014	Ordinance update underway, recommended to Council
	Co 6	Coordinate regulations for Washtenaw with the County Re-Imagine Washtenaw Ave Plan	2014-2015	General corridors					Zoning Ordinance	Ordinance passed 2014	Ordinance update underway, recommended to Council

Key	Action	Timeframe	Location	Safety	Diversity	Equity	Enviro	Economy	Primary Mechanism	Completion or Benchmark Date	Next Steps
	Co 7	Restore Harriet St as the Main St of adjacent neighborhoods	2014-2015 for ZO / 2014-2024 years for street improvements						Zoning Ordinance, Capital Improvements Plan	Ordinance passed 2014, Capital Improvements Plan 2015	Ordinance review underway; CIP annual update/review
	Co 8	Restore two-way function to Cross, Huron and Hamilton Streets	2014-2024						Capital Improvements Plan	Capital Improvements Plan adopted 2015	CIP annual update/review
District Areas	D1	Update regulations to create walkable areas at the border of the City and EMU campus	2014-2015						Zoning Ordinance	Ordinance passed 2014	Ordinance update underway, recommended to Council
	D2	Create regulations that support the existing building form but assure access by all modes of transportation	2014-2015						Zoning Ordinance	Ordinance passed 2014	Ordinance update underway, recommended to Council

Key	Action	Timeframe	Location	Safety	Diversity	Equity	Enviro	Economy	Primary Mechanism	Completion or Benchmark Date	Next Steps
	D3	Allow renewable energy facilities, such as solar panels, on industrial land	2014-2015	Job Districts					Zoning Ordinance	Ordinance passed 2014	Ordinance update underway, recommended to Council
	D4	Reduce the minimum lot size and width in the industrial park to create more opportunity	2014-2015	Job Districts					Zoning Ordinance	Ordinance passed 2014	Ordinance update underway, recommended to Council
	D7	Encourage use or redevelopment of unused parking lots	2014-2019	HHS & Job Districts					Zoning Ordinance (enable)	Ordinance passed 2014	Ordinance update underway, recommended to Council
	D8	Create a 'front door' for EMU in the area created by the reconfiguration of Cross and Washtenaw	2014-2024	EMU					Capital Improvements Plan	Capital Improvements Plan adopted 2015	CIP annual update/review

LOOKING FORWARD

At the end of 2016, these planning projects remain in progress.

- The zoning ordinance update has passed Planning Commission and been recommended to Council. It is tentatively scheduled for Council's second February meeting.
- An update to the Master Plan will be planned, specifically focusing on the Bell-Kramer neighborhood.

ACTION

The Planning Commission adopted this report at its regular January 2017 meeting and approved transmittal to City Council.



**CITY OF YPSILANTI
PLANNING COMMISSION
ONE SOUTH HURON STREET
YPSILANTI, MICHIGAN 48197**

2017 CALENDAR OF MEETINGS

The regular meetings of the City of Ypsilanti **Planning Commission** for the year of 2017 will be held on the **third Wednesday of each month**, unless a holiday falls on that date. Unless otherwise indicated, meetings will start at 7:00 p.m. in the City Hall Council Chambers (first floor) at One South Huron Street, Ypsilanti, Michigan.

Dates for 2017 meetings are as follows:

January 18
February 15
March 15
April 19
May 17
June 21
July 19
August 16
September 20
October 18
November 15
December 20

The City of Ypsilanti encourages persons with disabilities to participate and will provide necessary reasonable auxiliary aids and services, such as signed for the hearing impaired, Limited English Proficiency (LEP) services, and audios of printed materials being considered at the meeting to individuals with disabilities upon two (2) days notice to the City. Individuals with disabilities requiring auxiliary aids or services should contact the City by writing or calling the following:

City Clerk's Office
One South Huron Street
Ypsilanti, Michigan 48197-5420
(734) 483-1100

All persons are welcome to attend. For further information on the Planning Commission, contact the Planning and Development Department at the above address, or 734-483-9646 or www.cityofypsilanti.com/planningcommission.

City of Ypsilanti Non-Motorized Advisory Committee
Bob Krzewinski – Chair
wolverbob@gmail.com
734-487-9058

January 10, 2017

To The City Of Ypsilanti Planning Commission

Reference: Reappointments To The City of Ypsilanti Non-Motorized Advisory Committee

The by-laws of the City of Ypsilanti Non-Motorized Advisory Committee state that...

1. Structure

a. Officers – During January of every odd-numbered year, the Planning Commission shall appoint a Committee Chair, taking in account the recommendation of the Committee members, to serve a two-year term of office. In turn the newly appointed Committee Chair will select Committee Vice-Chair and Secretary to serve two-year terms of office.

b. Committee members – The Committee Chairman shall select Committee members from City residents interested in serving on the Committee. Committee members will serve a two-year term of office, with Committee member appointments approved by the City of Ypsilanti Planning Commission. A Committee member's term starts on the date they are approved by the Planning Commission and expires on the last day of the month two years later

The terms of both Sarah Walsh and Bob Krzewinski on the Committee expire on January 31, 2017 and both are interested in serving another two-year term.

Also, the term of Bob Krzewinski as Committee Chair expires at the end of January 2017 and he is interested in serving another two-year term.

At the January 5, 2017 Non-Motorized Advisory Committee meeting, by unanimous consent, the Committee recommended that the Planning Commission reappointment of Sarah Walsh and Bob Krzewinski to the Committee for two year terms and Bob Krzewinski be reappointed the Committee Chair for 2017-2018.

The Non-Motorized Advisory Committee would like to request the Planning Commission...

- Sarah Walsh and Bob Krzewinski be reappointed to the Committee for a two-year term.
- Bob Krzewinski be reappointed as the Committee Chair for a two-year term.

City Of Ypsilanti Non-Motorized Advisory Committee 2016 Annual Report

Introduction

The City of Ypsilanti Non-Motorized Advisory Committee was created out of a recommendation in the City Non-Motorized Plan and serves under the City Of Ypsilanti Planning Commission. The Committee was created in September 2010.

The Statement of Purpose of the Committee is as follows... “The City of Ypsilanti Non-Motorized Advisory Committee, working through the Planning Commission, will work to enact recommendations of the City of Ypsilanti Non-Motorized Plan so as to offer residents increased non-motorized transportation and recreation options as well as having the Plan creating economic and quality of life incentives to the City”.

Operations

The Committee met every month of 2016 generally on the first Thursday of the month at the Ypsilanti District Library, 229 West Michigan Avenue.

2015 members of the Committee through the year (some terms ended, others began) were as follows...

- Tony Bedogne (also City Of Ypsilanti Planning Commission member)
- Bob Krzewinski
- Cheryl Weber (Full Circle Community Center & AAATA Local Advisory Council)
- Lena Reeves
- Cathie Kinzel
- Kelly Cowatch
- Martha Cleary
- Sarah Walsh

Non-Motorized Advisory Committee 2016 Actions

During 2016 the Committee actively worked to complete many of the goals of the Non-Motorized Plan, as listed below.

- Public Input – The Committee’s meetings always start with a public input session on the City’s Non-Motorized Plan and the work of the Committee. The Committee also maintains a Facebook page offering an opportunity for additional public input.
- Publicity/Outreach – Committee meetings are publicized through an official City notice through the City Clerks office as well as announcements over the Committee’s Facebook page as well as through other email/Facebook pages (i.e. Bike Ypsi, Bike-Bus-Walk Ypsilanti, etc.). For the second year, the Committee also had a table at the Parkridge Festival (8/27) with free bike helmet giveaways donated by the Ann Arbor Bicycle Touring Society and free bicycle repairs given by Common Cycle. The Committee also had a table at the annual downtown Halloween Festival (10/27) where lighted wristbands were distributed (courtesy of the AAATA) and safe trick-or-treating handouts were distributed. A cold weather cycling talk was given in early December sponsored by the Committee.
- Committee Priorities – The Committee started work on a list of Committee priorities for the upcoming calendar year in October 2016 and completed the list at its December meeting.
- Monthly Planning Department meeting – Members of the Committee met, or had telephone conversations, with Planning Department staff prior to most Committee meetings for input and updates.
- Washtenaw Bicycling and Walking Coalition - The Committee continues to work with this county-wide advocacy group.

- Snow Removal – In the winter months the Committee mounted a campaign to educate area residents, thorough social media and its Facebook page, about the need to shovel sidewalks as required by City ordinance and how to report problems using ClickFix – Ypsi Connect. The Committee timed media actions to that of just prior to major snowfalls with information sent to all City neighborhood groups on Facebook and NextDoor. Information was also sent out about snow removal for elderly/disabled residents through the Sheriffs Department Community Work Program.
- Curb Cuts – The Committee, with the support of the Planning Commission, sent a letter to MDOT asking for the installation of curb cuts on Hamilton and Ferris Streets as there are many disabled residents living nearby (Towne Centre Place) and the lack of curb cuts can be a safety hazard. Committee members also made a short YouTube video about the curb cut problems featuring a wheelchair user - https://youtu.be/dWc2z95A_Z8.
- Border To Border Trail – The Committee held a meeting early in 2016 between the City Planning Department and the Washtenaw County Parks & Recreation Commission on re-routing the B2B Trail through Riverside Park to meet up with new Trail construction in Riverside Park and the Water Street area with follow-up conversations throughout 2016. Committee members also gave verbal comments at City Council meetings supporting the funding of the Michigan Avenue Trail crossing and incorporation of the Trail in to any plans for redeveloping the Rice Street parking lot in association with a passenger railroad station. The Committee also gave on-street Trail rerouting recommendations due to the Park Street railroad crossing being closed to traffic
- Bike Friendly Community & Walk Friendly Community applications – For the Bike Friendly Community, the City received an “Honorable Mention” award in 2014 to which the Committee continued work in 2016 to obtain a higher status in a follow-up application. A staff member of the League of American Bicyclist that works on the Bike Friendly Community program visited Ypsilanti for a site visit on May 17th and met with Committee members and City staff.

The City learned in 2015 it did not receive a Walk Friendly award but the report given by the organization running the Walk Friendly awards will be useful for improvements to be worked on for the next application. Both Walk Friendly and Bike Friendly Community applications are expected to be resubmitted in 2017 pending the completion and opening of additional non-motorized facilities (i.e. the Water Street Border To Border Trail and the associated Michigan Avenue crossing).

- Bike Friendly Business program – The Committee, with the support of the Downtown Association of Ypsilanti, continued to sign up participants for a local Bike Friendly Business (BFB) program as a way to promote active and healthy lifestyles for employees and customers in the Ypsilanti area. The campaign will honor corporations, organizations, associations, government agencies or non-profit groups located in Ypsilanti that actively promotes bicycling for transportation, recreation, exercise and sport. Business participants receive a BFB window sticker and are listed on the Bike-Bus-Walk Ypsi (www.bbwypsi.org) web site.
- Traffic Calming - The Committee sent a letter to the City Manager concerning traffic calming on Congress Street between Summit with suggested improvements.
- Police Chief Meeting – In May 2016 the Committee had a meeting with the Ypsilanti Police Chief on non-motorized issues and possible areas of coordination
- AAATA Transit Center – The Committee had email correspondence with the Ann Arbor Area Transportation Authority about the need for additional bicycle parking at the Ypsilanti Transit Center. By the end of 2016 a larger bike parking stand was moved from the southeast corner of West Cross Street and College Place to the Transit Center.
- Bike Lanes – The Committee participated in an April meeting at the Freighthouse on a Forest Avenue bike lane gap completion between Prospect Road and Norris Street, and spoke in favor of such a project at subsequent Planning Commission and City Council meetings, ultimately resulting in City Council approval later in 2016.

- Pedestrian Safety Signage – Early in 2016 the Committee sent a letter to the Michigan Department of Transportation office indicating the need for additional pedestrian safety signage and pavement markings on City MDOT controlled streets. MDOT acknowledged the letter and indicated it will take action in the future.
- I-94/Huron – Hamilton Streets non-motorized projects - The Committee continued to follow these items closely as there are a fair number of pedestrians and bicyclists using Huron Street over I-94 with no dedicated non-motorized facilities. In July, the Committee also passed the following resolution – *“The City of Ypsilanti Non-Motorized Advisory Committee urges the City Planning Commission, Mayor and City Council to support overdue and needed non-motorized improvements to the Huron Street overpass of I-94.”*
- Bike Bus-Walk Week (May 15-21) – With the intent to have individuals try alternative transit in the hope that such modes of transportation would become a habit, the Committee coordinated events during this week (also known as national Bike To Work Week), holding a “Walk And Talk” with the Mayor, a “Ghost Bikes” display (white bikes where cyclists have been hit in Ypsilanti meant to be a simple message to motorists and bicyclists to “share the road” with courtesy to each other), a “Bike Basics” talk at the downtown library and on Bike To Work Day (May 20) ran a bike commuting station (free bike maps, literature, snacks, etc.) in front of Beezy’s Café.
- Safe Routes To School Training – Two Committee members attended SRTS training in Ann Arbor on 8/23.
- Bike repair Stations – A meeting was held in November to explore bike repair stations (theft-proof bicycle repair tools on a stand with an associated air pump) at the downtown library and Parkridge Community Center.
- Other Items – Committee members attended City Council meetings to support non-motorized issues such as truck routes (9/6) and road diet reaffirmation (9/20) and a City Council roads working session (10/11). The City of Saline is interested in setting up a non-motorized committee and met with a Committee member in November for advice. A City of Ypsilanti specific bicycle map was placed on the Bike-Bus-Walk Ypsilanti website – www.bbwypsi.org.

City of Ypsilanti Non-Motorized Advisory Committee
Bob Krzewinski – Chair
wolverbob@gmail.com
734-487-9058

January 10, 2017

To The City Of Ypsilanti Planning Commission

Reference: Resolutions To The Michigan Department Of Transportation

In the spring of 2016 letters were sent from the City of Ypsilanti Non-Motorized Advisory Committee to the Michigan Department Of Transportation requesting that non-motorized improvements be made on MDOT controlled roads within the City. Specifically these requests were for the installation of sidewalk curb cuts at the intersection of Ferris Street and Hamilton Street as well as pedestrian safety signage improvements at a small number of locations. While MDOT acknowledged the receipt of the letters, no physical improvements have taken place.

To place an increased emphasis that work is needed in the near future to increase safety for pedestrians, and especially the disabled, the City of Ypsilanti Non-Motorized Advisory Committee is asking the Planning Commission to endorse the resolution below. The Non-Motorized Advisory Committee also asks that the Commission forward the resolution on to City Council, asking that they endorse the resolution and forward their action on the matter to MDOT.

City Of Ypsilanti Resolution On MDOT Non-Motorized Improvements

Whereas, a number of non-motorized safety improvements are needed on streets within the City of Ypsilanti that are under the control of the Michigan Department Of Transportation (MDOT), and

Whereas, the City of Ypsilanti Non-Motorized Advisory Committee, working through the City Planning Commission, forwarded to MDOT in the first quarter of 2016 a list of recommended non-motorized improvements which was acknowledged by MDOT but no action has been taken at the present time, and

Whereas, the non-motorized safety improvements recommended for action by the Non-Motorized Advisory Committee include...

- Sidewalk curb cuts at the intersection of Hamilton Street and Ferris Street which is an area with a large number of senior and disabled residents
- Improved pedestrian safety signage and markings at the intersection of North Huron Street and West Cross Street
- Improved pedestrian safety signage and markings on North Huron Street at Pearl Street
- Improved pedestrian safety signage and markings at the intersection of South Hamilton Street and Michigan Avenue
- Improved safety signage to warn motorists of non-motorized users (both pedestrians and bicyclists) on the Huron Street crossing of I-94 until such a time when permanent non-motorized improvements can be made

Therefore Be It Resolved that the City Of Ypsilanti supports the recommendations by the Non-Motorized Advisory Committee for non-motorized safety improvements on streets within the City of Ypsilanti that are under the control of MDOT and urges MDOT to take action on these recommendations in a timely manner.

Enc: City of Ypsilanti Non-Motorized Advisory Committee letters to MDOT with MDOT reply



City Of Ypsilanti Non-Motorized Advisory Committee
Bob Krzewinski - Chairman

[REDACTED]
[REDACTED]
wolverbob@gmail.com

734-487-9058 (home)
[REDACTED]

February 25, 2016

Mr. Mark Sweeney
Manager
Michigan Department of Transportation
10321 East Grand River Boulevard
Suite 500
Brighton, Michigan 48166

Dear Mr. Sweeney

In the City of Ypsilanti there is currently a condition existing on a road under the jurisdiction of the Michigan Department of Transportation (MDOT) that is causing accessibility problems for those with disabilities. This road is Hamilton Street at the intersection of Ferris Street where sidewalk curb cuts are missing, which means that people in wheelchairs cannot safely travel in that area.

Adding to the problem with the lack of curb cuts at Hamilton and Ferris Streets is the fact that immediately northwest of this intersection is the Hamilton Place housing structure whose residents include a substantial number of senior and disabled residents.

While the City of Ypsilanti currently has a program in place to make all sidewalk curb cuts in its jurisdiction fully compliant with the Americans With Disabilities Act (ADA), we are not aware of any similar program for roads under the control of MDOT within the City limits.

We would like to request that MDOT review the current non-compliant ADA curb cuts in the vicinity of Hamilton and Ferris Streets in the City of Ypsilanti and start remedial work so as to offer all City residents safe access in this area.

Thank you for your consideration of this request.

Sincerely,
Bob Krzewinski
Chairman
City of Ypsilanti Non-Motorized Advisory Committee.

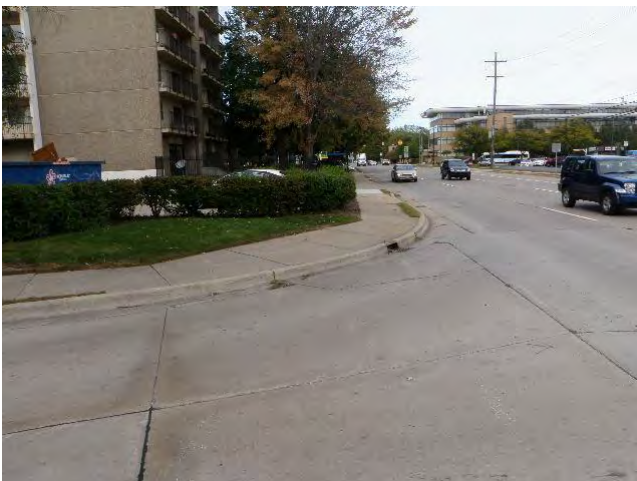
Attachment: Photographs of the Hamilton and Ferris intersection



Northeast corner of Hamilton and Ferris (looking north)



Southwest corner of Hamilton and Ferris (looking west)



Northwest corner of Hamilton and Ferris (looking north)



City of Ypsilanti Non-Motorized Advisory Committee

c/o Bob Krzewinski

[REDACTED]

[REDACTED]

wolverbob@gmail.com

734-487-9058 (home), [REDACTED]

March 11, 2016

Mr. Mark Sweeney
Manager
Transportation Service Center
10321 E. Grand River
Suite 500
Brighton, MI 48116

Dear Mr. Sweeney

The City Of Ypsilanti Non-Motorized Advisory Committee, through public input and internal meetings, has identified four non-motorized user crossings under MDOT jurisdiction that are very much in need of safety improvements. None of the problem areas would require any major construction, only the addition of signs, pavement markings, and in one case, a flashing light. Such improvements would immensely help non-motorized users, especially the disabled, attempting to cross streets in a safe manner. These problem areas are as follows...

1. North Huron Street at West Cross Street (M-17)

- Problem – Traffic making a left turn westbound from Huron Street to Cross Street often does so at a high rate of speed and often followed by rapid lane changes on Cross. Pedestrians (such as those living at an adjacent senior housing complex) trying to cross Cross Street at Washington Street have an extremely hard time doing so.
- Recommendations
 - At a minimum we would like to request the installation of a combination “pedestrian symbol” (MUCTD W11-2) and “ahead” (MUCTD W16-9P) sign, as well as a flashing yellow caution light, visible to motorists making the left turn from North Huron to West Cross.
 - Install two “pedestrian symbol” (MUCTD W11-2) signs on westbound Cross Street at the Washington Street crosswalk, one on each side of the road.
 - Repaint all pedestrian crossings at the Washington/Cross/Huron Street area, preferably with “zebra stripe” markings.
 - Add a white solid lane line on West Cross Street from Huron Street to Washington Street indicating there should be no lane changes made in this block.
 - We further urge that Rectangular Rapid Flashing Beacon (RRFB) lights be considered at the start of the left turn lane from Huron Street on to West Cross Street and on both sides of West Cross Street at Washington Street to alert westbound Cross Street motorists. The RRFB lights in the Huron left turn lane and the Washington-Cross intersection should have the ability to be activated by pedestrians wanting to travel across Cross Street at Washington.

2. North Huron Street at Pearl Street

- Problem – Pedestrians have a hard time crossing Huron Street due to high speed of traffic and volume with many motorists not aware of a pedestrian crossing at this location. This is also the only designated pedestrian crossing between Michigan Avenue and Cross Street, and is in front of the Riverside Art Center as well as the west entrance to Riverside Park.
- Recommendations
 - Replace the existing single pedestrian crossing sign on the right (east) side of North Huron Street with two (one each side of the road) combination “pedestrian symbol” (MUCTD W11-2) and “downward arrow” (MUCTD W16-7P) signs.
 - Repaint pedestrian crossings, preferably with “zebra stripe” markings.
 - Consider installing two Rectangular Rapid Flashing Beacons (RRFB) on both sides of Huron at the Pearl intersection crosswalk.

3. Hamilton Street at Michigan Avenue

- Problem – Southbound traffic on Hamilton, turning right (west) on Michigan Avenue, making turns on red (in a highly used pedestrian area) due to a poorly placed “No Turn On Red” sign located further north, away from the intersection. A secondary problem is that vehicles routinely stop on the pedestrian crossing area of Hamilton Street.
- Recommendations
 - Place two “No Turn On Red” signs (MUCTD R-10-11B) next to the actual traffic signals above the intersection, one sign facing eastbound traffic on Michigan Avenue and another for southbound traffic on Hamilton Street.
 - Also, place “Stop Here On Red” signs with a downward arrow (MUCTD R10-6) on both sides of southbound Hamilton Street at Michigan Avenue.

4. Huron Street Crossing Of I-94

- Problem – With no defined non-motorized crossing of this bridge linking the City of Ypsilanti and Ypsilanti Township, non-motorized travel could be considered perilous with bicyclists and pedestrians facing high speed traffic entering and exiting I-94. At the present time, there are only two “Share The Road” signs on northbound and southbound Huron Street in this area but not located at the best locations (i.e. the northbound sign is located past the eastbound entrance ramp).
- Recommendation – Until non-motorized improvements are made to the Huron Street crossing of I-94, it is highly recommended that four (two northbound and two southbound) combination “bike/pedestrian symbol”(MUCTD W11-15) and “Share The Road” (MUCTD W16-1P) signs be installed preferably near the exit/entrance ramps to I-94.

We understand that MDOT at the present time must deal with a growing number of issues with a very tight budget. However, as stated earlier, none of these suggested safety improvements would involve massive funding.

It would be very much appreciated then if discussions, and action, could be started on these pedestrian safety improvements in the City of Ypsilanti. Thank you for your consideration of this request, and your thoughts on this matter would be greatly appreciated.

Sincerely,
Bob Krzewinski
Chair
City of Ypsilanti Non-Motorized Advisory Committee

Cc: City Of Ypsilanti Planning Department
City Of Ypsilanti Planning Commission



Rick Snyder
GOVERNOR

STATE OF MICHIGAN
DEPARTMENT OF TRANSPORTATION
BRIGHTON TRANSPORTATION SERVICE CENTER

Kirk T. Steudle
DIRECTOR

May 2, 2016

Mr. Bob Krzewinski, Chairman
City of Ypsilanti Non-Motorized Advisory Committee
706 Dwight Street
Ypsilanti, Michigan 48198

RE: Pedestrian Issues at US-12 BR (Hamilton Street) and Ferris Street, City of Ypsilanti, Washtenaw County (March 11th, 2016 Letter)

RE: Four Non-Motorized Crossings, City of Ypsilanti, Washtenaw County (March 17th, 2016 Letter)

Dear Mr. Krzewinski:

We received your letters dated March 11th and 17th regarding the above mentioned locations. Please be assured that the Michigan Department of Transportation (MDOT) shares your concerns for pedestrian safety along our state trunkline system.

In response to your letters, MDOT staff reviewed the locations as requested. During our review, recommendations were made for future work, which will be implemented as soon as forces, schedules and funding allow.

Thank you for bringing these locations to our attentions, and please contact me if you have any questions or would like to discuss this further.

Sincerely,

Mark A. Sweeney, P.E.
Manager, Brighton TSC

City of Ypsilanti Non-Motorized Advisory Committee
Bob Krzewinski – Chair
wolverbob@gmail.com
734-487-9058

January 10, 2017

To The City Of Ypsilanti Planning Commission

Reference: Non-Motorized Advisory Committee 2017 Project Priorities

At the end of every calendar year the City of Ypsilanti Non-Motorized Advisory Committee (NMAC) sets goals for the coming year. Below are the Committee's priorities for 2017. It is also understood by the Committee that many of these priorities are a "work in progress" that will not be completed in 2017 (i.e. the Huron Street – I-94 non-motorized user access) but at the same time, work can be done that will help towards the final completion.

Pertaining to the 2017 Non-Motorized Project Priorities we would ask of the Planning Commission that...

- Appropriate projects (items one through 6) be reflected in the City's Capital Improvement Plan (CIP).
- The 2017 Non-Motorized Project Priorities be forwarded to City Council for consideration in the Council's annual goal setting and budget process.

**City of Ypsilanti Non-Motorized Advisory Committee
2017 Non-Motorized Project Priorities**

1. Bike Lanes
 - Complete bike lane on Forest Avenue between Norris Street and Prospect Road (Approved by City Council in 2016)
 - Research bike lane extension of West Cross Street from Wallace Street west to the City limit with road diet to slow traffic in the area of Estabrook School
2. Huron Street – I-94 non-motorized user access
3. Border To Border Trail – Complete moving the Trail off-road through Ypsilanti.
 - Trail completion master plan for Ypsilanti needed
 - Project split into two segments (Grove Road to I-94 and Frog Island Park to Eastern Michigan University)
 - Move Trail non-motorized traffic through Riverside/Water Street areas
4. Sidewalks - Washtenaw Avenue: North side of road from Oakwood Street to Hewitt Road
5. Pedestrian safety signage (including radar speed control signs)
6. Accessibility in City Parks (Page 74 of City of Ypsilanti Parks Master Plan)
7. Walk Friendly Community and Bicycle Friendly Community applications submitted (no cost for applications)

Ypsilanti Non-Motorized Advisory Committee Meeting Minutes

Thursday, January 5, 2017

1. Call to order - The meeting was brought to order at 7:07pm, January 5, 2017 at the Ypsilanti District Library, 229 West Michigan Avenue. Committee members attending were Cathie Kinzel, Sarah Walsh and Bob Krzewinski. Also attending was City Council member Pete Murdock.
2. Introductions
 - a. Audience participation/public input – Discussed was Common Cycle of Ann Arbor holding a bike maintenance session for Ypsilanti residents, which could lead to a “bike-maintenance-coop” in our city.
3. General business
 - a. Agenda approval – A motion was made by Sarah, seconded by Bob, to accept the agenda, passing unanimously.
 - b. Approval of December meeting minutes – A motion was made by Sarah, seconded by Bob, to approve the December minutes, passing unanimously.
 - c. Officer reports - None.
 - d. By-laws – By unanimous consent, the Committee recommends to the Planning Commission the reappointment of Sarah Walsh and Bob Krzewinski to the Committee for two year terms and Bob Krzewinski be reappointed the Committee Chair for 2017/2018.
4. Old & continuing business
 - a. 2017 Committee priorities
 - Bike lanes – Complete bike lane on Forest and extend the West Cross bike lane from Wallace Street to the western City limit – Pete indicated that the funding of the Forest Avenue bike lane should be in place and will be completed in the spring. Bob will work with Cathie, and the Washtenaw Bicycling and Walking Coalition, on incorporating a West Cross bike lane into a larger improved Ypsilanti to Ann Arbor bicycle commuting route.
 - I-94/Huron non-motorized improvements – The Huron Street non-motorized improvements over I-94 are largely tied to a Michigan Department of Transportation (MDOT) repaving of Huron and Hamilton Street, to which MDOT is currently conducting modeling and engineering work for construction no earlier than 2020.
 - Border To Border Trail – Trail re-route through Riverside Park & Water Street, Ypsilanti Trail completion master plan. Bob will meet with Washtenaw County Parks & Recreation Commission staff, and Pete is scheduled to meet with the Commission Executive Director, about these issues.
 - Walk Friendly & Bike Friendly Community applications submitted – It was decided to delay the submission of these two applications until the early summer so more “completed” non-motorized projects could be listed.
 - Pedestrian safety signage (including radar speed readout signs) – See item 4.e below. Pete also mentioned that Safe Route To Schools funds might be available for safety improvements around schools.
 - Sidewalks - Washtenaw Avenue – Fill gaps and bring up to standards sidewalks on both sides of the road from Oakwood Street to Hewitt Road – Discussed.

- Accessibility in City parks – Bob will converse with the City Parks & Recreation Commission about possible joint action on this subject.
- b. Non-motorized plan – No new updates.
- c. Bike Friendly Business applications – Bob making visits to local merchants. A list of Bike Friendly Businesses now on the Bike-Bus-Walk Ypsi web page – www.bbwwpsi.org.
- d. Traffic calming – Depot Town, Congress Street – No new update.
- e. MDOT improvements (pedestrian signage-curb cuts) – Planning Commission resolution - A resolution to MDOT urging action on improved pedestrian safety signage, along with curb cuts at Ferris and Hamilton Streets, will be forwarded to the Planning Commission for City Council approval.
- f. Capitol Improvements Plan (CIP) inclusion of non-motorized projects – Bob will forward a new CIP document to Committee members and recommend additions to the City Planning Commission.
- g. City Council budget non-motorized project recommendations - Bob will forward on to the Planning Commission the 2017 Committee Priorities with a recommendation that these be forwarded on to the City Council to be considered during their goal setting.
- h. Bike repair stations – Bob reported on a meeting where the Ypsilanti District Library would be the lead agency to acquire two bike repair stands, one at the downtown Library and the other at the Parkridge Community Center. Sarah also urged that the EMU Office Of Community Engagement be contacted for station funding grants.

5. New Business

- a. Planning Department update - Bob met with City Planner Bonnie Wessler and comments included in the agenda items
- b. Sidewalk snow removal – Snow removal was discussed with Pete mentioning that after the last recent major snowfall, the City Code Enforcement Officer (the City has only one) wrote 133 citations for lack of sidewalk snow removal. The new ad-hoc Ypsilanti Sidewalk Accessibility Project was also commended for their volunteer work to clear sidewalks of snow.
- c. Annual report – Bob is working on the 2016 report to forward on to the City Planning Commission and also City Council.

6. Other Items – Announcements – None.

- 7. Adjournment - A motion was made by Sarah, seconded by Cathie, to adjourn the meeting, passing unanimously. The meeting was adjourned at 8:20pm with the next meeting being held Thursday, February 2, 7:00pm at the downtown Library main floor meeting room.