

1. April 2018 Planning Commission Agenda

Documents:

[01-18 APRIL 2018 AGENDA.PDF](#)

1.1. April 2018 Planning Commission Packet (Single File)

Documents:

[00- 18 APRIL 2018 PLANNING COMMISSION PACKET.PDF](#)

2. April 2018 Planning Commission Packet (1 Item Per File)

Documents:

[02- 3-21-18 DRAFT PLANNING MEETING MINUTES.PDF](#)

[03- NORRIS RIVER REZONE.PDF](#)

[04- 534 N HURON SPECIAL USE.PDF](#)

[05- NONMOTORIZED RESOLUTION.PDF](#)

[06- MEDICAL MARIJUANA PROVISIONING BUFFER INCREASE.PDF](#)

[07- HOUSING SUBCOMMITTEE MINUTES.PDF](#)

[08- NONMOTORIZED SUBCOMMITTEE MINUTES.PDF](#)

Agenda
Planning Commission
Wednesday, 13 April 2018 – 7:00 P.M.
City Hall-Council Chambers, 1 S Huron St
Ypsilanti, MI 48197

I. Call to Order

II. Roll Call

Heidi Jugenitz, Chair	P	A
Liz Dahl MacGregor, Vice Chair	P	A
Anthony Bedogne	P	A
Toi Dennis	P	A
Matt Dunwoodie	P	A
Phil Hollifield	P	A
Chris Madigan	P	A
Jared Talaga	P	A
Cheryl Zuellig	P	A

III. Approval of Minutes

- March 21, 2018

IV. Audience Participation

Open for general public comment to Planning Commission on items for which a public hearing is not scheduled. Please limit to five minutes.

V. Presentations and Public Hearing Items

- 720 Norris; 715-725 N River
Public Hearing: Rezoning
- 534 N Huron
Public Hearing: Special Use & Site Plan

VI. New Business

- Resolution from the Nonmotorized Committee regarding Capital Improvements

VII. Old Business

- Medical Marijuana Provisioning Centers: Increase in Buffer
Tabled from 3/21/2018

VIII. Future Business Discussion / Updates

- Capital Improvements Plan: annual update process (May)

IX. Committee Reports

- Master Plan: Housing Affordability and Access subcommittee report
- Nonmotorized Committee report

X. Adjournment

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**PLANNING COMMISSION
MEETING MINUTES
March 21, 2018
CITY COUNCIL CHAMBER
7:00 P.M.**

I. CALL TO ORDER

The meeting was called to order at 7:05 p.m.

II. ROLL CALL

Present: L. Dahl-MacGregor, C. Zuellig, A. Bedogne, P. Hollifield, M. C. Madigan, T. Dennis

Absent: H. Jugenitz, M. Dunwoodie, J. Talaga (all excused)

Staff: Bonnie Wessler, City Planner
Cynthia Kochanek, Preservation Planner
Nan Schuette, Executive Secretary

III. APPROVAL OF MINUTES

Commissioner Hollifield moved to approve the minutes of February 21, 2018 (Support: T. Dennis) and the motion carried unanimously.

IV. AUDIENCE PARTICIPATION

None

V. PRESENTATION AND PUBLIC HEARING ITEMS

1. 75 Catherine – Special Use and Site Plan

Planner Kochanek gave a brief presentation stating that this is a request for Special Use and Site Plan approval. The total area is 1.03 acres and has an existing building on the site of 7,615 sq. ft. A special use permit was granted for its use as a medical marijuana grow facility back in March 2013 with a certificate of occupancy issued in February 2015. The property was rezoned from CN to PMD in October 2017. The applicant requested a variance from the front, street side and rear setbacks and was seen by the Zoning Board of Appeals at their January 24, 2018 meeting. The ZBA approved the front and street side setback variances but denied the rear setback. The applicant has since corrected the rear setback on the plans to conform to the zoning ordinance. The current plans indicate a building expansion to 19,062 sq. ft. with a north addition of 3,121 sq.ft. and a south addition of the 8,326 sq. ft. New concrete curbing and asphalt paving, dumpster, landscaping and lighting will be installed on site.

Medical marijuana grow/manufacturing facility is allowed in PMD as a special use.

Staff recommends approval of the expansion of the Special Use Permit for medical marijuana growing/processing with finding and condition. Staff also recommends the approval of the Site Plan for the expansion of Aspen Gardens with finding, waivers and conditions.

Commissioner Dennis moved to open the public portion of the hearing (Support: P. Hollifield) and the motion carried unanimously.

Since there was no comments from the public, Commissioner Zuellig moved to close the public portion of the hearing (Support: P. Hollifield) and the motion carried unanimously.

Commissioner Dennis moved that the Planning Commission approve the expansion of the Special Use Permit for medical marijuana growing/processing for Aspen Gardens, with the following finding and condition:

Finding: The application is substantially in compliance with Sec 122-324(b).

Condition: special use approval shall be subject to approval of site plan

The motion was supported by Commissioner Bedogne. A roll call vote was taken and carried unanimously 6:0.

Commissioner Dennis moved that the Planning Commission approve the Site Plan for the expansion of Aspen Gardens, with the following finding, waivers and conditions:

Finding: The application substantially complies with Sec 122-310.

Waivers:

1. Waiver requested from Sec 122-636, Street Trees, due to lack of available space on both Chidester and Catherine.
2. Waiver requested from Sec 122-432(a)(6), greenbelt, along the Chidester frontage due to lack of available space.

Conditions:

1. Applicant shall seek, obtain, and retain all necessary state licensure and all necessary local licenses or permits for operation.
2. Applicant to note on the site plan that smoking and/or use of medical marijuana shall be prohibited at the growing/manufacturing facility.
3. The premises shall be open for inspection upon request by the Building Official, the Fire Department and law enforcement officials for compliance with all applicable laws and rules, during the stated hours of operation/use and as such other times as anyone is present on the premises.
4. Establishment must comply with the State mandated tracking system.
5. Applicant to note on the site plan that if the growing/manufacturing facility ceases operation for a length of time of sixty (60) days or greater, the permit shall expire.
6. That portion of the structure where the storage of any chemicals such as herbicides, pesticides, and fertilizers shall be subject to inspection and approval by the Ypsilanti Fire Department to ensure compliance with the Michigan Fire Protection Code.

7. The dispensing of medical marijuana growing/manufacturing facility shall be prohibited.
8. There shall be no other accessory uses permitted within the same building.
9. Applicant to address all engineering conditions per the engineering review.
10. Applicant to submit photometric for administrative review and approval.

The motion was supported by Commissioner Bedogne. A roll call vote was taken and carried unanimously 6:0.

2. Bell-Kramer Neighborhood: Well Restriction Ordinance

City Planner Bonnie Wessler stated that this was discussed at the last meeting. At that time we did not fully comprehend all of the State Acts steps to approval. One of the steps for approval was that notice must be given in the same manner as zoning amendments. In an excess of caution, staff has also chosen to interpret this as requiring the same process of review. Therefore, staff is requesting that the Planning Commission review the ordinance that was included in the packet, which would restrict the drilling and use of wells in the Bell-Kramer neighborhood. The format has changed; rather than an addition whole into Chapter 106, it serves to modify an existing well restriction ordinance and add the bell-Kramer and landfill areas. This reduces redundancy and potential conflict. It is not substantially different than the ordinance which was presented to Planning Commission in February.

Commissioner Zuellig moved to open the public portion of the hearing (Support: P. Hollifield) and the motion carried unanimously. Since there was no input, Commissioner Hollifield moved to close the public portion of the hearing (Support: C. Madigan) and the motion carried unanimously.

Commissioner Hollifield moved that the Planning Commission recommend approval to City Council (Support: C. Zuellig) and the motion carried unanimously.

3. Medical Marijuana Provisioning Centers

City Planner Wessler stated that this is a request for the Planning Commission to recommend to City Council to approve a Text Amendment to Medical Marijuana dispensaries (recommended to become "Medical Marijuana provisioning Centers"), Sec 122-532(b)(3).

She stated that the Zoning Ordinance currently requires a 500' buffer between provisioning centers and growing facilities and 1000' around schools. One of the things that City Council has made very clear in their discussions about marijuana is that they are comfortable with the status quo and they don't see any reason for change. One of the items that we are seeing as far as patterns in development in the status quo is that there is approximately one provisioning center per business district. Downtown is a little bit of an outlier in that. We looked at ways to maintain that. One way is to increase the buffer between provisioning centers only from 500' to 1000'. This would have the effect of making two provisioning centers non-conforming, Third Coast and Herbal Solutions – they are approximately 996' between each other. However, it is the understanding of Planner Wessler that Herbal Solutions is planning to move two doors to the east which would resolve that situation quite nicely. Staff is recommending that Planning Commission recommend to City Council that they approve the increase in the buffer distance.

Commissioner Dennis asked if City Council is comfortable with the status quo, what is the purpose of the 1000' and Planner Wessler responded that we currently have seven provisioning centers and not only do they have to get a permit from the City of Ypsilanti, but they also have to get a license from the State, none of which are guaranteed, but we won't know which one will get a State license until June 15th. There may be a repositioning in provisioning centers in three months. There is not much opportunity for either of these centers to expand.

Commissioner Bedogne stated that he understands the balance of one center per district but increasing the buffer would make it more challenging if someone were not able to get their license. Planner Wessler responded that if one center in Depot Town lost their license, there would only be room for one, not two, as is currently the status.

Commissioner Zuellig moved to open the public portion of the hearing (Support: P. Hollifield) and the motion carried unanimously.

Adam Tasselmeyer – totally agrees with expanding to 1000', however, he is concerned because the day after this meeting, the board is going to go over the first licenses for pre-qualification on approval or denial at the State level and we do not know how in depth they are going to get. He would not like to get in front of the board and be not in compliance by 4 ft. They are moving so that will resolve the problem but he advocates tabling this item.

Mr. Benjamin Spenser, Attorney, 106 N. 4th Street, Ann Arbor – what he doesn't hear being discussed is that the City of Ypsilanti actually accepted applications and put them in a queue for those provisioning centers that would like to take over a licensee in case one of the currently operating provisioning centers is not approved. A lot of time, effort and money went into locating the correct locations for provisioning centers and preparing applications and materials for the City. They were turned in March 1st. For the clients, they looked at all the ordinances and zoning and wanted to be sure they found compliant locations. With the change in the ordinance, after these applications have gone in, they believe some might make thru the State process, maybe all. But if the one is 750 ft, it raises questions. They relied on this ordinance when working on getting the applications in. Under the new buffer zone, one of his clients could be affected. He is suggesting to table the motion for some time until they sort out at the State level. The June 15th deadline date could be changed.

City Planner Wessler asked to make a procedural point to the board. She stated that the board can choose recommend denial and it still goes on to council, table and it stays here, or choose to recommend approval and it goes to council.

After discussion by board members, Commissioner Hollifield moved to table this item (Support: C. Madigan). A roll call vote was taken and carried unanimously 6:0.

4. **Planned Unit Development – 1600 Huron River Drive**

Planner Wessler gave a brief presentation stating that this is a request for a Planned Unit Development (PUD) for Ozone House. It is a city owned parcel on the corner of Superior and Huron River Drive and is the site of a former YCUA well and current site of a YCUA pumping station. YCUA holds an easement over the east portion of the site and there will be a future drainage over the east site of the site. DTE has two easements over the property and roads are covered by Washtenaw County. There are steep slopes on site, complicated by sandy soil, which preclude development along the east half of the parcel and much of the north.

They are proposing a multipurpose building, with associated parking and outdoor recreation areas (decks and walkouts as well as a basketball court). This building would have a mix of storage, office and housing. On the lower level, there are eight bedrooms with a shared kitchen, study area and bathrooms, as well as a shared living area with walkout deck proposed, as well as storage, laundry and a recreation room. On the ground/main floor, there are office spaces, work areas, meeting rooms, storage, medical offices, childcare spaces and multipurpose rooms. The upper story has two large multipurpose rooms, as well as another eight bedroom unit with shared living, dining, toileting, and recreation/learning areas. This unit also has access to the outdoors via screened porch. The building is a total of approximately 19,066 sq. ft.

PUD's are difficult to amend therefore Planning Department is trying to include as much administrative approvals as possible through this process. A PUD gives us the flexibility to approve exceptions.

The applicant also has a potential Phase 2 of a two-story 8-10 unit apartment block, proposed just north of the basketball court, with a footprint of approximately 3,500 sq. ft. In the event of development, this court would become parking to serve the new housing. Staff is recommending approval.

Commissioner Zuellig moved to open the public portion of the hearing (Support: P. Hollifield) and the motion carried unanimously.

Krista Girty, Exec. Director of Ozone House – was accompanied by Joe Maynard, from Washtenaw Engineering, and Jan Culbertson, from A3C Collaborative Architecture. Ozone House is 49 years old and they work with people in crisis in many ways. They've outgrown their office and are moving from their properties in Ann Arbor consolidating their services. This will be an L-shaped building. There will be two housing groups – one for juveniles 10-17 year olds and one for 18-21 year olds who can live there for up to 18 months, helping them to be skilled and live on their own. The lower level will be separate from the 10-17 year olds with their own outside space. One building will be for training, counseling, health, etc. They will also have a future expansion wing that can be used for more living space if necessary. She feels that 50 people is reasonable.

They reviewed the proposed drawings of the property, including sidewalks, buildings, landscaping, and storm water with rain garden. He noted the location of the bus stop. They have water services coming on site as well as a fire hydrant.

Patrick Gaulier, 1613 Gregory – is not only a resident but is an employee of Ozone House. He added there have been several neighborhood meetings with personnel from Ozone House and they approve of the potential project and its use.

Planner Wessler added that five emails that had been received in support of the project as well as one packet of information.

Commissioner Zuellig moved to close the public portion of the hearing (Support: T. Dennis) and the motion carried unanimously.

Commissioner Zuellig comments that this is one of the best site plans that she had seen – it is very thoughtful, architecturally great and she is very supportive.

Commissioner Dennis moved that the Planning Commission recommend that City Council approve the Ozone House Planned Unit Development at 1600 Huron River Drive with the following find, waiver, exceptions and conditions:

Findings

1. The application substantially complies with Sec 122-311, Section 122-702 and Sec 122-706.

Waiver

1. For a reduction of 14% in the required vehicle parking under Sec 122-691 due to site constraints and proximity of bus stop.

Exceptions

1. From the front setback requirement for Phase 2 apartment building of Sec 122-479(e) due to the constraints of the site.
2. From the frontage build-out percentage requirements of Sec 122-479(h), due to the constraints of the site.
3. From the private Frontage requirement of Sec 122-484, due to the lack of a retail or commercial presence on the first floor open to the general public.
4. From the Sec 122-548(a), limiting the number of supportive housing residents, in the social interest of being able to serve more clients.
5. From Sec 122-548(b), limiting provision of supportive services to residents only, in the social interest of being able to serve a more clients.
6. From sidewalk requirement of Sec 122-672 along Superior Drive, with the finding that the site constraints and future connectivity make such construction impractical and undesirable, and the additional finding that provision of a crosswalk across Huron River Drive and the service drive to the south provide a superior benefit.
7. From the maximum light pole height in Sec 122-609(c) due to the character of the site and the site constraints in locating additional fixtures.

Conditions

1. Applicant to provide compact car signage for the eight compact car parking spaces.
2. Applicant to provide a fully connected 5' or wider walkway from the Phase II apartment building to the sidewalk on Huron River Drive; to be reviewed administratively at point of construction.

3. Applicant to review landscaping at southwest corner of site adjacent to drive and propose alternate plantings to meet both off-street parking screening requirements and traffic visibility requirements.
4. Applicant to provide details for the dumpster enclosure for administrative review.
5. Applicant to evaluate ability to allow existing trees to remain where possible, or add additional tree on east side of site.
6. Applicant to replace Callery pear trees with similar trees with less invasive habit.
7. All site improvements related to construction of the Phase 2 building shall be reviewed administratively and in accordance with the PUD agreement. Any changes to the location or increases in the intensity of use of the building will be subject to the provisions of Sec 122-708.

The motion was supported by Commissioner Madigan. A roll call vote was taken and carried unanimously 6:0.

5. **Code Enforcement**

At previous meetings, there have been many people attending who complain about code enforcement in the city. Because of this, City Planner Wessler asked the Code Enforcement Office to give a presentation to the Board in an effort for the members to have a better understanding of his position and responsibilities.

James Jackson, Code Enforcement Officer – stated that he is the only person that has the authority to write civil infractions that are done in the city. He does nothing on commercial buildings, or city property. He covers sidewalks, noise, animals, graffiti, snow removal, litter, signage in wrong places. He ensure that anything that is in the city code is enforced and that property owners are aware of what they can/cannot have.

He also does all the paperwork on a daily basis, five days a week. He also gets complaints to check out through See Click Fix for the City, Manager's Office and other avenues.

Commissioner Dennis asked about uneven sidewalks and Mr. Jackson responded that if it is a city sidewalk, he contacts the Department of Public Services. Commissioner Zuellig asked how he covered the city and Mr. Jackson responded that he tends to do the high priority areas first, i.e. downtown, around schools, then go to the neighborhoods. With regard to trash/litter, he waits until after the trash pick-up day for the neighborhood then he goes out and does a sweep. One of the biggest violators is the city itself with regard to street litter. He also stated that the parking lots are also a problem with litter.

VI. **NEW BUSINESS**

1. Resolution from the Housing Affordability and Access subcommittee

Planner Wessler stated that we have a subcommittee of the Planning Commission that is currently in the discovery phase of drafting either a Master Plan amendment or a sub-plan for the Master Plan regarding housing. They met for the second time at the beginning of this

month and it was proposed at the table that they pass a resolution to Planning Commission to pass along to city council recommending that they establish a Housing Trust Fund. The rationale behind this request is to ensure that money is spoken for or awaiting the plan's completion so there will be immediately be funds available for this plan. They want it in before the budget is adopted.

The staff side is that it is very challenging to set money aside for a plan that may/or may not be completed especially when you don't know the objective. Staff is not supporting the resolution. It is also challenging politically. It is staff's opinion that it should be the result of a plan instead of having the resolution when a discovery phase has not been completed.

Commissioner Hollifield asked what the purpose is of \$100,000 and how was that number determined. Vice Chair MacGregor stated the resolution was initiated by the Chair of Planning Commission. Commissioner Zuellig is concerned about a Housing Committee when we don't have any idea of what they plan to do; how the funds would be administered and added that it is her opinion if we are spending public dollars, the public should be able to weigh in.

Planner Wessler stated the next step is to either make a resolution to pass along to City Council or to decline to pass along to City Council.

After further discussion, Commissioner Zuellig moved that the Planning Commission hereby resolves that we decline to pass along the resolution presented by the Housing Committee to City Council (Support: C. Madigan). A roll call vote was taken and carried 4:2 – Vice-Chair MacGregor and Commissioner Dennis opposed.

VII. OLD BUSINESS

None

VIII. FUTURE BUSINESS DISCUSSION/UPDATES

1. Capital Improvements Plan: Annual update process/committee formation

Planner Wessler stated that there are several proposed projects coming before the commission in April.

2. Firearms Sales Regulations: Local Options

Staff was asked what, if anything, in zoning spoke to firearms. We had a couple of businesses relating to firearms that were looking to locate in the city. Planner Wessler contacted the City Attorney for his opinion on this matter. A copy of his memorandum is included in the packet (dated March 8, 2018) in which he stated that the city may not regulate gun sales, but may zone where guns may be sold in the city. Planner Wessler added that anywhere we permit retail, we permit firearm sales. The committee gave her a directive to look into areas to restrict and come back with informational language on firearm zoning.

3. Commissioner Bedogne stated that he had resigned his position on the Planning Commission effective 5-1-18 at the end of his term. He will be moving out of the area. He will also be giving up his seat on the Non-Motorized Committee.

IX. COMMITTEE REPORTS

1. Master Plan: Housing Affordability and Access subcommittee

Planner Wessler stated that the adopted minutes are available on line. The Housing Committee has its own page. The committee have met twice and have a meeting the second week in April. We have a facilitator to do the meeting – she was offered by the County and they accepted. We are still in the discovery phase.

X. ADJOURNMENT

Since there was no further business, Commissioner Dennis moved to adjourn the meeting (Support: C. Madigan) and the motion carried unanimously. The meeting adjourned at 8:40 pm.

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Presentations and Public Hearing Items

- **720 Norris; 715-725 N River**
Public Hearing: Rezoning



April 3, 2018

**Staff Review of Rezoning Application
Corner Brewery Expansion Rezoning
720 Norris & 715, 717, 719, 721, 723 & 725 N River**

GENERAL INFORMATION

Applicant:	Wes Marchal for Arbor Brewing Company
Project:	Corner Brewery Expansion Rezoning
Application Date:	March 21, 2018
Location:	Northeast corner of the intersection of E Forest and Norris (720 Norris) and west side of N River between Cherry and Norris St.
Zoning:	NC, Neighborhood Corridor (720 Norris); CN-Mid, Core Neighborhood Mid (715-725 N River)
Master Plan:	Central Neighborhood (720 Norris); Outlying Neighborhood (715-725 N River)
Action Requested:	Rezone all of 720 Norris and the west 65' of 715-725 N River to GC-General Corridor
Staff Recommendation:	Approval

PROJECT AND SITE DESCRIPTION

A rezoning is requested for parcel #11-11-04-426-004, and the west 65' of the following parcel numbers: 11-11-04-426-011, 11-11-04-426-012, 11-11-04-426-013, 11-11-04-426-014, 11-11-04-426-015, and 11-11-04-426-016. 720 Norris is 1.715 acres with an existing commercial structure on site, the west 65' of 715-725 N River is a total of 0.47 acres of vacant land. 720 Norris is currently zoned NC, Neighborhood Corridor and 715-725 N River are currently zoned CN-Mid, Core Neighborhood Mid. The property owner wishes to have the entire parcel at 720 Norris and the west 65' of the N River Street parcels rezoned to GC-General Corridor in order to be able to expand the use and facility at 720 Norris St. The alley that runs north-south from E Forest to the north part of Norris St is an open alley. The structure at 720 Norris was built in 1940s as an office building for the facility to the west.

The original site plan and special use for the bar/brewery was approved for 720 Norris back in 2005 along with a variance for the parking and size of the outdoor beer garden. A rezoning under a previous zoning ordinance from M2 to C/I was approved back in September 2005. In March 2011, a site plan and special use permit were approved for the expansion of the site (for a storage facility/Quonset hut) and

in December 2015 a variance was granted for the height of the accessory structure (silo). No variances or special uses have been approved for the N River St properties.

Figure 1: Subject Site Location & Zoning

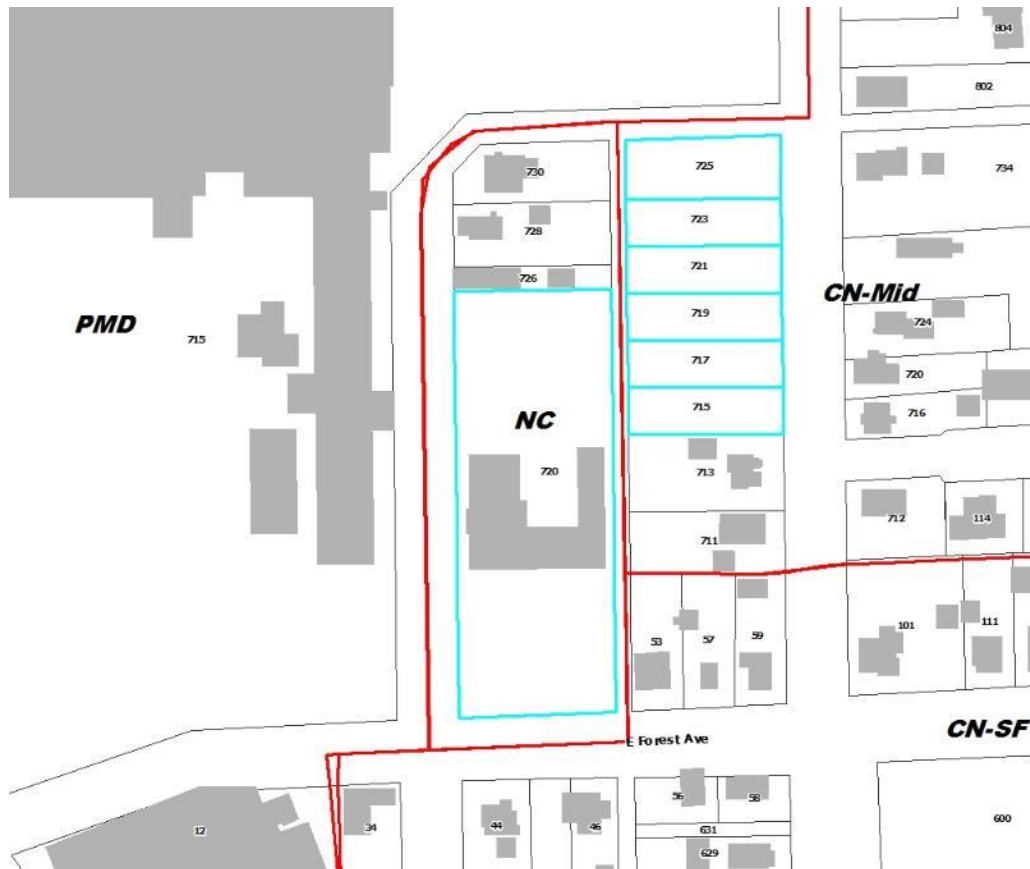


Figure 2: Site Aerial (2015)



Figure 3: Rezoning Plan



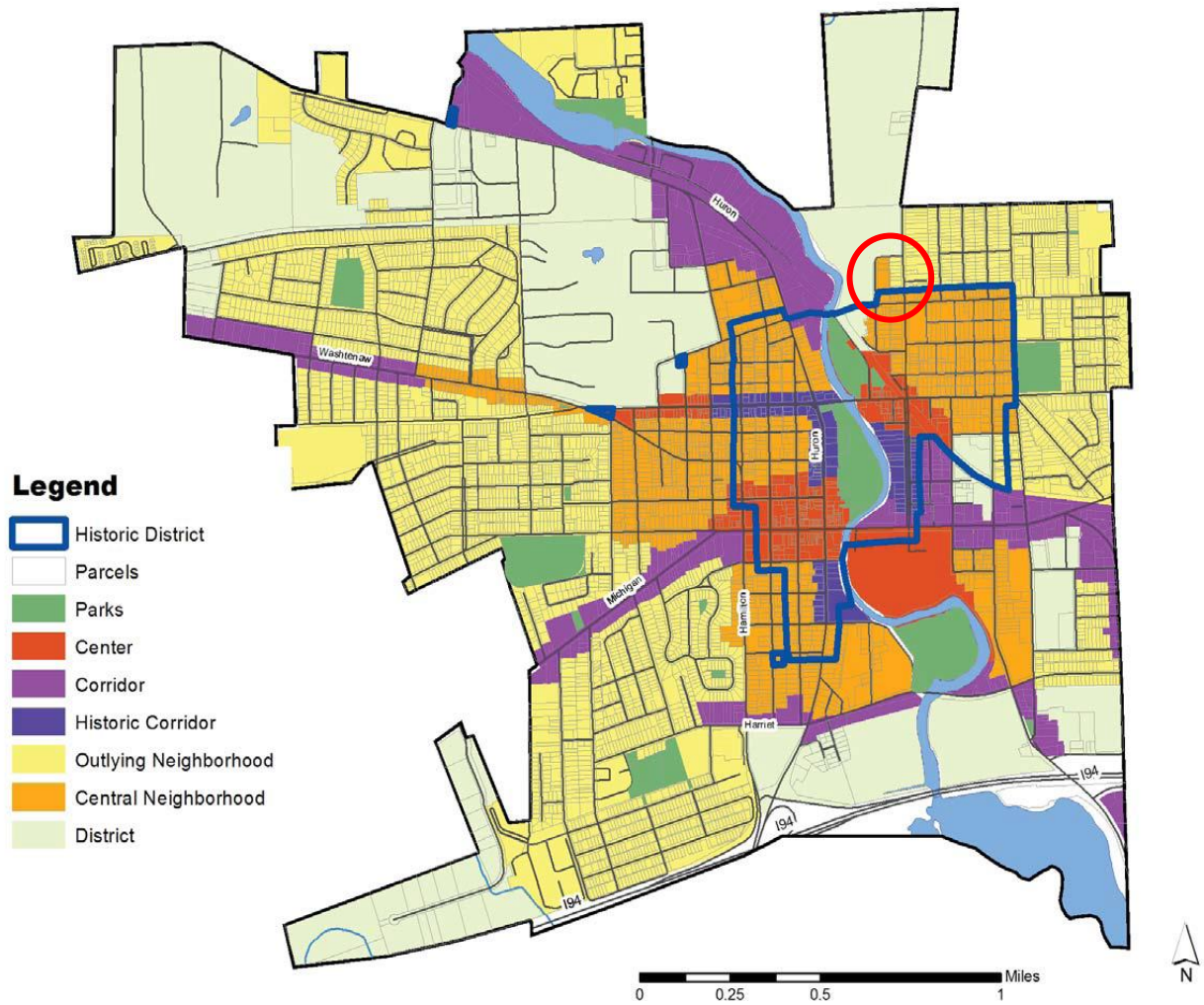
MASTER PLAN

720 Norris is within the “Central Neighborhood” future land use. Central Neighborhoods are among the oldest in Ypsilanti. Initially oriented on the Huron River, they are built on a grid street network connected to the adjacent business districts. They border downtown, Depot Town and EMU. These neighborhoods have a range of residential building types, with churches, schools, stores and gas stations intermixed. Around the railroad, industrial uses are mixed into the neighborhood.

The N River St properties are within the “Outlying Neighborhood” future land use per the map. Outlying Neighborhoods were built in the middle or later part of the 20th century and were designed as areas for a single type of housing, either single-family or multi-family. These neighborhoods are adjacent to a corridor but the street network is designed to carry traffic into the neighborhood, not through it. Any non-residential uses, other than schools or parks, are located at the edges, not embedded within the neighborhood. River St is odd because there’s still a lot of very old buildings and uses here.

The future land use map, below, shows the properties as central neighborhood and outlying neighborhood.

Figure 4: Future Land Use Designations



EXISTING LAND USE AND ZONING

720 Norris is currently used as a brewery and bar with an outdoor beer garden and the properties on N River are currently vacant. 720 Norris is located at the northeast corner of the intersection of E Forest and Norris and the N River St properties are to the northeast on the west side of N River between Cherry and Norris St.

Figure 5: Surrounding Land Use and Zoning

	LAND USE	ZONING
NORTH	Single Family residential	NC-Neighborhood Corridor
EAST	Single Family and Vacant	CN-SF-Core Neighborhood Single Family CN-Mid- Core Neighborhood Mid
SOUTH	Single and Two Family residential	CN-SF-Core Neighborhood Single Family
WEST	Bay Logistics	PMD-Production, Manufacturing and Distribution

REZONING IMPLICATIONS

INTENT

Neighborhood Corridor (NC). Neighborhood corridors have a linear land pattern and are adjacent to residential neighborhoods. The size, form and scale of buildings and the type and intensity of uses should be complementary to abutting single-family or core neighborhoods, including less intense multiple-family residential building types and uses.

Core Neighborhood Mid (CN-Mid). These neighborhoods generally abut the Core Neighborhoods, and offer a less dense and less intense residential area with opportunities for accessibly-placed low-intensity walkable, neighborhood businesses. Housing types range from mansions to cottages, with multiple-family and single-family uses. This zoning may also be used as a transition zone between single-family districts and mixed use districts.

General Corridor (GC). General corridors are located along roads with heavy traffic and have commercial establishments, restaurants, offices, and other businesses that are geared toward automobile traffic. Multiple-family residential building types and uses are appropriate in this district.

Figure 6: Permitted uses in existing and proposed zonings.

P=Principal, A=Accessory, S=Special Land Use

USES	NC	CN-Mid	GC
RESIDENTIAL			
Single-Family Detached Dwelling	--	P	--
Single-Family Attached Dwelling	P	P	P
Accessory Dwelling Unit	--	A	--
Two-family dwelling units	P	P	P
Multiple Family Dwellings, maximum of 4 units per building	P	S	P
Multiple Family Dwellings, more than 4 units per building	S	--	P

P=Principal, A=Accessory, S=Special Land Use

USES	NC	CN-Mid	GC
Apartments located above ground floor of permitted nonresidential uses	P	--	P
Home Occupation	A	A	A
Family Child Care Home (1-6 children)	A	A	A
Adult foster care family homes (1-6 adults)	A	A	A
Group Child Care Home (6-12 children)	A	S	A
GROUP LIVING			
Group residence	--	--	--
Group living with support staff, not licensed by State of Michigan	--	--	--
Roominghouse	--	--	--
Adult foster care small & group homes, adult congregate facilities	--	S	--
Adult foster care facilities licensed by a state agency for care and treatment of persons released from or assigned to adult correctional facilities.	--	--	--
RECREATION, EDUCATION & PUBLIC ASSEMBLY USES			
Museums & libraries, less than 15,000 square feet	P	--	--
Museums & libraries, 15,000 sf or more	S	--	--
Parks	P	P	P
Public Art	A	A	A
Indoor recreation, less than 15,000 sf	P	--	P
Indoor recreation, 15,000 sf or more	--	--	P
Outdoor Recreation	S	--	P
Municipal, county, regional & state service uses	P	S	P
Primary & Secondary Schools (public & private)	S	S	--
Post-secondary educational institutions (public & private)	S	S	--
Religious institution	S	S	--
Private assembly, including banquet halls	S	--	--
INFRASTRUCTURE			
Essential Services	P	P	P
Communication Devices	A	A	A
Alternative Energy	A	A	A
SERVICES			
Bed & Breakfast or Inn	S	S	--

P=Principal, A=Accessory, S=Special Land Use

USES	NC	CN-Mid	GC
Funeral Homes	S	S	S
Nursing Homes	--	S	S
Business and professional offices, less than 15,000 square feet	P	--	P
Business and professional offices, 15,000 square feet or more	S	--	P
Financial services, including banks, less than 15,000 square feet	P	--	P
Financial services, including banks, 15,000 square feet or more	S	--	P
Homeless Shelter	--	--	P
Personal service establishments, less than 15,000 square feet	P	--	P
Personal service establishments, 15,000 square feet or more	--	--	P
Body Art Facilities	--	--	P
Offices for skilled trade services including but not limited to plumbing, electric, heating, and painting establishments	S	--	P
Printing services, including but not limited to: publishing, engraving, photo development, lithographing, silk screening and three-dimensional printing	S	--	S
Hotels & motels	--	--	P
Child Care Centers	P	--	P
Laundromats and dry cleaners, less than 15,000 square feet	P	--	P
Laundromats and dry cleaners, 15,000 square feet or more	--	--	P
Medical or dental offices, less than 5,000 sf	P	S	P
Medical or dental clinics, 5,000 to 10,000 square feet	P	--	P
Medical or dental clinics, 10,000 square feet or more	S	--	P
Veterinary hospitals and clinics	S	--	S
Kennels, commercial	--	--	S
Substance abuse treatment facilities	--	--	S
Catering services, less than 15,000 square feet	P	--	P
Catering services, 15,000 square feet or more	--	--	P
Self-storage	--	--	P
COMMERCIAL			
Retail stores, less than 15,000 square feet	P	--	P
Retail stores, greater than 15,000 square feet	--	--	P
Resale stores	P	--	P
Arts & crafts studios	P	--	P

P=Principal, A=Accessory, S=Special Land Use

USES	NC	CN-Mid	GC
Food stores, excluding sale of alcohol, less than 15,000 square feet	P	S	P
Food stores, with sale of alcohol, less than 15,000 square feet	S	--	P
Food stores greater than 15,000 square feet with or without sale of alcohol	--	--	P
Commercial Greenhouse	--	--	P
Farmers' market	P	S	P
Other open-air markets	P	--	P
Outdoor retail sales	S	--	S
Garage Sales	--	A	--
RESTAURANTS			
Carry-out and/or delivery restaurant	P	--	P
Café or coffee shop	P	--	P
Sit-down, with seating limit of 50 seats	P	--	P
Sit-down, no seating limit	--	--	P
Bar/Lounge	S	--	P
Tasting room and accessory to microbrewer/ small distiller/ small wine maker	S	--	P
Outdoor cafes	A	--	A
Fast Food	S	--	P
Drive through restaurant of any type	--	--	S
AUTO-ORIENTED			
Automobile Filling Station - no repair	S	S	S
Automobile Filling Station with repair	--	--	S
Parking lot	--	--	S
Parking Garage	--	--	S
Automobile Sales	--	--	S
Automobile Wash & Detailing	--	--	S
Automobile Repair	--	--	S
Automobile Share Parking	A	--	A
Automobile rental or share organization (parking, storage, wash & repair)	--	--	S
Vehicle, Recreational Vehicle, Storage and Towing	--	--	S
RESEARCH			
Laboratories	--	--	S
Research & Development	--	--	S
PRODUCTION, MANUFACTURING & DISTRIBUTION			
Craft production, clothing production or food production, less than 16,000 square feet	P	--	P

P=Principal, A=Accessory, S=Special Land Use

USES	NC	CN-Mid	GC
Craft production, clothing production or food production, 16,000 square feet or greater	--	--	S
Microbrewer/ small distiller /small wine maker, less than 16,000 square feet	P	--	P
Microbrewer/ small distiller /small wine maker, 16,000 square feet or greater	--	--	S
Wholesale or distribution facility with total gross floor area of less than 16,000 square feet	S	--	P
Wholesale or distribution facility with total gross floor area 16,000 square feet or greater	--	--	S
Medical Marijuana Growing/Manufacturing Facility	--	--	S
TEMPORARY USES			
Mobile Food Establishments	P	--	P
PERFORMANCE OR STRUCTURES REQUIRING SPECIAL LAND USE			
Operation between 2 a.m. and 6 a.m. during any 24-hour period	S	--	S
Drive through facilities	S	--	S
Ongoing outdoor retail sales or display	S	--	S
Outdoor storage	S	--	S
GARDENS/COMMUNITY GARDENS			
Community gardens	A	P	A
Passive solar building	A	A	A
Toolhouses, sheds, and other similar buildings for the storage of domestic supplies	--	A	--

Figure 7: Area Regulations

BUILDING TYPE		CN-MID	NC	GC
MA	Mansion	L	--	--
ES	Estate	P	P	--
HS	House	P	P	--
CO	Cottage	P	--	--
TH	Townhouse	P	P	--
AH	Apartment House	P	P	--
CA	Courtyard Apartment	--	P	P
AB	Apartment Building	--	P	P

BUILDING TYPE		CN-MID	NC	GC
CS	Commercial/Mixed-Use Small	--	P	P
CM	Commercial/Mixed Use Medium	--	P	P
CL	Commercial/Mixed Use Large	--	--	P
SC	Single Story Commercial Building	L	P	P
LS	Large Single Story Commercial Building	--	--	P
MB	Multiple Story	--	--	P
IT	Institutional	P	P	P

REZONING CONSIDERATIONS**122-362(b)**

*(b) **Zoning Map Amendment.** For a change in the Zoning Map, the Planning Commission shall consider and the City Council may consider, whether the proposed rezoning meets the following standards (with staff responses to each):*

(1) The rezoning is consistent with the policies, guiding values and City Framework (Future Land Use Map) of the Master Plan, including any subarea or corridor studies. If conditions have changed since the current Master Plan was adopted, the consistency with recent development trends in the area.

The rezoning is consistent with the guiding value of "Ypsilanti is a great place to do business, especially the green and creative kind" as this rezoning helps to foster a locally grown business. The future land use map indicates that for the outlying neighborhoods "Any non-residential uses, other than schools or parks, are located at the edges, not embedded within the neighborhood," as the River St properties are on the very edge of the outlying neighborhood this is consistent. On the other hand, all of the properties proposed to be rezoned are indicated as neighborhoods on the future land use map not corridor, the closest corridor is to the west on the other side of the river.

(2) The rezoning sustains the site's physical, geological, hydrological and other environmental features with the potential uses allowed in the proposed zoning district.

Storm water is a concern with this development however engineering will be reviewed as part of the site plan and special use application.

(3) The property proposed to be re-zoned can accommodate the requirements of the proposed zoning district.

The current use at 720 Norris is aligned with the zoning classification proposed. The depth of the River St parcels as surveyed range from 164.85' on the south end to 165' at the north end. If the applicant takes exactly 65' then these parcels would be under 100' in depth thus limiting the building types to on these sites to cottage or townhouse. **The use for the vacant parcels to the northeast may accommodate the requirements of the zoning if the eastern portions of the parcels that are to remain CN-Mid are maintained at 100' or more.**

(4) All the potential uses and building types allowed in the proposed zoning district are compatible with surrounding uses, buildings, and zoning in terms of land suitability, impacts on the environment, impacts on the transportation network, density, nature of use, aesthetics, infrastructure and potential influence on property values.

The current use at 720 Norris is aligned with the proposed zoning classification and is compatible with some of the surrounding uses. The change to GC for all of 720 Norris and the west 65' of the River St parcels limits building types to courtyard apartment, apartment buildings and commercial and increases the possibility for more intense commercial uses in the future. There should be little to no impact on the transportation network and infrastructure however there may be impacts on the property values, density and nature of use.

(5) The capacity of City infrastructure and services sufficient to accommodate the uses permitted in the requested district without compromising the health, safety, sustainability and welfare of the City.
The capacity is sufficient.

(6) The rezoning will not be detrimental to the financial stability and economic welfare of the City.
It will not be detrimental.

(7) The rezoning would not negatively impact the condition of any nearby parcels considering existing vacancy rates, current per-square-foot lease or sale rates, and other impacts.

It is unclear as to the impact on the two residential properties to the north of 720 Norris as well as the residences to the east, it may negatively impact these properties. However, historically the City has always had residences interspersed in its commercial areas. It should not have any effect on the commercial property at 730 Norris nor the industrial property to the west at 715 Norris.

(8) The rezoning is consistent with the trend of development in the neighborhood or surrounding area.

The rezoning allows for the expansion of an existing business in the area however the surrounding area directly to the north and east is primarily residential. The rezoning is consistent with the historical development in the neighborhood and surrounding area.

(9) The property in question was improperly zoned or classified when this Chapter was adopted or amended.

The property was zoned properly at the time as it allows for review of the special use by the planning commission with the possibility for conditions to be placed on the special use in order to ensure compatibility with the surrounding neighborhood. If rezoned as proposed a bar and a craft production under 16,000 sf would be permitted by right. Only a larger than 16,000 sf craft production would require the special use. However as zoned, the site is limited to 16,000 sf or less as a craft production facility.

(10) Where a rezoning is reasonable given the above criteria, a determination shall be made that the requested zoning district is more appropriate than another district or than amending the list of permitted or special land uses within a district.

The proposed rezoning is not the only option, the list of permitted uses for NC could be changed to add a special use for craft production of 16,000 sf or more and some limit could be placed on the size a parcel must be before a larger craft facility could be placed on the site however a rezoning may still be preferred for the N River St parcels. Another option is for a

Planned Unit Development. Another option is to rezone all of the parcels on the 700 block of Norris and the rear 65' of the N River St parcels to GC, however that option would make the two single family residences to the north nonconforming.

STAFF RECOMMENDATION

Staff recommends that the Planning Commission recommend ***approval*** of the rezoning for 720 Norris and the west 65' of 715-725 N River to General Corridor to City Council with the following condition and findings:

Condition

1. That the eastern portion of the parcels at 715-725 N River that are to remain CN-Mid be maintained at a 100' lot depth or more as anything less than that will limit the building types permitted on these parcels.

Findings

1. The rezoning is consistent with the guiding value of "Ypsilanti is a great place to do business, especially the green and creative kind" as this rezoning helps to foster a locally grown business.
2. The capacity of City infrastructure and services is sufficient to accommodate the uses permitted in the requested district without compromising the health, safety, sustainability and welfare of the City.
3. The rezoning will not be detrimental to the financial stability and economic welfare of the City.

Cynthia Kochanek
Preservation Planner, Community & Economic Development Division

c.c. File
 Applicant

ARBOR BREWING COMPANY - CORNER BREWERY
EXPANSION: LOT ACQUISITION & REZONING
- *MAP AMENDMENT (REZONING) APPLICATION* -





City of Ypsilanti
Planning & Development Department

Non-refundable fee:
\$1000

One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646 • Fax: (734) 483-7260
www.cityofypsilanti.com

MAP AMENDMENT (REZONING) APPLICATION

Applicant*

Name Wes Marchal		
Address 20446 Harper Ave		
City Harper Woods	State MI	Zip 48225
Phone / Fax 810-343-0075		E-Mail wmarchal@proteuscre.com

*If applicant is not owner of property, a written, notarized statement from the owner authorizing this application must be included.

Property

Name of project ABC - Corner Brewery Expansion: Lot Acquisition & Rezoning	
Address 720 Norris St., 725 / 723 / 721 / 719 / 717 / 715 N River St.	
List all parcel identification numbers included in request: "11-11-04-426": 004, 011, 012, 013, 014, 015, 016	
Current Zoning: Corner Brewery (NC) / N River St Lot (CN-Mid)	Proposed Zoning: GC - General Corridor
Circumstances, factors, and other relevant information (may continue on a separate sheet): Please refer to attached Supporting Document.	

Signature

I hereby attest that the above information is accurate. I am authorized to and grant permission to the City of Ypsilanti staff to be on the subject property for the purposes of preparing staff reports and/or evaluating this application.	
Signature:	Date:
Print Name: Wes Marchal	



**APPLICATION FOR MAP AMENDMENT / REZONING
SUPPORTING DOCUMENT**

Submitted to: City of Ypsilanti
Planning & Development Department
One South Huron
Ypsilanti, MI 48197

Applicant: Arbor Brewing Company – Corner Brewery
720 Norris St.
Ypsilanti, MI 48197
Wes Marchal – representative for Corner Brewery

Project: Corner Brewery Expansion: Lot Acquisition & Rezoning

Location: 720 Norris St & 715 - 725 River Street

Action: Variance from Zoning Ordinance for 720 Norris and Section of N River St Parcels

PROJECT AND SITE DESCRIPTION

The ownership of Arbor Brewing Company – Corner Brewery (“Corner Brewery”) is appealing to the Planning Commission for a variance from the zoning ordinance on select parcels to accommodate the expansion of Corner Brewery’s existing microbrewery and brewpub operation located at 720 Norris St. The proposed rezoning will impact 720 Norris (11-11-04-426-004)) and approximately 65’ of the adjoining properties targeted for acquisition, consisting of the vacant land at 715 – 725 N River St (“N River Street Lots”) (Parcels: 11-11-04-426-011 through -016) and the existing alley (“Subject Properties”). The building modifications will result in an improved footprint greater than 16,000 square feet, requiring additional application and approval for Special Land Use under *Zoning Ordinance: Article IV / Subdivision III: Sec. 122-451*.

SUMMARY OF PETITION and PROPERTY LOCATION

The ownership of the Corner Brewery is under contract to acquire the N River Street Lots, which are adjacent to the north-eastern property line of 720 Norris St. The Subject Properties are located on the north-east corner of Forest Ave. & Norris St (720 Norris St) and the south-west corner of Norris St. & N River St (N River Street Lots). The business case for the acquisition is to provide space for the reconfiguration and expansion of Corner Brewery’s existing facility, including increasing brewery operations & storage capacity and renovation of the kitchen. Arbor Brewing Company’s recent rebranding and conversion from bottles-to-cans has significantly improved customer demand, placing an even greater emphasis on the importance of increasing the production capacity at the Corner Brewery expeditiously. The project is an integral component of Arbor Brewing Company’s strategic growth initiative and will allow Ypsilanti to continue as the cornerstone of operations into the future.

The acquisition is contingent on obtaining the following for the Subject Properties:

- (i) Zoning Variance,
- (ii) Special Land Use, and
- (iii) Site Plan Approval.



The Subject Properties for rezoning encompasses the 720 Norris parcel and an approximately 65' section of the N River Street parcels running north-south along the adjoining property line, which includes the existing alley. The Subject Properties would be rezoned from their current districts (NC and CN-Mid, respectively) to GC – General Corridor. The balance of each vacant parcel with frontage along N River Street will remain under the existing district classification of CN-Mid for potential residential development in the future. Any increase in traffic will be insignificant as the expansion area will be primarily production space and storage. Corner Brewery's acquisition of the N River Street Lots also allows for a significant increase in parking capacity.

AERIAL PHOTOGRAPHS

The attached aerial details the N River Street land for acquisition and the areas impacted by the proposed rezoning.



The owner of the N River Street lots, Riverstreet Properties, LLC ("Seller"), is aware of these contingencies and is in support of the application for rezoning and future use of the Subject Properties. The attached letter from the Seller provides a statement of understanding and support for Arbor Brewing Company's plan (Exhibit I).



SUBJECT PROPERTIES FOR REZONING

Address	Parcel ID
720 Norris St	11-11-04-426-004

725 N River St	11-11-04-426-011
723 N River St	11-11-04-426-012
721 N River St	11-11-04-426-013
719 N River St	11-11-04-426-014
717 N River St	11-11-04-426-015
715 N River St	11-11-04-426-016

CURRENT & PROPOSED ZONING DESIGNATIONS

	Current		Proposed Rezoning*		No Change
Address	District	Use	District	Use	District / Use
720 Norris St	NC	Microbrewer, <16,000sf	GC	Microbrewer, >16,000sf	

					≈65'	≈100'
725 N River St	CN	Land		GC	Microbrewer, >16,000sf	CN / Land
723 N River St	CN	Land		GC	Microbrewer, >16,000sf	CN / Land
721 N River St	CN	Land		GC	Microbrewer, >16,000sf	CN / Land
719 N River St	CN	Land		GC	Microbrewer, >16,000sf	CN / Land
717 N River St	CN	Land		GC	Microbrewer, >16,000sf	CN / Land
715 N River St	CN	Land		GC	Microbrewer, >16,000sf	CN / Land

*The Proposed District for the River Street lots only impacts approximately 65' along the western property line (comprised of the vacated alley and a portion of the River Street lots).



Exhibit I:
Seller Letter of Support

March 19, 2018

Kenneth Schwartz
2474 Hickman Road
Ann Arbor, MI 48105

RE: Parcels (A-F) River Street
Ypsilanti, MI 48198

Dear Mr. Collins,

Please use this letter to demonstrate that you have my permission to rezone the above parcels located on River Street between Norris and Forest. Please let me know if I can be of further assistance.

Yours truly,

A solid black rectangular box used to redact the signature of Ken Schwartz.

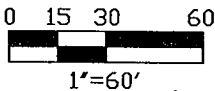
Ken Schwartz,
Manager, Riverstreet Properties LLC



Exhibit II:
Property Surveys
(Corner Brewery & N River Street Lots)

Nothing prevents a person from using the same property for more than one purpose, provided that the purposes are not inconsistent. The same property can be used for both residential and commercial purposes, for example. The same property can be used for both residential and commercial purposes, for example. The same property can be used for both residential and commercial purposes, for example.

CERTIFIED SURVEY



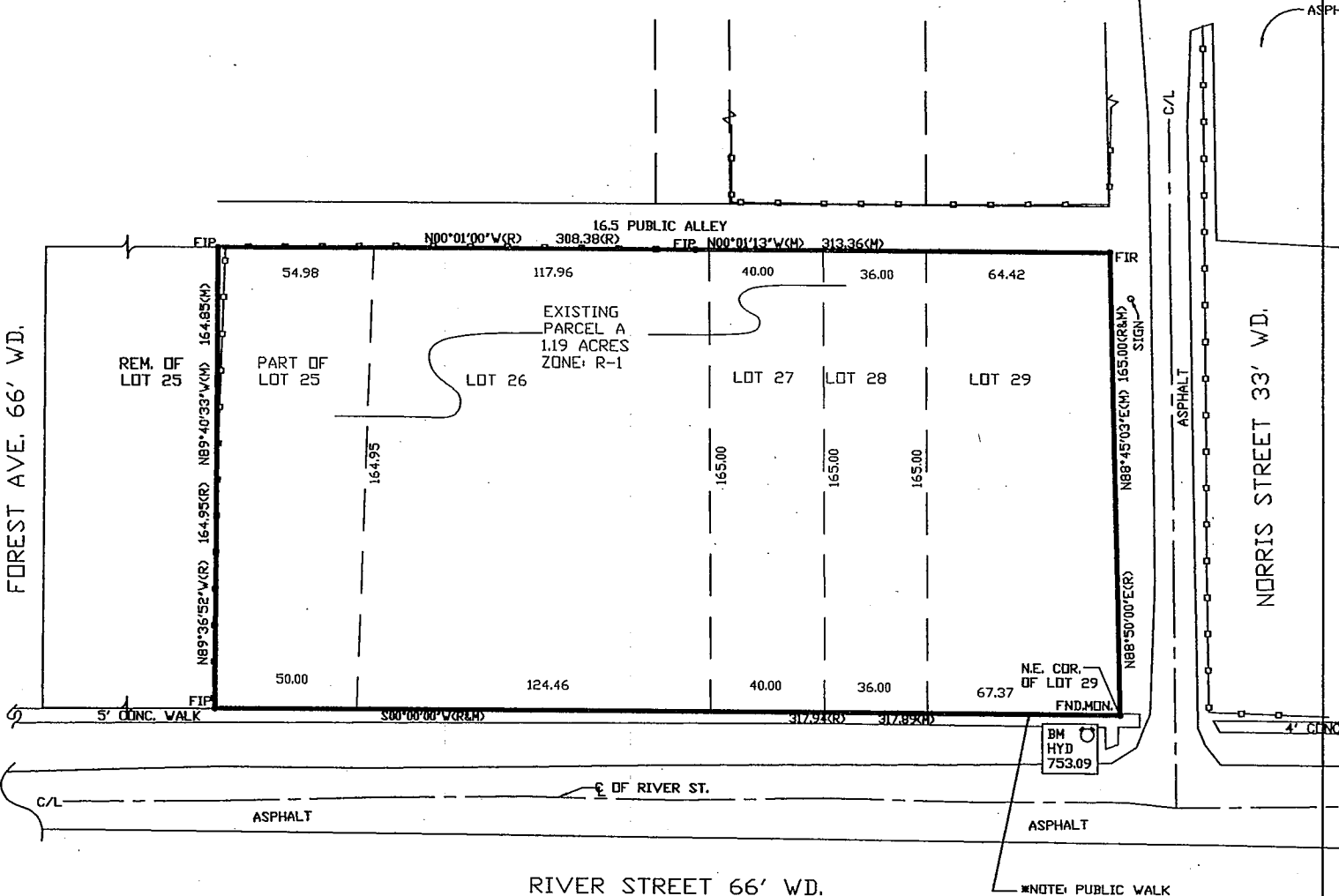
LEGAL DESCRIPTION:

PARCEL A

A PARCEL OF LAND BEING PART OF LOT 25, AND ALL OF LOTS 26, 27, 28, AND 29 OF 'ASSESSOR'S PLAT #7', CITY OF YPSILANTI, WASHTENAW COUNTY, MICHIGAN, AS RECORDED IN LIBER 9 OF PLATS, PAGE 33, WASHTENAW COUNTY RECORDS, AND FURTHER DESCRIBED AS: BEGINNING AT A CONCRETE MONUMENT FOUND AT THE NORTHEAST CORNER OF LOT 29 'ASSESSOR'S PLAT #7', THENCE S00°00'00"W (REC. & MEAS.), 317.94 FEET (RECORDED), 317.89 FEET (MEASURED) TO AN IRON PIPE FOUND ALONG THE WEST RIGHT-OF-WAY OF RIVER STREET; THENCE N89°36'52"W (RECORDED), N89°40'28"W (MEASURED), 165.06 FEET (RECORDED), 164.85 FEET (MEASURED) TO AN IRON PIPE FOUND ALONG THE EAST LINE OF PUBLIC ALLEY; THENCE N00°01'00"W (RECORDED), N00°01'13"W (MEASURED), 313.17 FEET (RECORDED), 313.36 FEET (MEASURED) TO AN IRON PIPE FOUND AT THE NORTHWEST CORNER OF LOT 29; THENCE N88°50'00"E (RECORDED), N88°45'03"E (MEASURED), 165.00 FEET (REC. & MEAS.) TO THE POINT OF BEGINNING.

CONTAINING 1.19 ACRES OF LAND.

SUBJECT TO ANY EASEMENTS, RIGHT OF WAYS, AND/OR RESTRICTIONS OF RECORD.



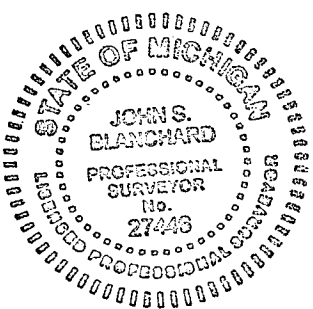
SURVEYOR'S CERTIFICATE - I HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED BY ME, OR UNDER MY DIRECT SUPERVISION, THAT I AM A PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF MICHIGAN, THAT THIS SURVEY COMPLIES WITH THE REQUIREMENTS OF SECTION 3,P.A. 132 OF 1970 AS AMENDED BY P.A. 280 OF 1972, AND THAT THE ERROR OF CLOSURE IS NO GREATER THAN 1 TO 5000.

LEGEND

- = FI = Found Iron
- = SCI = Set Capped Iron
- ⊙ = FCI = Fnd. Capped Iron
- (R) = RECORDED
- (M) = MEASURED

John S. Blanchard
JOHN S. BLANCHARD PS #27446

CLIENT: RIVER STREET PROPERTIES, L.L.C.



E.P. KUBISKE & ASSOCIATES, INC.
1430 E. MICHIGAN AVE.
YPSILANTI, MICHIGAN 48198-5906
(734) 481-1322
FAX (734) 481-2215

JOB # 04058	
DATE 8-15-06	SCALE 1"=60'
DWG. BY NW	BK PG
SHEET 1 OF 4	



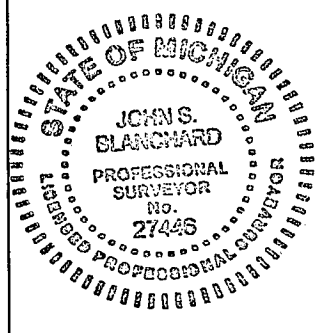
*NOTE: PUBLIC WALK
ENCROACHES ONTO
SUBJECT PROPERTY
BY 0.65± AS SHOWN.

LEGEND

- = FI = Found Iron
● = SCI = Set Capped Iron
◎ = FCI = Fnd. Capped Iron
(R) = RECORDED
(M) = MEASURED

JOHN S. BLANCHARD PS #27446

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1430 E. MICHIGAN AVE.
YPSILANTI, MICHIGAN 48198-5906
(734) 481-1322
FAX (734) 481-2215

JOB # 04058	SCALE 1"=60'
DATE 8-15-06	
DWG. BY NW	BK PG

SHEET 2 OF 4

LEGAL DESCRIPTION

PARCEL A

A PARCEL OF LAND BEING PART OF LOT 25, OF 'ASSESSOR'S PLAT #7 ' CITY OF YPSILANTI, WASHTENAW COUNTY, MICHIGAN, AS RECORDED IN LIBER 9 OF PLATS, WASHTENAW COUNTY RECORDS; MORE PARTICULARLY DESCRIBED AS:
BEGINNING AT A POINT ON THE WEST LINE OF RIVER STREET, 66 FEET WIDE, THAT IS S00° 00' 00"W, 267.89 FEET FROM THE FOUND MONUMENT AT THE S.W. CORNER OF LOT 29 OF SAID ASSESSOR'S PLAT # 7, WHICH IS ALSO THE S.W. CORNER OF RIVER STREET AND MORRIS STREET, 33 FEET WIDE;
THENCE CONTINUING S00° 00' 00"W, ALONG SAID WEST LINE, 50.00 FEET, TO A FOUND IRON PIPE;
THENCE N89° 40' 33"W, 164.85 FEET, TO THE EAST LINE OF A 16.5 FOOT PUBLIC ALLEY;
THENCE N00° 01' 13"W, 50.00 FEET ALONG SAID EAST LINE;
THENCE 89° 40' 33"E, 164.87 FEET, TO THE PLACE OF BEGINNING.

CONTAINING AN AREA OF 0.189 ACRES (82.43 SQ. FT.)

SUBJECT TO EASEMENTS AND RIGHTS OF WAY OF RECORD.

PARCEL B

A PARCEL OF LAND BEING PART OF LOT 25 AND LOT 26 OF 'ASSESSOR'S PLAT #7' CITY OF YPSILANTI, WASHTENAW COUNTY, MICHIGAN, AS RECORDED IN LIBER 9 OF PLATS, WASHTENAW COUNTY RECORDS; MORE PARTICULARLY DESCRIBED AS:
BEGINNING AT A POINT ON THE WEST LINE OF RIVER STREET, 66 FEET WIDE, THAT IS S00° 00' 00"W, 217.87 FEET FROM THE FOUND MONUMENT AT THE S.W. CORNER OF LOT 29 OF SAID 'ASSESSOR'S PLAT #7, WHICH IS ALSO THE S.W. CORNER OF RIVER STREET AND MORRIS STREET, 33 FEET WIDE;
THENCE CONTINUING S00° 00' 00"W, ALONG SAID WEST LINE, 50.00 FEET;
THENCE N89° 40' 33"W, 164.87 FEET, TO THE EAST LINE OF A 16.5 FOOT PUBLIC ALLEY;
THENCE N00° 01' 13"W, 50.00 FEET ALONG SAID EAST LINE;
THENCE N89° 40' 33"E, 164.89 FEET TO THE PLACE OF BEGINNING.

CONTAINING AN AREA OF 0.189 ACRES (82.44 SQ. FT.)

SUBJECT TO EASEMENTS AND RIGHTS OF WAY OF RECORD.

PARCEL C

A PARCEL OF LAND BEING PART OF LOT 26 OF 'ASSESSOR'S PLAT #7 'CITY OF YPSILANTI, WASHTENAW COUNTY, MICHIGAN, AS RECORDED IN LIBER 9 OF PLATS, WASHTENAW COUNTY RECORDS; MORE PARTICULARLY DESCRIBED AS;
BEGINNING AT A POINT ON THE WEST LINE OF RIVER STREET, 66 FEET WIDE, THAT IS S00° 00' 00"W, 167.87 FEET FROM THE FOUND MONUMENT AT THE S.W. CORNER OF LOT 29 OF SAID 'ASSESSOR'S PLAT #7, WHICH IS ALSO THE S.W. CORNER OF RIVER STREET AND MORRIS STREET, 33 FEET WIDE;
THENCE CONTINUING S00° 00' 00"W, ALONG SAID WEST LINE, 50.00 FEET;
THENCE N89° 40' 33"W, 164.89 FEET TO THE EAST LINE OF A 16. 5 FOOT PUBLIC ALLEY;
THENCE N00° 01' 13"W, 50.00 FEET ALONG SAID EAST LINE;
THENCE N89° 40' 33"E, 164.91 FEET, TO THE PLACE OF BEGINNING.

CONTAINING AN AREA OF 0.189 ACRES (82.45 SQ. FT.)

SUBJECT TO EASEMENTS AND RIGHTS OF WAY OF RECORD.

CLIENT: RIVER STREET PROPERTIES, L.L.C.

E.P. KUBISKE & ASSOCIATES, INC.
1430 E. MICHIGAN AVE.
YPSILANTI, MICHIGAN 48198-5906
(734) 481-1322
FAX (734) 481-2215

JOB # 04058	
DATE 8-15-06	
DWG. BY NW	BK PG
SHEET 3 OF 4	

LEGAL DESCRIPTION

PARCEL D

A PARCEL OF LAND BEING PART OF LOT 26 AND LOT 27 OF 'ASSESSOR'S PLAT # 7 'CITY OF YPSILANTI, WASHTENAW COUNTY, MICHIGAN, AS RECORDED IN LIBER 9 OF PLATS, WASHTENAW COUNTY RECORDS; MORE PARTICULARLY DESCRIBED AS; BEGINNING AT A POINT ON THE WEST LINE OF RIVER STREET, 66 FEET WIDE, THAT IS S00° 00' 00"W, 117.89 FEET FROM THE FOUND MONUMENT AT THE S.W. CORNER OF LOT 29 OF SAID 'ASSESSOR'S PLAT/# 7', WHICH IS ALSO THE S.W. CORNER OF RIVER STREET AND MORRIS STREET, 33 FEET WIDE; THENCE CONTINUING S00° 00' 00"W, ALONG SAID WEST LINE, 50.00 FEET; THENCE N89° 40' 33"W, 164.91 FEET TO THE EAST LINE OF A 16.5 FOOT PUBLIC ALLEY; THENCE N00° 01' 13"W, 50.00 FEET ALONG SAID EAST LINE; THENCE N89° 40' 33"E, 164.92 FEET TO THE PLACE OF BEGINNING.

CONTAINING AN AREA OF 0.189 ACRES (82.46 SQ. FT.)
SUBJECT TO EASEMENTS AND RIGHTS OF WAY OF RECORD.

PARCEL E

A PARCEL OF LAND BEING PART OF LOT 27 AND LOT 28 OF 'ASSESSOR'S PLAT # 7' CITY OF YPSILANTI, WASHTENAW COUNTY, MICHIGAN, AS RECORDED IN LIBER 9 OF PLATS, WASHTENAW COUNTY RECORDS; MORE PARTICULARLY DESCRIBED AS; BEGINNING AT A POINT ON THE WEST LINE OF RIVER STREET, 66 FEET WIDE, THAT IS S00° 00' 00"W, 67.89 FEET FROM THE FOUND MONUMENT AT THE S.W. CORNER OF LOT 29 OF SAID 'ASSESSOR'S PLAT # 7, WHICH IS ALSO THE S.W. CORNER OF RIVER STREET AND MORRIS STREET, 33 FEET WIDE; THENCE CONTINUING S00° 00' 00"W, ALONG SAID WEST LINE, 50.00 FEET; THENCE N89° 40' 33"W, 164.92 FEET TO THE EAST LINE OF A 16.5 FOOT PUBLIC ALLEY; THENCE N00° 01' 13"W, 50.00 FEET ALONG SAID EAST LINE; THENCE N89° 40' 33"E, 165.00 FEET TO THE PLACE OF BEGINNING.

CONTAINING AN AREA OF 0.189 ACRES (82.47 SQ. FT.)
SUBJECT TO EASEMENTS AND RIGHTS OF WAY OF RECORD.

PARCEL F

A PARCEL OF LAND BEING PART OF LOT 28 AND 29 OF 'ASSESSOR'S PLAT # 7 CITY OF YPSILANTI, WASHTENAW COUNTY, MICHIGAN, AS RECORDED IN LIBER 9 OF PLATS, WASHTENAW COUNTY, RECORDS MORE PARTICULARLY DESCRIBED AS; BEGINNING AT THE FOUND MONUMENT AT THE S.W. CORNER OF LOT 29 OF SAID ASSESSOR'S PLAT #7, WHICH IS ALSO THE S.W. CORNER OF RIVER AND MORRIS STREET, 33 FEET WIDE; THENCE ALONG THE WEST LINE OF RIVER STREET, 66 FEET WIDE S00° 00' 00"W, 67.37 FEET; THENCE N89° 40' 33"W, 165.00 FEET, TO THE EAST LINE OF A 16.5 FOOT PUBLIC ALLEY; THENCE N00° 01' 13"W, 64.42 FEET ALONG SAID EAST LINE TO A FOUND IRON ROD AT THE SOUTH LINE OF MORRIS STREET; THENCE N89° 40' 33"E, 164.87 FEET ALONG SAID SOUTH LINE TO THE PLACE OF BEGINNING.

CONTAINING AN AREA OF 0.249 ACRES (108.25 SQ. FT.)
SUBJECT TO EASEMENTS AND RIGHTS OF WAY OF RECORD.

CLIENT: RIVER STREET PROPERTIES, L.L.C.

E.P. KUBISKE & ASSOCIATES, INC.
1430 E. MICHIGAN AVE.
YPSILANTI, MICHIGAN 48198-5906
(734) 481-1322
FAX (734) 481-2215

JOB #04058	
DATE 8-15-06	
DWG. BY NW	BK PG
SHEET 4 OF 4	



Owner's Representative:

Wesley Marchal

wmarchal@proteuscre.com

810.343.0075

Agenda
Planning Commission
Wednesday, 13 April 2018 – 7:00 P.M.
City Hall-Council Chambers, 1 S Huron St
Ypsilanti, MI 48197

Presentations and Public Hearing Items

- **534 N Huron**
Public Hearing: Special Use & Site Plan



April 11, 2018

**Staff Review of Site Plan & Special Use Application
Party Store Expansion
528-534 N Huron**

GENERAL INFORMATION

Applicant: Tom Tamou
3102 Farmdale Dr.
Sterling Heights, MI 48314

Project: Party Store Expansion-534 N Huron

Application Date: March 21, 2018

Location: Southeast corner of N Huron and W Forest

Zoning: NC-Neighborhood Corridor

Action Requested: Approval of site plan and special use for the expansion of a food store with the sale of alcohol, less than 15,000 sf

Staff Recommendation: Conditional approval

PROJECT AND SITE DESCRIPTION

The total for the three parcels is 0.434 acres; this includes 528 N Huron, 530 N Huron and 534 N Huron St addresses, parcels # 11-11-40-105-022, 11-11-40-105-021 and 11-11-40-105-029 with frontage on N Huron and W Forest. There is an existing ~1,200 square foot commercial building at 530 N Huron that partially encroaches on the 528 N Huron parcel and a ~2,700 square foot commercial building on the 534 N Huron parcel. The parking lot is to the south of 534 N Huron with approximately 19 spaces. There are three curb cuts for access, two on N Huron and one on W Forest. No special use permits or variances have been granted for these properties.

Zoned **NC- Neighborhood Corridor**, which only allows for a food store with the sale of alcohol, less than 15,000 square feet after approval as a special land use. The plans submitted propose a 3,520 square foot addition to the existing 2,774 square foot building for a total of 6,294 square feet at the northwest corner of the parcels with a demolition of the existing structure at 530 N Huron. Parking is proposed to the south of the structure with 20 parking spaces, 1 of which indicated as an accessible parking space. The existing structure is nonconforming in regards to street setbacks on the N Huron and W Forest street sides. The existing northern curb cut on N Huron St will be eliminated and the existing southern curb cut on N Huron St will be moved. The three parcels will need to be combined in

order to accommodate the proposed use as a parking lot cannot be a primary use in Neighborhood Corridor.

Figure 1: Subject Site Location



Figure 2: Site Aerial (2015)



Figure 3: Google image of site-looking southeast



Figure 4: Google image of site-looking north east from N Huron



Figure 5: Land Use and Zoning of Surrounding Area

	LAND USE	ZONING
NORTH	DPS Yard Multi-family residential	GC- General Corridor CN-Core Neighborhood
EAST	Single Family residential Rehab Center	NC-Neighborhood Corridor NC-Neighborhood Corridor
SOUTH	Single & Multi-family residential	CN-Core Neighborhood
WEST	Single Family residential	NC-Neighborhood Corridor

SPECIAL USE: CRITERIA AND REVIEW

§122-324(b)

- (1) *The proposed use conforms with all the provisions and requirements of this chapter, including site plan or sketch plan review standards, as applicable, and the applicable site development standards for the specific use, as well as the spirit and intent of this chapter and the Master Plan. The location, scale, and intensity of the proposed use shall be compatible with adjacent uses and the zoning of the land. Height, location and size of buildings shall be compatible with uses and buildings on adjacent properties. The intensity of the proposed use, such as volume, frequency and times of operation, and its compatibility shall be considered. If nonconformities are present, all reasonable effort has been made to eliminate them.*

COMMENTS: The location, scale, and intensity of the proposed use is compatible with adjacent uses as these uses already exist on the property, the only difference is that they are now to be combined and expanded by about 2,200 sf. The height, location of the buildings will not drastically change. The intensity of

the proposed special use will increase. The times of operation have not been discussed, but are not expected to change. The street setbacks on the existing building at 534 N Huron are existing nonconforming, no change is planned on the W Forest side however the nonconformity is proposed to be increased on the N Huron St side.

- (2) *The proposed use shall promote the use of land in a socially and economically sustainable manner and shall not be detrimental, hazardous, or disturbing to existing or future neighboring uses, persons, property or public welfare. Noise, odor, smoke and potential contamination of air, soil and water and its potential effect on neighboring uses, persons and property, as well as public welfare, shall be considered.*

COMMENTS: The proposed use is the same as what currently exists on the site it is just an expansion of the use and as such it is not expected to be detrimental, hazardous, or disturbing to existing or future neighboring uses, persons, and property or public welfare. Historically houses have always been surrounded by commercial properties in the City. Noise, odor, smoke and potential contamination of air, soil and water and its potential effect on neighboring uses, persons and property, as well as public welfare should not be affected. The applicant will need to address screening from the conflicting land uses as staff indicates in the site plan review.

- (3) *The proposed special land use shall be designed, constructed, operated and maintained to assure long-term compatibility with surrounding land uses. Consideration shall be given to the placement, bulk, and height of structures; materials used in construction; location and screening of parking areas, driveways, outdoor storage areas, outdoor activity areas, and mechanical equipment; nature of landscaping and fencing; and hours of operation.*

COMMENTS: 534 N Huron has been used as a store since prior to 1927 and the 530 N Huron was constructed back the mid to late 20th century. As mentioned before the height of the building at 534 N Huron will only be increased by 2" thus the height of the structure is similar and the placement on the site will not change for 534 N Huron but 530 N Huron is proposed to be removed and the massing of the structure at the northwest corner of the property will be different. Landscaping will need to be administratively reviewed by staff at a later time. The materials used in construction will be carefully reviewed by the Historic District Commission to ensure compatibility to the area.

- (4) *The proposed special land use shall not present unreasonable adverse impacts on the transportation system. Consideration shall be given to the estimated pedestrian, bicycle and vehicular traffic generated by such use, access to transit, proximity to major thoroughfares, proximity to intersections, required vehicular turning movements, and provisions for pedestrian and bicycle traffic.*

COMMENTS: The proposed use is a potential employer, and is conveniently located to bus transit as well as local roads. Employee traffic can be reasonably expected to be minimal however retail/restaurant traffic may increase and it is unclear as to how often the proposed use will utilize long-wheelbase vehicles, such as box trucks or semi-trucks. The property has a walk score of 78 (very walkable) and a transit score of 41 (some transit).

- (5) *The proposed use shall not create additional requirements at public cost for public facilities and services that will be detrimental to the economic sustainability of the community.*

COMMENTS: None are anticipated at this time.

CONDITIONS OF APPROVAL

§122-326

"Reasonable conditions may be required in conjunction with an approval. The conditions may include conditions necessary to ensure that public services and facilities affected by a proposed land use or activity will be capable of accommodating increased service and facility loads caused by the land use or activity, to conserve natural resources and energy, to ensure compatibility with adjacent uses of land, and to promote the use of land in a socially and economically desirable manner. Conditions imposed must do all of the following:

- (1) *Be designed to protect natural resources, the health, safety, and welfare, as well as the social and economic well-being.*
- (2) *Be related to the valid exercise of police power and purposes which are affected by the proposed use or activity.*
- (3) *Be necessary to meet the intent and purposes of this chapter, be related to standards established in this chapter, and be necessary to ensure compliance with those standards."*

Items to be addressed:

1. Special use approval shall be subject to approval of the site plan.

SITE PLAN: CRITERIA AND REVIEW

§122-311

STANDING

§122-311(a)

The applicant is legally eligible to apply for site plan review, and all required information has been provided.

REQUIREMENTS

§122-311(b)

"The proposed site plan conforms with all the provisions and requirements, as well as the spirit and intent of this chapter and the Master Plan. The proposed development will meet all the regulations of the zoning district in which it is located."

Figure 6: Requirements

Note: Staff has reviewed this project under the assumption that all three parcels will be combined. The figures below reflect that.

ORDINANCE REFERENCE		REQUIRED		EXISTING CONDITIONS	PROPOSED
NC: §122-466	BUILDING TYPE	Determined by lot size		Single story commercial	Unchanged
LOT REQUIREMENTS					
Width ft	Min 50	Max 300	169.75'	Unchanged	
Depth ft	Min 100	Max 300	101.31' at north side 148' at southern 46.9'	Unchanged	
Area sf	Min 7,500	Max 90,000	~18,945.7	Unchanged	
Coverage %	Min -	Max 60%	~33%	Meets	
BUILDING ENVELOPE AND HEIGHT					

ORDINANCE REFERENCE	REQUIRED		EXISTING CONDITIONS	PROPOSED
Street setback (front or side) ft	Min 5	Max 15	W Forest: ~1' N Huron: ~0'	Does not meet, existing nonconforming on W. Forest and an extension of the nonconformity on the N Huron St side, <i>variance required</i>
Side setback ft	Min 0	Max -	31' – 35'	Meets
Rear setback ft	Min 15 (25 if adjacent to existing SF)	Max -	~73'	Meets
Frontage buildout %	Min 50	Max 100	~70%	Meets
Height stories	Min 1	Max 1	1 (@17.6')	Meets
PARKING PROVISIONS	Location: Side, street side and rear yard		Street side and rear yards	Meets
PRIVATE FRONTAGES	Required: Commercial		W Forest: none N Huron: partial	Entrance is on the south/parking lot side of the building
Distance between openings (ft)	Min -	Max 2	N Huron: 2.5' to 24.5'	Does not meet
Door recess (ft)	Min -	Max 5	not indicated on plans	Unknown
Ground floor transparency (%)	Min 60	Max -	W Forest: 0% N Huron: 56/1728=3%	Does not meet
Height to bottom of window (ft)	Min -	Max 2.5	6'	Does not meet
Setback from curb (optional awning/gallery) ft	Min 2	Max -	Optional	N/A
Clear depth – awning (ft)	Min 4	Max 10	Optional	N/A
Clear depth – gallery (ft)	Min 8	Max 10	Optional	N/A

ORDINANCE REFERENCE	REQUIRED		EXISTING CONDITIONS	PROPOSED
Clear height (ft)	Min 8	Max -	Optional	N/A
Yard requirements	Must be landscaped/pervious, with a path at least 6' wide connecting the building entrance to the sidewalk			~4.5' clear path with the bollards, does not meet <i>Staff note: this will be less of an issue if the building entrance is on the N Huron St side.</i>

Items to be Addressed:

1. Applicant to pursue a variance for the street side setback on N Huron St.
2. Applicant is to comply with the commercial private frontage requirements for the N Huron and W Forest frontages, including transparency.
3. Applicant to provide a path at least 6' wide connecting the building entrance to the public sidewalk.

BUILDING LOCATION AND SITE ARRANGEMENT

§122-311(c)

"All elements of the site plan shall be harmoniously and efficiently organized in relation to the character of the proposed use, the size and type of lot, the size and type of buildings, and the character of the adjoining property. The site shall be so developed as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter."

The applicant is planning an addition to the existing building at the northwest corner of the parcels and is proposing the demolition of the existing structure at 530 N Huron. Building frontage is on N Huron and W Forest. The building is currently set up with an entrance at the southwest corner of the building. The applicant has proposed to move the entrance several feet to the east so that it is now completely in the rear/south side of the building. The parking lot is to the south of the structure in the street side and rear yards with 20 parking spaces indicated as well as bike parking and a dumpster enclosure at the east side of the parking lot. A generator will be to the east of the building along with a truck loading area. There is an existing split rail fence and a 6' wood privacy fence running the length of 15 W Forest on the east side of the property. The split rail fence appears to be on the applicant's side of the property and the 6' privacy fence on the 15 W Forest side, the privacy fence appears to have some stability issues back in 2016. The area also seems to have some vegetation overgrowth on the applicant's side of the fence at that time. There is no existing or proposed fencing on the south side of the project area.

Items to be Addressed:

1. Applicant to provide screening between the conflicting land uses to the east and south of the site. Screens must be a wall, fence, or landscape buffer at least six (6) feet in height and at least 80% opacity.

SITE ACCESS, TRAFFIC, AND PARKING

§122-311(d)

"With respect to vehicular and pedestrian circulation on the site, including walkways, interior drives, and parking; circulation shall to the extent possible create potential cross-and joint-access to adjacent parcels and the existing block layout. Special attention shall be given to the location, number and spacing of ingress and egress points; general interior circulation including turnaround areas; adequate provisions for delivery of services (trash

removal, school buses, mail and parcel delivery); separation of pedestrian and vehicular traffic; avoidance of building corners next to access drives; identification of addresses; storage of plowed snow; and arrangement of parking areas that are safe and convenient, and insofar as practicable, do not detract from the design of the proposed buildings and structures, neighboring properties, pedestrian and bicyclist safety, access to transit and flow of traffic on adjacent streets. All buildings or groups of buildings shall be so arranged as to permit adequate access by emergency vehicles as required by the city building code."

Access points for vehicles are at the southern end of the parcels on N Huron and the eastern end of the W Forest side. The existing drive on the east side of the site appears to be in poor condition and the existing striping and pavement for the parking lot are in poor/fair condition. Bikes and pedestrians can also access the site via the curb cuts and the sidewalks on W Forest and N Huron, the sidewalks surrounding the structure appear to be in good condition. The proposed internal walkway to the south of the building is approximately 4.5' due to the proposed installation of the bollards within the walkway. The walkway to the east of the building does not run the full length of the building. This appears to be due to the shape of the existing building on W Forest and the clearance for the access drive. However there is 24' available for the access drive, a 4' pathway may still be possible or this access drive could be signed for loading and emergency access and possibly reduced to accommodate the required walkway. A bus stop for AAATA route 3 stops just to the northwest in front of 202 W Forest. Bike parking is indicated at the southeast section of the lot near the dumpster enclosure and will probably see little use in this area as it is about 125' from the entrance.

Figure 7: Site access, traffic and parking

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
§122-607 Building entrances	No principal building can be placed on a lot unless the building is situated in such a manner that the front entry into the building faces the street to which the property is addressed.		The entrance does not face the street to which it is addressed.
NC: §122-670 CIRCULATION STANDARDS	CN, C, HC, NC, GC, HHS: Sites <3 acres: circulation plan to ID potential cross and joint access to adjacent parcels Sites >3 acres: block plan		None included with plans, not required by staff due to site limitations.
§122-685 PARKING Dimensions	• 9'x18' minimum, exceptions if adjacent to wall or overhang provided • May have 20% small car (8'x16', signed) • May have 10% motorcycle (5x8', signed)		• 9'x18' parking dimensions proposed, meets
§122-685 BARRIER FREE	Barrier free parking spaces must be provided in accordance with the state barrier free design requirements.		Shall provide a van-accessible barrier free space.

§122-683	Access	5' walkway from parking lot to parks, commercial, transit, walkways, institutions; raised/marked crosswalks within parking lot		A full walkway is not proposed for east side of the building and only a 4.5' clearance on the south walkway, does not meet
	Ingress & Egress	• Aligned across ROW, or offset by 25' • >50' from intersection • 20'-30' driveway		• Meets • N Huron: 125' and W Forest: 70', meets • N Huron: 25' and W Forest: 24', meets
	Internal Maneuvering	Minimum of 10' in width		24' – 28', meets
	Surfacing	durable bonded material in accordance with accepted engineering standards, or alternative surfacing materials to minimize impervious surface and stormwater runoff		No indication that surfacing was an issue on the engineering review, meets
	Drainage	graded and drained to public storm sewers		Insufficient data provided, see engineering letter
	Setback from adjacent lot	Parking areas are required to be 10' from any adjacent lot		~2' from the lot to the south, does not meet
	Striping	outlined with three-inch wide strips of white or yellow paint, except that barrier-free spaces shall be blue, with a symbol of compliance in blue, and signed in accordance with the State Barrier-Free Code		Meets
	Wheel Stops	Wheels stops or curbing must be provided		Curbing provided, meets
	Lighting	parking and loading facilities utilized during night-time hours shall be artificially illuminated and meet requirements in 122-609		Photometric and lighting plan provided, see below for more detail
§122-684	Screening & Landscaping (internal)	1 tree per 8 spaces		Landscaping plans not included, applicant to provide
		1 landscape island for each 16 spaces		N/A

	Screening & Landscaping (perimeter)	Islands w trees: 9' wide min and 160' sf Islands w 5' min walkway: 11' wide min Islands: curbed or used for stormwater		No trees indicated
		All aisle-ends & corners protected w curbed island		Meets
		3' between curb and planting (5' if vehicle overhang)		No plantings indicated
		Screened in accordance with 634 if abutting R1, MD, CN, CN-Mid, CN-SF		Applicant to provide screening for the parking at the south lot line
		3'-4' screen 80% opacity where visible from ROW		Does not meet
		Landscaped areas, walls, structures, walks- must be protected by curbing		Meets, no landscaping indicated on plans
§122-691	Motor spaces	Other retail uses: 1/250 gross floor area Restaurant: 1 for each 50 square feet of customer waiting and eating areas, plus 1 for each employee in the largest employment shift	Note: Staff figures for the retail and restaurant space and the applicant's figures differ. Applicant to provide proof of figures.	Retail: $4642/250=19$ spaces Restaurant: $122.5/50=3$ spaces 2 employees on largest shift= 2 spaces Total required: 24 spaces, 20 proposed including on accessible space, does not meet, engineering has concerns about the location and access to the accessible parking space
§122-693	Bicycle spaces	1 per 5 motor spaces, minimum of 2		4 required, 8 proposed, no indication of type or if they are covered on the plans, also over 100' away from entrance
§122-692	Parking discounts	Transit		115' to closest bus stop, n/a
		Alternative Vehicles		None proposed

		Bicycle		Shower provided, but no indication of covered bike parking in addition to the 4 required spaces. Applicant to provide covered bike parking for 8 bike spaces in addition to the 4 required spaces for a parking discount of 2 spaces.
		PC discretion, special circumstances not listed above		A waiver is requested for an additional 2 parking spaces (8%) due to site constraints
§122-672	SIDEWALKS	provide a sidewalk or shared-use path		5' sidewalks already exist in the ROW and appear in good condition
§122-675	TRAFFIC VISIBILITY	Maintain shrubs/other obstructions lower than 30" and trees/other obstructions higher than 8': At driveway: within a 10'x10' triangle formed by the street ROW line and the edge of the driveway At intersection: within a 25' x 25' triangle formed by an extension of the property lines, as measured from the pavement edges.		No landscaping plan provided, cannot determine.
§122-695	Off-street loading	Commercial-5,000 – 19,999=1 space at 10' x 50'		What appears to be a loading space is provided on the east side of the property at about 10' x 50', engineering requested that it be labeled.

Items to be Addressed:

1. Applicant to move the entrance of the building to the N Huron St side so that it faces the street to which it is addressed.
2. Applicant to provide a van-accessible barrier free space.
3. Applicant to provide a 5' wide or greater walkway from the parking lot to the right-of-way.
4. Applicant to address all conditions as listed in the engineering letter from OHM dated April 10, 2018.

5. Applicant to move the parking area at the south of the lot so that it is the required 10' from the adjacent lot to the south.
6. Applicant to provide screening for the parking at the south lot line
7. Applicant to provide a 3'-4' screen at 80% opacity where the parking lot is visible from ROW.
8. Applicant to provide covered bike parking for 8 bike spaces in addition to the 4 required bike spaces for a parking discount of 2 spaces.
9. An 8% wavier is requested from §122-691 for two parking spaces, due to site constraints.

ENGINEERING & STORMWATER

§122-311(f), §122-311(g)

(6) Adequate services and utilities including sanitary sewers shall be available or provided, with sufficient capacity to properly serve the development. Appropriate measures will be taken to ensure that site drainage will not adversely affect adjoining properties or the capacity of the public storm drainage system, or nearby bodies of water. Provisions shall be made to accommodate stormwater and prevent soil erosion. All stormwater management facilities, including but not limited to storm sewers and detention/retention facilities, shall be designed in accordance with the "Rules of the Washtenaw County Water Resources Commissioner," together with any special provisions established by the city.

(7) Natural resources will be protected to the maximum feasible extent. The proposed development will not cause soil erosion or sedimentation problems, and will respect floodways or floodplains on or in the vicinity of the subject property.

Engineering is required due to an increase in impervious surface area on site.

Items to be Addressed: See engineering review for details and changes requested on storm water, the accessible parking space, turning radius, landscaping and loading space.

SCREENING

§122-311(h)

"The site plan shall provide reasonable visual and sound privacy for all dwelling units on or adjacent to the property. Fences, walls, barriers, and landscaping shall be used, as appropriate, for protection and enhancement of the property. All outdoor storage of materials, loading and unloading areas, and refuse containers shall be screened or located so as not to be a nuisance. Outdoor lighting shall be shielded so as to not adversely affect neighboring properties or traffic on adjacent streets."

Figure 8: Screening

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
§122-609 Lighting	• Dark Sky compliant; may be full cutoff where affecting residential uses • not >0.5 fc @ lot line • not >16'in height • not < 0.3 fc		• Meets • Greater than 0.5 fc at all lot lines • photometric does not indicate the figures all the way to the lot line on the east side of site. • Applicant to ensure that the 3 pole lights on the south are 16' in height or less

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
§122-608 Refuse Containers	masonry enclosure 1' taller than dumpster (no less than 6'), in rear yard, 80% opaque swing door, on a concrete pad		No indication of any issue on the engineering review, meets
§122-631 Landscape plan			Applicant to provide a landscape plan for staff review
§122-634 Screening Between Land Uses <i>if conflicting use</i>	visual buffer of at least 80% opacity and 6' height		Does not meet, applicant to provide
§122-636 Street Trees	1 tree per 30' of lineal frontage, centered between sidewalk and back of curb: N Huron: $170'/30' = 6$ trees		No street trees are provided on W Forest frontage due to space constraints. Waiver requested. 3 street trees may be possible on N Huron, waiver for the remaining 3 due to space constraints.
§122-638 Site Landscaping	10%		Applicant to provide a landscape plan for staff review
§122-640 Exterior Electrical	Screen when visible from any primary visual exposure area		Screened by building
§122-632 Landscape Elements	Quality, composition, berms, spacing, species		Applicant to provide a landscape plan for staff review
	Credit for existing vegetation		None
§122-633 (d)(e) Maintenance	Readily available and acceptable water supply; may install underground sprinkler system		Applicant to indicate maintenance plan on the landscape plan
§122-635 Fencing, hedges, walls, berms	NC front and street side yard- no more than 6' in height side and rear yards – max 10'		None proposed in the front or street side yard

Items to be Addressed:

1. Applicant to provide a clearer photometric that indicates the measurements all the way to the lot line on the east side of the site for administrative review.
2. Applicant to shield lights or otherwise ensure lights do not exceed 0.5 fc at all lot lines and to ensure that the 3 pole lights on the south side of the lot are 16' in height or less at final finished height.
3. Applicant to provide a visual buffer of at least 80% opacity and 6' height between the conflicting land uses to the east and south of the site.
4. Waiver requested from 122-636, Street Trees, due to lack of available space on W Forest and for 3 trees on N Huron.
5. Applicant to provide three street trees on the N Huron St side of the property.
6. Applicant to provide a landscaping plan.

PHASING

§122-311(i)

"Separate phases of development shall be in logical sequence, and each phase shall stand alone so that no one phase will depend upon a subsequent phase for adequate access, public utility services, drainage, or other improvements."

Phasing is not indicated on the plans.

OTHER DEPARTMENT AND AGENCY APPROVALS

§122-311(j)

"Site plans shall conform to all applicable requirements of state and federal statutes, including health and pollution laws, fire or explosion hazards, toxic and hazardous materials, and barrier-free requirements. Site plan approval may be conditioned on the applicant receiving necessary county, state, or federal permits before a local building permit or occupancy permit is granted."

HISTORIC DISTRICT

All three properties are within the Ypsilanti Historic District. The demolition of the existing building at 530 N Huron will need to be approved by the Historic District Commission as well as the plans for site and building prior to the start of work on this project.

DEPARTMENT OF PUBLIC SERVICES

The applicant is responsible for obtaining permits from the Department of Public Services before beginning work on any portion of the City right-of-way, including sidewalks, curbs, and driveways on N Huron and W Forest.

FIRE DEPARTMENT

As applicant is requesting a curbcut closure and changes to parking area circulation, Fire Department review is required. Fire Department has no objection to the proposed changes but would like to ensure that the dumpster remains more than 10' from the structure. The proposed dumpster location is approximately 80' from the structure.

MASTER PLAN CONSIDERATIONS

§122-311(k)

"An objective of site plan review shall be to protect and promote public health, safety, sustainability and general welfare. It is also the intent of site plan review to improve the quality of existing developments as they are expanded, contracted, or redeveloped in keeping with sound site development standards of this chapter and city master plan."

Easily walk, bike, drive or take transit from anywhere. This action brings a larger convenience store/retail space to the City that is a short walk from the bus stop across the street and is walkable.

Great place to do business, especially green and creative. This action may retain existing businesses.

STAFF RECOMMENDATIONS: SPECIAL USE

Staff recommends the Planning Commission *table* the Special Use Permit for the Party Store Expansion at 534 N Huron as it's subject to approval of the site plan.

STAFF RECOMMENDATIONS: SITE PLAN

Staff recommends the Planning Commission *table* the Site Plan for Party Store Expansion at 534 N Huron subject to the ZBA review of the variance from the street side setback on the N Huron frontage and HDC review of the demolition of 530 N Huron.

Cynthia Kochanek
Preservation Planner, Community & Economic Development Department

CC File
 Applicant
 Architect: JSN AIA



April 10, 2018

City of Ypsilanti Planning and Development Department
534 North Huron Street
Ypsilanti, Michigan 48197

Attention: Ms. Bonnie Wessler

Regarding: 534 N Huron St
Site Plan Review No. 1
OHM Job No. 0094-18-1020

Dear Ms. Wessler:

The applicant is requesting site plan approval for the expansion of an existing commercial store. An existing restaurant will be demolished and added on to the existing commercial store.

We have completed the first site plan review of the plans dated March 3, 2018 for compliance with local ordinances and general engineering standards.

At this time, the plans are not recommended for approval. The following comments shall be addressed prior to resubmitting plans for approval. Preliminary detailed engineering comments have also been provided for the applicant's benefit to aid in the preparation of the detailed engineering drawings, but do not significantly affect the overall site plan layout.

SITE PLAN REVIEW COMMENTS:

1. The applicant shall provide a preliminary stormwater narrative on the plans that includes an explanation of how the additional impervious surface area will be treated. The narrative shall include a description of the proposed Best Management Practices (BMPs), if any. All BMPs shall be clearly shown and labeled on the plans. The applicant shall also provide preliminary stormwater calculations in accordance with the Washtenaw County Water Resources Commissioner's (WCWRC) Standards.
2. The applicant shall relocate the proposed handicapped parking space to be as close to the main entrance as possible. The applicant shall also dimension the proposed accessible parking space to indicate ADA compliance. In addition, the applicant shall also provide a minimum of one (1) ADA "van-accessible" parking space with a 90-inch wide access aisle to comply with ADA standards.
3. The applicant shall provide spot grades at all four corners of proposed ADA parking spaces, sidewalks, and level landings as well as at 50-foot intervals along the proposed sidewalks to ensure ADA compliance.
4. The applicant shall provide ADA compliant sidewalk ramp details on the plans (i.e. MDOT R-28 series, etc.).
5. The applicant shall provide the bollard detail on the plans. The applicant shall also note that there shall be a minimum of 36-inches between the bollard and the side of the building per ADA standards.
6. The applicant shall provide dimensioned truck turning templates on the plans to ensure site circulation can adequately accommodate a standard fire apparatus or the largest truck anticipated to traverse the site.



7. The applicant shall provide a landscape plan. The applicant shall also overlay the existing and proposed utilities on the landscape plan to ensure that there are no trees directly on any utility lines.
8. The applicant shall label the loading space on the plans.

PRELIMINARY DETAILED ENGINEERING REVIEW COMMENTS:

1. The applicant shall clarify the location of the proposed building downspouts and how they tie-in to the proposed stormwater management system.
2. Any improvements to the water or sanitary sewer systems will require review and approval from YCUA.
3. Review and approval from the Fire Department is required. Building fire suppression and hydrant location requirements will be determined by the Fire Department.

The applicant is advised that review and approval of detailed engineering plans is required prior to start of construction.

If you have any questions, please contact us at (734) 522-6711.

Sincerely,
OHM Advisors



Jessica Katers, P.E.



Jessica Howard

CC: Stan Kirton, Department of Public Works
Scott Westover, YCUA
File

P:\0000_0100\SITE_YpsilantiCity\2018\0094181020_534_N_Huron\N Huron_SP #1_2018-4-10.docx

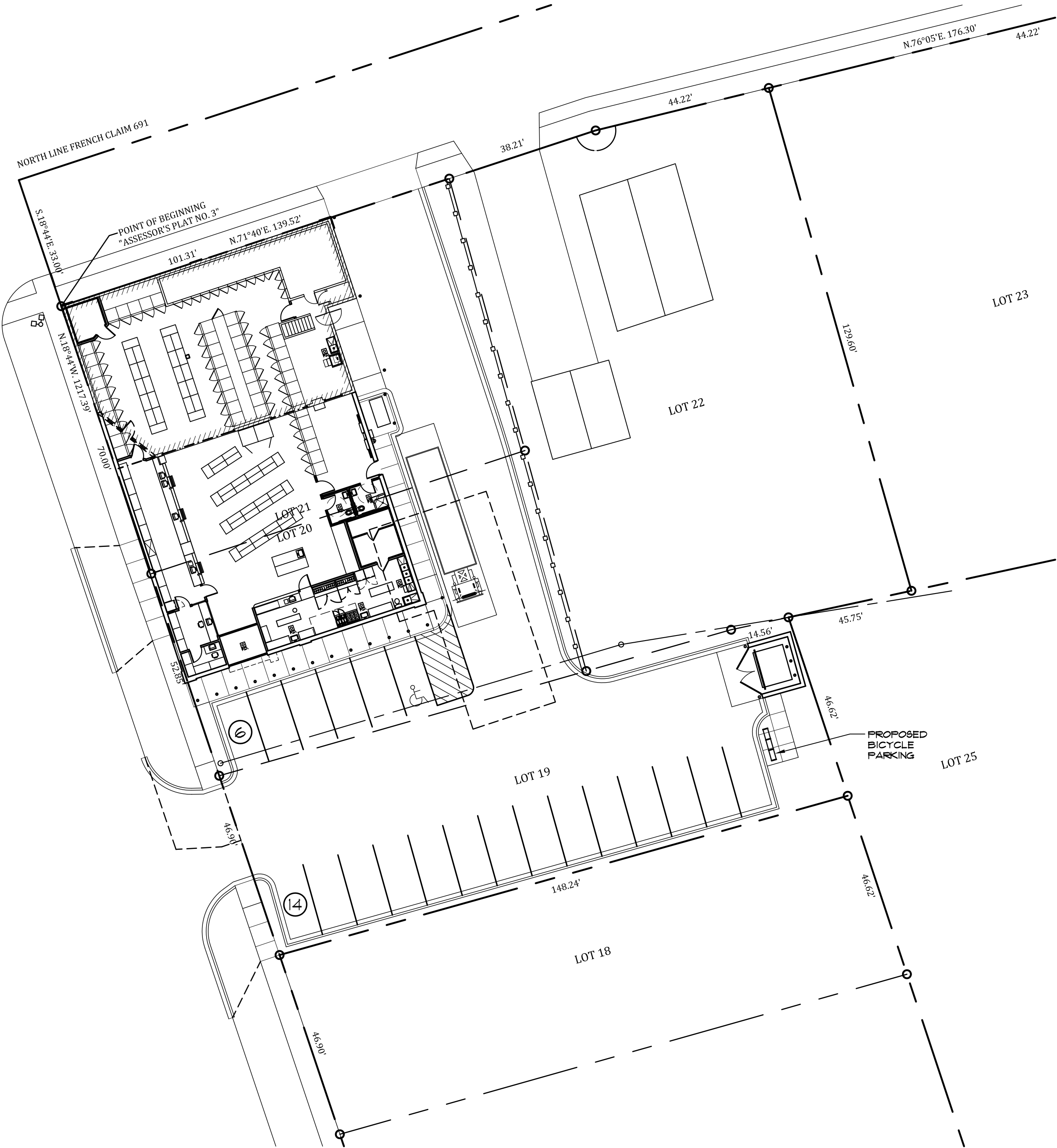
GENERAL NOTES MBC 2015

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE M.B.C. 2015 BASIC BUILDING CODE AND ALL THE CITY AND LOCAL ORDINANCES AS ADOPTED BY THE STATE OF MICHIGAN.
2. THESE NOTES ARE FOR GENERAL REFERENCE. WHERE CONFLICTS EXIST BETWEEN THESE NOTES AND CURRENT CODE(S), THE MORE STRINGENT REQUIREMENTS SHALL PREVAIL.
3. MATERIALS OR CONSTRUCTION PROCEDURES WHICH ARE PROHIBITED BY LAW OR SHALL CAUSE A HARMFUL EFFECT TO THE NATURAL ENVIRONMENT OR TO THE HEALTH OF ANY PERSON ON THE SITE DURING CONSTRUCTION AND/OR DURING OCCUPANCY SHALL NOT BE USED ON THIS PROJECT.
4. ALL TRADES SHALL CONFORM WITH ALL APPLICABLE FEDERAL, STATE, LOCAL, AND OSHA CODES, RULES AND REGULATIONS. IN CASE OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
5. ANY DISCREPANCIES, ERRORS, AND/OR OMISSIONS IN THE DRAWINGS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/DESIGNER. FAILURE TO DO SO MAY RESULT IN FUTURE CHANGES, THE COST OF WHICH WILL BE BORNE BY THE APPROPRIATE TRADE.
6. DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS!
7. PROVIDE TEMPORARY BRACING AS REQUIRED, TO INSURE THE STABILITY OF THE STRUCTURE UNTIL THE PERMANENT FRAMING IS IN PLACE.
8. PROVIDE SAFETY GLAZING IN CONFORMANCE WITH CODE.
9. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE IBC BASIC BUILDING CODE AND ALL THE CITY AND LOCAL ORDINANCES AS ADOPTED BY THE STATE OF MICHIGAN.
10. CONTRACTOR SHALL EXERCISE EXTREME CARE IN SETTING GRADES FOR NEW CONSTRUCTION AS THESE GRADES ARE CRITICAL.
11. FOUNDATIONS SHALL BE CARRIED DOWN (MIN. 3'-6" DEEP) TO NATURAL UNDISTURBED SOILS CAPABLE OF SUPPORTING A 3000 P.S.F. BEARING CAPACITY, OR ENGINEERED FILL. IF POORLY CONSOLIDATED SOILS ARE ENCOUNTERED AT THE DEPTHS SHOWN, THE ARCHITECT /DESIGNER SHALL BE NOTIFIED AND THE FOUNDATIONS WILL BE MODIFIED ACCORDINGLY.
12. SAND FILL UNDER SLABS SHALL BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
13. CONCRETE SHALL HAVE COMPRESSIVE STRENGTH OF 3000 P.S.I. FOR FOUNDATION WORK AND FLOOR SLABS WITH 4000 P.S.I. FOR WALKS AND STEPS. REINFORCING STEEL = 40KS1, ASTM 40.
14. STRUCTURAL STEEL = 36 KS1 ASTM GRADE 36.
15. THE OWNER IS NOT RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION, NOR FOR THE SAFETY ON THE JOBSITE, AND THAT THESE RESPONSIBILITIES ARE INTENDED TO BE AND TO REMAIN SOLELY THOSE OF THE GENERAL CONTRACTOR.
16. THE INTENT IS TO UTILIZE ALL EXISTING UTILITIES: 16: PHONE, ELEC, GAS, WATER, AND SEWER.
17. LIGHT GAUGE STEEL FRAMING TO CONFORM TO ASTM STANDARDS SPECIFIED.
18. SUPPORT ALL ELECTRICAL EQUIPMENT & WIRING, INCLUDING LOW VOLTAGE WIRING, IN ACCORDANCE WITH ARTICLE 300-II AND ARTICLES 125 THROUGH 230 OF THE NEC.

CODE ANALYSIS (I.B.C./ M.B.C. 2015)

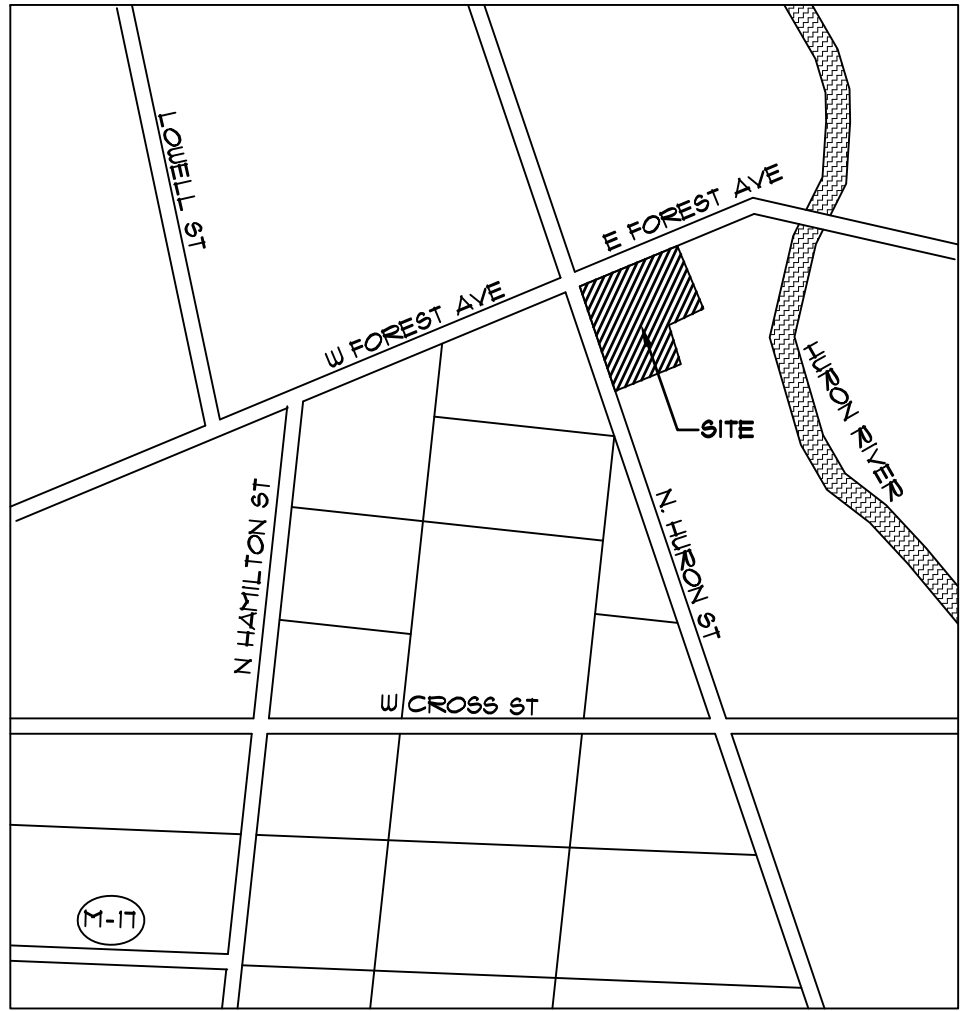
CHAPTER - 3	USE AND OCCUPANCY CLASSIFICATION 3021 CLASSIFICATION USE GROUP(S): M (MERCANTILE)
CHAPTER - 5	GENERAL BUILDING HEIGHTS AND AREAS SCOPE OF WORK AS PROPOSED DOES NOT INCREASE EXISTING BUILDING HEIGHT OR AREA. GENERAL AREA AND HEIGHT LIMITATIONS FOR THE EXISTING FACILITY HAVE BEEN REVIEWED AND APPROVED AS PART OF THE ORIGINAL BUILDING PERMIT.
CHAPTER - 6	TYPE(S) OF CONSTRUCTION TYPE V-B (5-B), SPRINKLERED
CHAPTER - 7	FIRE AND SMOKE PROTECTIVE FEATURES FIRE RESISTIVE RATING(S) FOR NEW CONSTRUCTION SHALL MEET THE REQUIREMENTS OF CHAPTER 7.
CHAPTER - 8	INTERIOR FINISHES ROOM FINISHES SHALL MEET THE REQUIREMENTS OF SECTION 803 AND TABLE 803.3. CLASS 'C' FOR INTERIOR ROOMS & CLASS 'B' FOR CORRIDORS & GENERAL AREAS. INTERIOR FLOORS SHALL MEET THE REQUIREMENTS OF SECTION 804. CLASS II IN CORRIDORS AND OPEN AREAS AND TYPE DOC FF-1 IN ENCLOSED ROOMS.
CHAPTER - 10	MEANS OF EGRESS SECTION 1004 OCCUPANT LOAD FOR PROPOSED USE(S) (TABLE 1004.1.2) M' USE: 2,422 SF. STORAGE/ STOCK AREA * 1/300 GROSS * 8 OCCUPANT(S) 3,812 SF. RETAIL AREA * 1/60 GROSS * 63 OCCUPANT(S) TOTAL = 73 OCCUPANT(S) DOOR(S) PROVIDED ARE AT LEAST 36 INCHES WIDE WHICH MEET EGRESS AND ALSO BARRIER FREE REQUIREMENTS. MEANS OF EGRESS REQUIREMENTS FOR THE EXISTING BUILDING TO REMAIN HAVE BEEN MET BOTH WITHIN THE EXISTING SPACE(S) AND HAVE BEEN DETERMINED TO BE ADEQUATE AS PART OF THE ORIGINAL PERMIT APPROVAL.
CHAPTER - 11	ACCESSIBILITY ALL NEW CONSTRUCTION SHALL COMPLY WITH CHAPTER 11 REQUIREMENTS.
CHAPTER - 12	INTERIOR ENVIRONMENT
SECTION 1205	THE LIGHTING AND NATURAL LIGHT REQUIREMENTS HAVE BEEN DESIGNED TO MEET OR EXCEED THE MINIMUM REQUIRED LIGHTING LEVELS FOR BOTH DAY AND NIGHT FOR THE PROPOSED LEASE SPACE.
SECTION 1203	EXISTING MECHANICAL VENTILATION TO BE DESIGNED AND MODIFIED TO CORRESPOND WITH THESE PLANS AND OWNER REQUIREMENTS. THE MECHANICAL CONTRACTOR SHALL SUBMIT AIR DISTRIBUTION DRAWINGS, IF APPLICABLE, FOR REVIEW BY THE ARCHITECT AND THE CITY.
A.D.A.	APPLICABLE PARTS OF THE AMERICANS WITH DISABILITIES ACT SHALL APPLY TO THIS PROPOSED ADDITION. ALL DOORS WIDTHS, ELECTRICAL DEVICES, PLUMBING DEVICES, CORRIDORS, SIGNAGE AND ALARM DEVICES SHALL MEET A.D.A. FOR THE PHYSICALLY, VISUALLY AND HEARING IMPAIRED.

THE AMERICANS WITH DISABILITIES ACT PROVIDES THAT IT IS A VIOLATION OF THE ADA TO CONSTRUCT A FACILITY FOR FIRST OCCUPANCY LATER THAN JANUARY 26, 1993, THAT DOES NOT MEET THE ACCESSIBILITY AND USABILITY REQUIREMENTS OF THE ADA, EXCEPT WHERE AN ENTITY CAN DEMONSTRATE THAT IT IS STRUCTURALLY IMPRACTICAL TO MEET SUCH REQUIREMENTS. TENANT AND LANDLORD ACKNOWLEDGE THAT THESE REQUIREMENTS OF THE ADA WILL BE SUBJECT TO VARIOUS AND POSSIBLY CONTRADICTORY INTERPRETATIONS. THE ARCHITECT, THEREFORE, WILL USE ITS BEST PROFESSIONAL EFFORT TO INTERPRET APPLICABLE ADA REQUIREMENTS AND OTHER FEDERAL, STATE AND LOCAL CODES, LAWS AND ORDINANCES AS THEY APPLY TO THE PROJECT. THE ARCHITECT, HOWEVER, CANNOT AND DOES NOT WARRANT YOU GUARANTEE THAT THE TENANT LEASED SPACE COMPLY WITH ALL INTERPRETATIONS OF THE ADA REQUIREMENTS AS THEY APPLY TO THIS PROJECT. THE ARCHITECT DOES NOT WARRANT OR GUARANTEE THAT THE DESIGN OF ANY COMPONENT IN THE TENANT LEASED SPACE WILL MEET THE REQUIREMENTS OF THE ADA IF THEY HAVE NOT BEEN SUBMITTED TO THE ARCHITECT FOR REVIEW.



PROPOSED SITE PLAN

SCALE: 1"=20'-0"



LOCATION MAP

SCALE: N.T.S.

CURRENT ZONING

ZONED: NC (NEIGHBORHOOD CORRIDOR)

CODE ANALYSIS

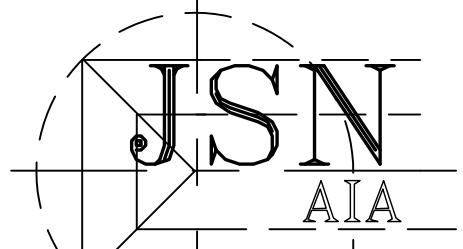
CODE(S): M.B.C. 2015
CONST. TYPE: V-B (5-B)
STORIES OF BUILDING: ONE (1)
USE GROUP(S): 'M'
BUILDING AREA: 6,294 SQ. FT.
OCCUPANCY: 73

PARKING ANALYSIS

TOTAL GROSS AREA (FOOTPRINT) = 6,294 SQ. FT.
CONVENIENCE STORE: 6,294 SQ. FT. (GROSS AREA)
CONVENIENCE STORE W/ CARRY-OUT PIZZA
RETAIL * 1 SP. PER 250 SF.
3,812 SF. / 250 = 15.48, THEREFORE 16 SPACES
STAFF * 1 SP. PER EMPLOYEE (LARGEST SHIFT)
CONV. STORE: 2 EMPLOYEES = 2 SPACES
CARRY-OUT (PIZZA): 2 EMPLOYEES = 2 SPACES
TOTAL = 20 SPACES REQUIRED

PARKING REDUCTION(S):
BICYCLE(S) * 1 SPACE FOR EVERY 4 BICYCLE SPACES
8 BIKE SPACES / 4 = 2 SPACE REDUCTION
BICYCLE(S) * 4 SPACE(S) FOR PROVISION OF EMPLOYEE SHOWER
EMPLOYEE SHOWER = 4 SPACE REDUCTION
TOTAL = 6 SPACE REDUCTION

PARKING TOTAL(S):
20 (CONV. STORE) - 6 (REDUCTIONS)
TOTAL = 14 SPACES REQUIRED
TOTAL (PROVIDED) = 20 SPACES (PROPOSED)



Joseph S. Novitsky
Architecture
3856 12 Mile Road
Berkley, MI 48072
(248) 433-2030

Seal:

Revisions:

DATE	DESCRIPTION
08/21/17	REVIEW
02/28/18	REVIEW
03/16/18	REVIEW
03/21/18	P.C. REVIEW

Project Name: STORE-- 534 N. HURON STREET

534 N. HURON STREET
TAYLANT, MI 48187

OWNER: TOM TAMOU

Sheet Title:

PROPOSED
SITE PLAN,
LOCATION
MAP, NOTE(S)
& ANALYSIS

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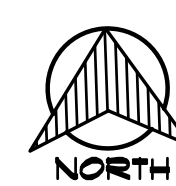
Date: 08/21/17
Drawn by: LDN, MLC

Project Number:

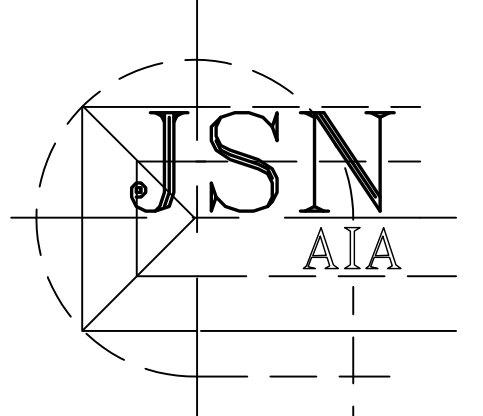
17054

Sheet Number:

S-1



EXISTING/ CONTEXTUAL SITE PLAN
NEIGHBORHOOD/ CONTEXT
SCALE: 1" = 40'-0"



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Berkley, MI 48072
(248) 433-2030

Seal:

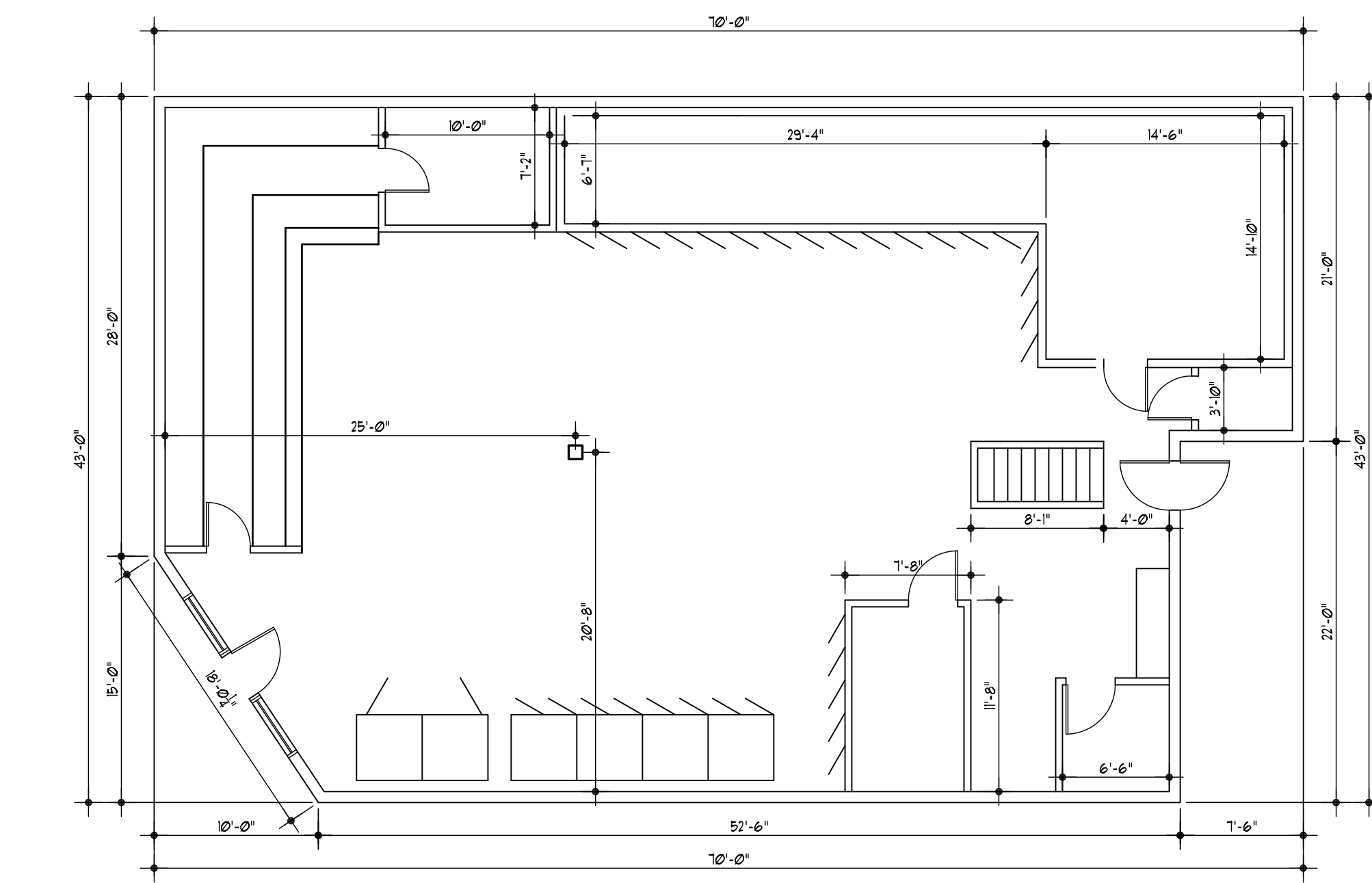
Revisions:	
DATE	DESCRIPTION
08/21/17	REVIEW
03/21/18	P.C. REVIEW

Project Name: **STORE- 534 N. HURON STREET**
534 N. HURON STREET
TAYSLANT, MI 48187
OWNER: **TOM TAMOU**

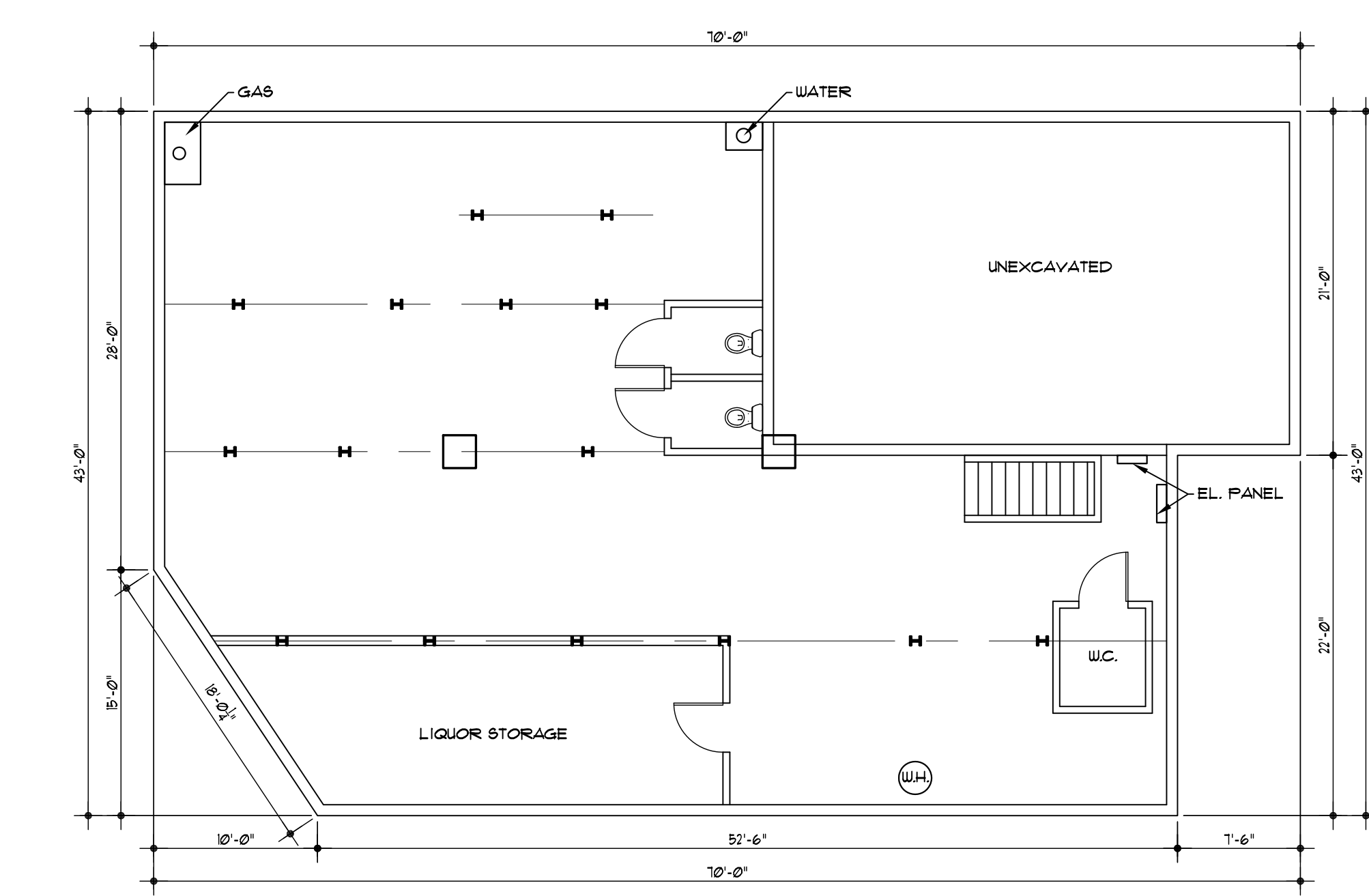
Sheet Title:
**EXISTING /
CONTEXTUAL
SITE PLAN**

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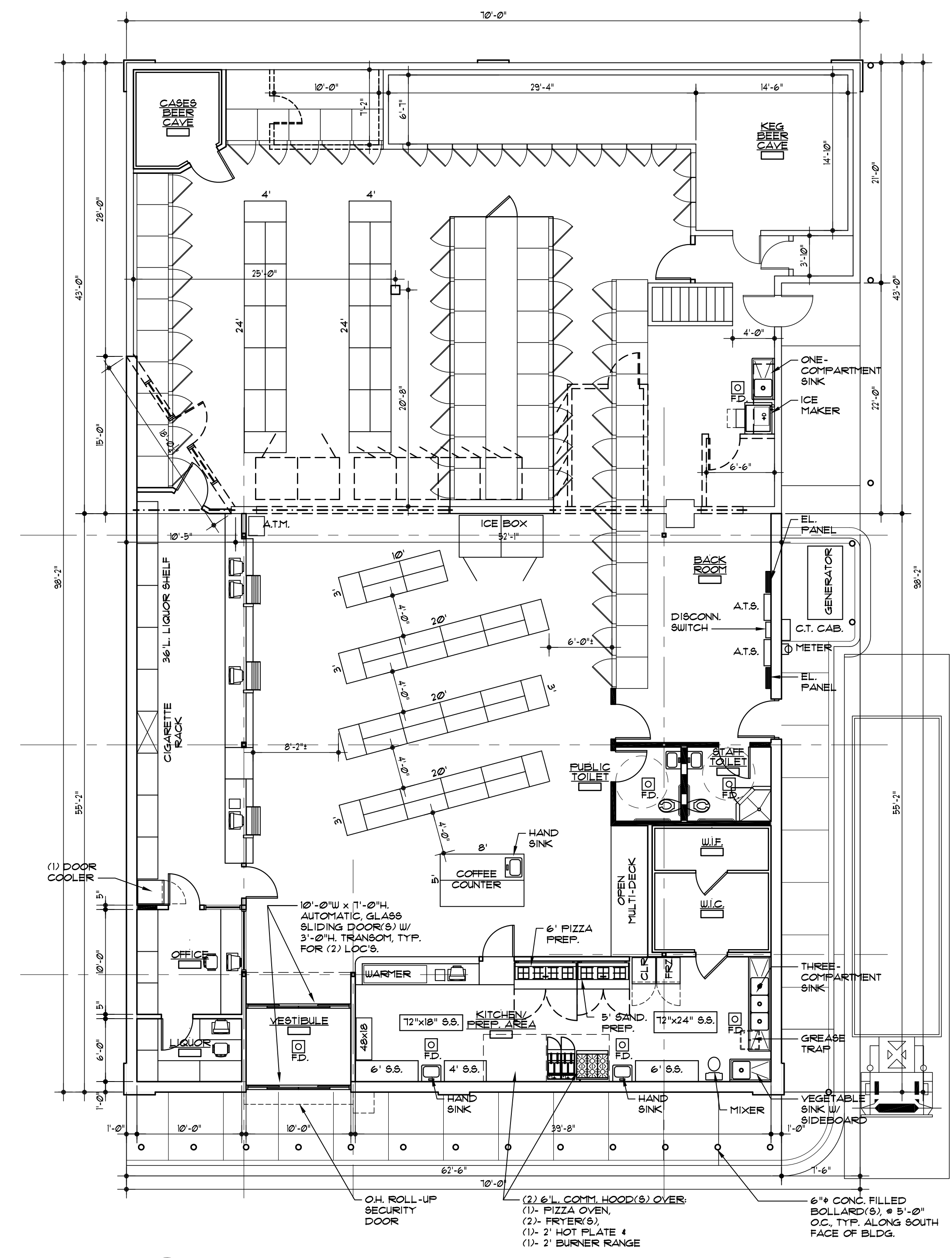
Date: 08/21/17
Drawn by: LDN, MLC
Project Number:
17054
Sheet Number:
S-2



EXISTING FLOOR PLAN
SCALE: 1/8" = 1'-0"



EXISTING BASEMENT PLAN
SCALE: 1/8" = 1'-0"



PROPOSED FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

BUILDING AREA ANALYSIS	
EXISTING BUILDING:	2,114 S.F.
PROPOSED ADDITION:	3,520 S.F.
NEW BUILDING TOTAL:	6,294 S.F.
RESTAURANT:	135 S.F.
STORE:	5,559 S.F.

JSN

AIA

Joseph S. Novitsky
Architecture
3856 12 Mile Road
Berkley, MI 48072
(248) 433-2030

Seal:

Revisions:

DATE	DESCRIPTION
02/19/18	REVIEW
02/21/18	REVIEW
02/28/18	REVIEW
03/16/18	REVIEW
03/21/18	P.C. REVIEW

Project Name:
STORE- 534 N. HURON STREET
534 N. HURON STREET
TAYLOR, MI 48187
OWNER: **TOM TAMOU**

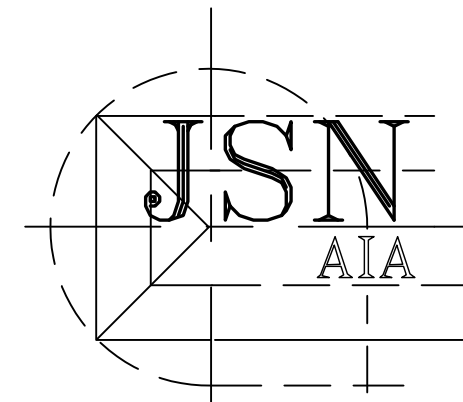
Sheet Title:
EXISTING & PROPOSED FLOOR PLAN(S)

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Date: 02/19/18
Drawn by: LDN, MLC

Project Number:
17054

Sheet Number:
A-1



Joseph S. Novitsky
Architecture
3856 12 Mile Road
Berkley, MI 48072
(248) 433-2030

Seal:

Revisions:

DATE	DESCRIPTION
08/21/17	REVIEW
02/28/18	REVIEW
03/16/18	REVIEW
03/21/18	P.C. REVIEW

Project Name: **STORE- 534 N. HURON STREET**

534 N. HURON STREET
TAYSLANT, MI 48187

OWNER: **TOM TAMOU**

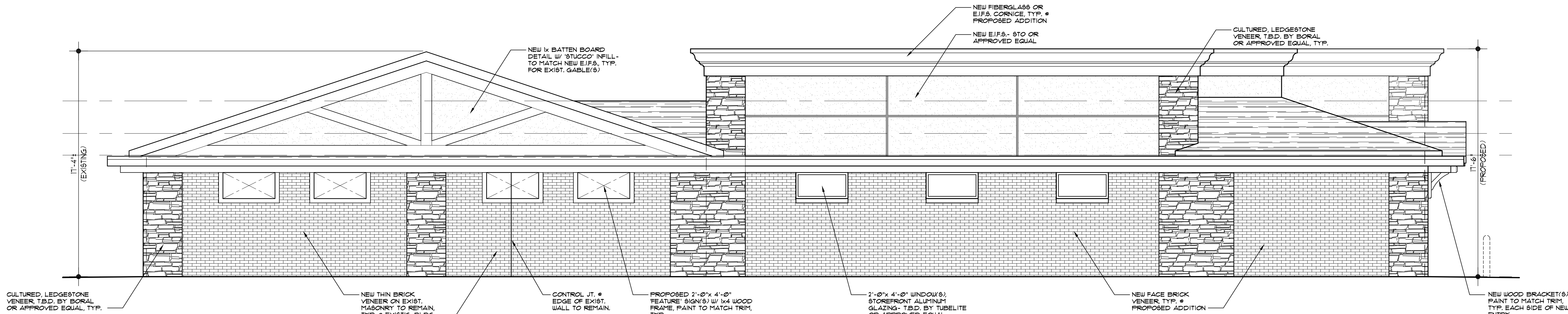
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PROPOSED ELEVATIONS

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Drawn by: CH, MLC

Project Number:
17054

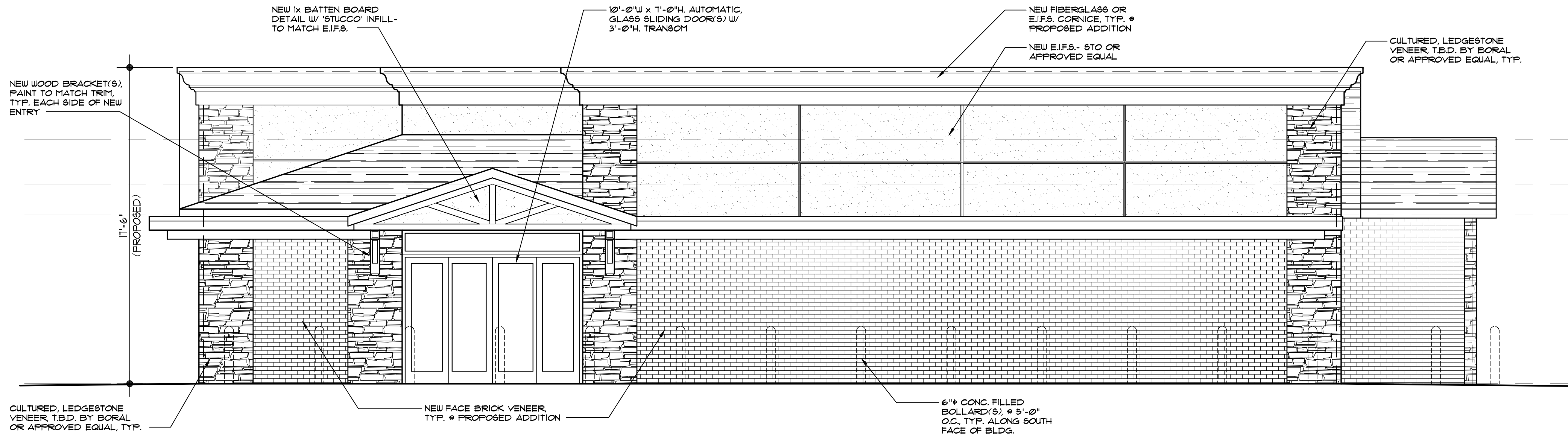
Sheet Number:
A-3



WEST ('FRONT') ELEVATION

N. HURON STREET-SIDE ELEV.

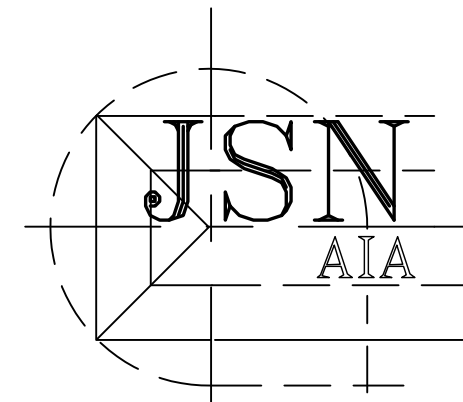
SCALE: 1/4"=1'-0"



SOUTH ('SIDE') ELEVATION

PARKING SIDE ELEV.

SCALE: 1/4"=1'-0"



Joseph S. Novitsky
Architecture
3856 12 Mile Road
Berkley, MI 48072
(248) 433-2030

Seal:

Revisions:

DATE	DESCRIPTION
03/16/18	REVIEW
03/21/18	P.C. REVIEW

Project Name: **STORE-- 534 N. HURON STREET**

534 N. HURON STREET
TAYSLANT, MI 48187

OWNER: **TOM TAMOU**

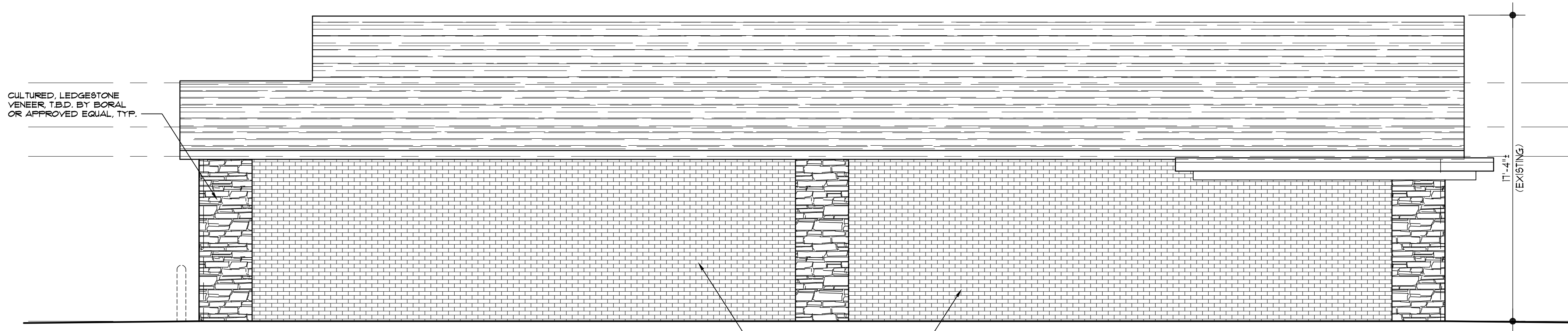
Sheet Title:
PROPOSED ELEVATIONS

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Date: 03/16/18
Drawn by: MLC

Project Number:
17054

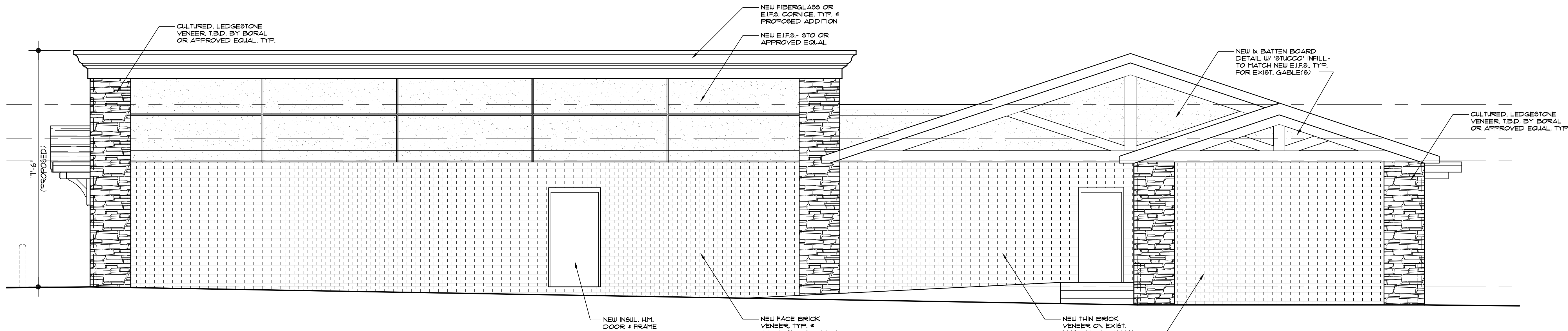
Sheet Number:
A-4



NORTH ('SIDE') ELEVATION

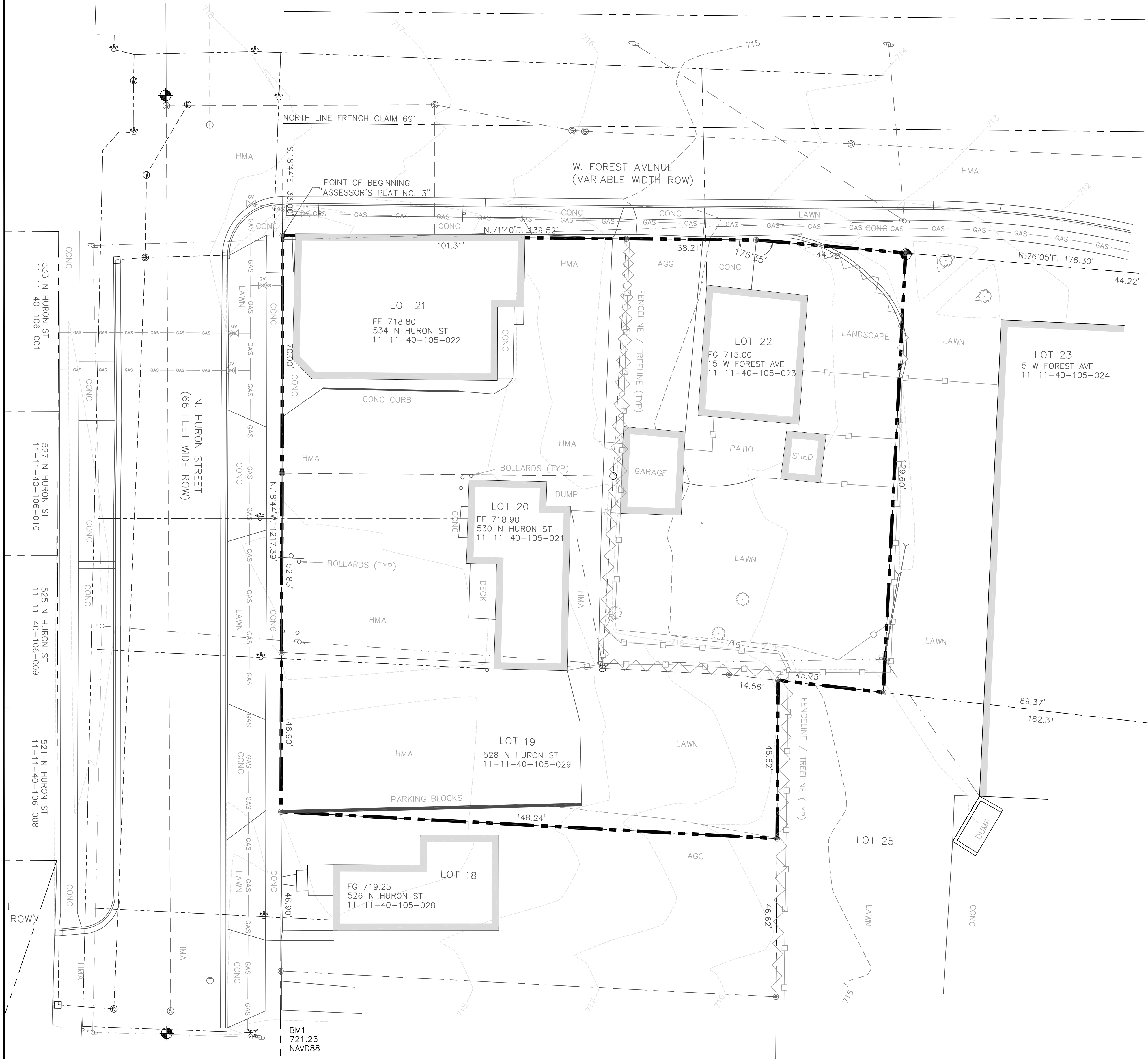
W. FOREST STREET-SIDE ELEV.

SCALE: 1/4"=1'-0"



EAST ('REAR') ELEVATION

SCALE: 1/4"=1'-0"



FLOODPLAIN STATEMENT

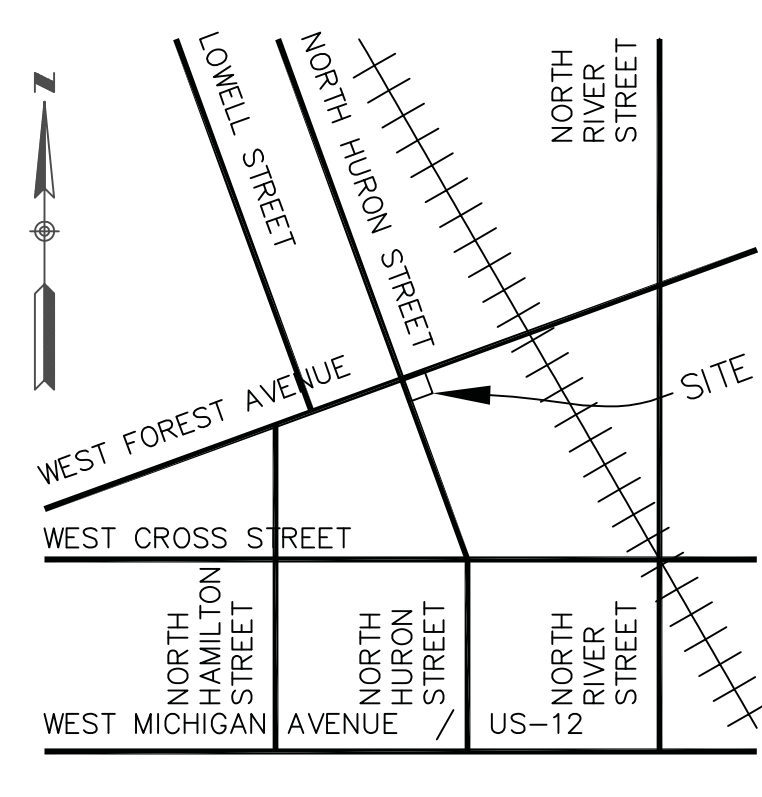
FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA)
NATIONAL FLOOD INSURANCE PROGRAM (NFIP)
FLOOD INSURANCE RATE MAP (FIRM)
MAP NUMBER 26161C0426E
EFFECTIVE DATE APRIL 3, 2012
INDICATES THE SUBJECT PROPERTY IS NOT
WITHIN DESIGNATED FLOOD HAZARD AREAS.

SOIL CONDITIONS

NATURAL RESOURCES CONSERVATION SERVICE
WWW.NCRS.USDA.GOV WEB SOIL SURVEY
100% STB, ST. CLAIR CLAY LOAM, 2 TO 6 PERCENT SLOPES

WETLANDS STATEMENT

NATIONAL WETLANDS INVENTORY
WWW.FWS.GOV/WETLANDS/DATA/MAPPER.HTML
DOES NOT INDICATE WETLANDS ON THE SUBJECT PROPERTY.
HURON CONSULTANTS FOUND NO ONSITE INDICATION OF WETLANDS.



LOCATION MAP
SCALE 1" = 1/4 MILE

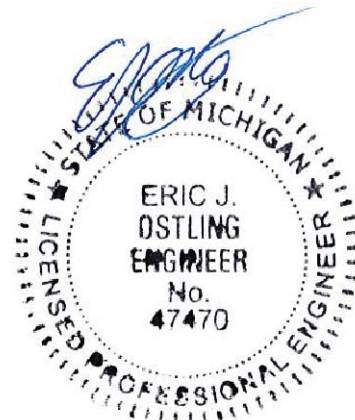
BENCHMARK

721.23 NAVD88
ARROW ON HYDRANT, NEAR THE
SOUTHWEST PROPERTY CORNER
OF HOUSE

LEGAL DESCRIPTION

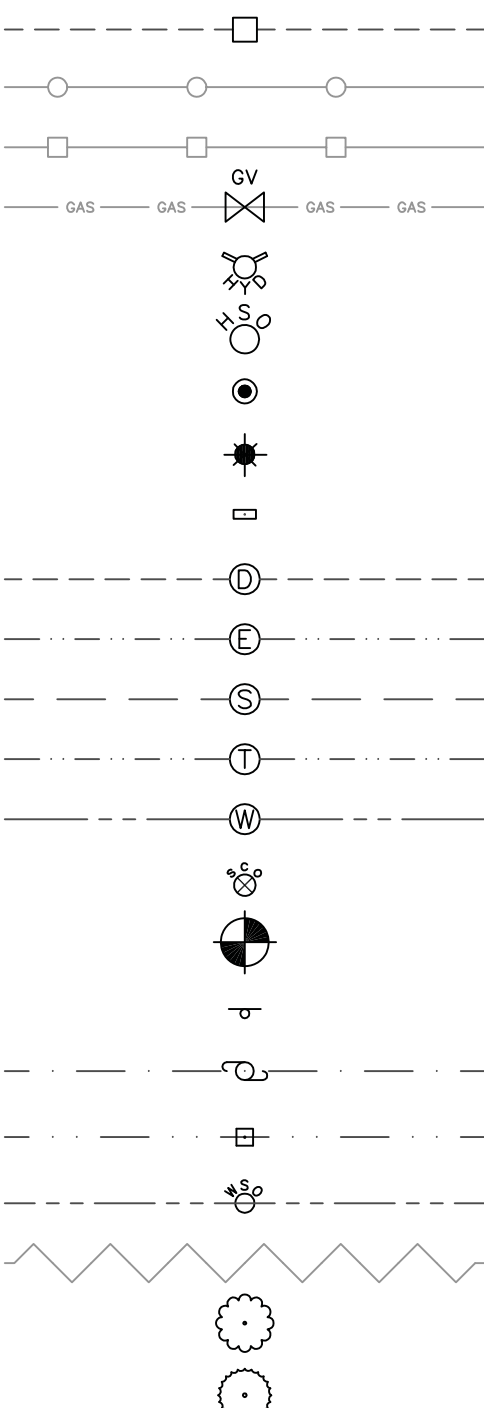
TAX PARCEL IDS:
11-11-40-105-029 LOT 19
11-11-40-105-021 LOT 20
11-11-40-105-022 LOT 21
11-11-40-105-023 LOT 22

LOTS 19-22 OF "ASSESSOR'S PLAT
NO. 3" - CITY OF YPSILANTI BEING
PART OF FRENCH CLAIM NO. 691



LEGEND

- CATCH BASIN - DRAIN
- FENCE - CHAIN LINK
- FENCE - WOOD
- GAS VALVE - PIPELINE
- HYDRANT
- HYDRANT SHUTOFF
- IRON/PROPERTY CORNER
- LIGHT POLE
- MAILBOX
- MANHOLE - DRAIN
- MANHOLE - ELECTRIC
- MANHOLE - SEWER
- MANHOLE - TELEPHONE
- MANHOLE - WATER
- SANITARY CLEANOUT
- SECTION CORNER/MONUMENT
- SIGN
- UTILITY POLE/O.H.UTIL
- UTILITY BOX/U.G.UTIL
- WATER - SHUT-OFF
- TREELINE
- TREE - DECIDUOUS
- TREE - PINE



HURON
CONSULTANTS
ENGINEERS & SCIENTISTS

3811 24th Ave. Suite A
Fort Gratiot, MI 48059
TEL: (810) 966-0680
FAX: (810) 966-0681

www.huronconsultants.com

CLIENT NAME:

TAMOU'S
ELECTRICAL
CONTRACTORS

8541 KENWOOD
OAK PARK, MI 48237
TEL: (810) 560-9665
FAX: (586) 803-9700

3 WORKING DAYS
800-482-7171



Know what's below.
Call before you dig.

PRIOR TO CONSTRUCTION, ALL EXISTING
UTILITIES LOCATION AND DEPTH WITHIN
THE PROJECT AREA SHALL BE FIELD
VERIFIED. CALL MISS DIG SYSTEM 3
WORKING DAYS PRIOR TO
CONSTRUCTION.

UTILITY INFORMATION SHOWN ON THIS
DRAWING ARE APPROXIMATE AND MAY BE
ACCORDING TO AVAILABLE RECORD OR
DISCLOSED INFORMATION BY VARIOUS
UTILITY COMPANIES, PUBLIC AGENCIES,
OR OTHER SOURCES AND THUS MAY
NOT NECESSARILY REFLECT ACTUAL
FIELD LOCATIONS AND NO GUARANTEE IS
GIVEN TO COMPLETENESS OR ACCURACY.

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CONSULTANTS.

PROJECT NAME:

YPSILANTI
SITE PLAN

LOTS 19-22 OF
"ASSESSOR'S PLAT NO 3"

TOPOGRAPHIC
SURVEY

PROJECT LOCATION:
PART OF FRENCH CLAIM 691
T. 3 S., R. 7 E.
CITY OF YPSILANTI
WASHTENAW COUNTY

Drawn By: EJO
Checked By: DSM
Approved By: EJO

REVISIONS:

2018-03-15 TOPO SURVEY

SCALE VERIFICATION:

0 0.5 1
BAR IS ONE-INCH
ADJUST SCALES ACCORDINGLY IF NOT

SCALE:

1/16" = 1'

HC PROJECT NO:

17-12027

HC DRAWING NO:

17-12027TP

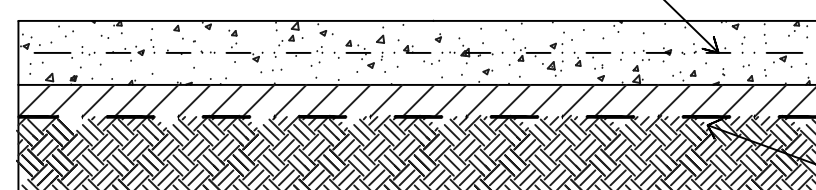
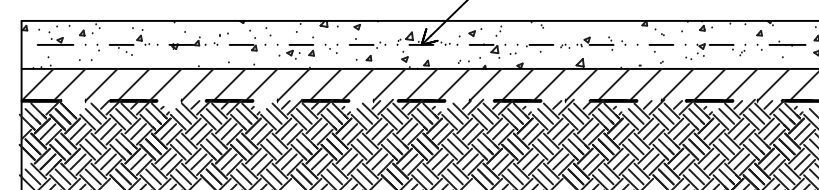
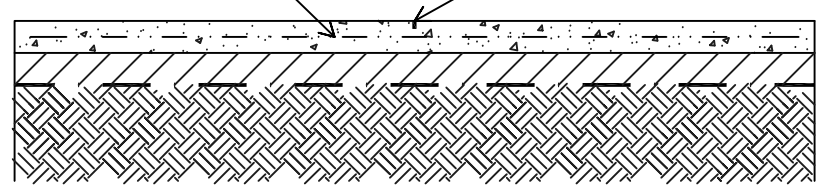
SHEET:

1

W2.9 (NOMINAL DIAMETER 0.192")
WIRE MESH, 4" CENTER TO CENTER
LONGITUDINAL AND TRANSVERSE

1" SAWCUT FOR AESTHETIC JOINT PATTERNS
TYPICAL FOR ALL CONCRETE SIDEWALK PAVEMENTS
NOT APPLICABLE TO PARKING LOT PAVEMENTS

W2.9 (NOMINAL DIAMETER 0.192") WIRE MESH 4" CENTER TO
CENTER LONGITUDINAL AND TRANSVERSE WIRE SPACING



28 DAY 3500 PSI CONCRETE (TYP)
9"
4"
HMA CRUSHED & SHAPED AGGREGATE
OR MDOT 21AA CRUSHED LIMESTONE
OR MDOT 22A CRUSHED LIMESTONE (TYP)
NONWOVEN GEOTEXTILE SEPARATOR
(TYP ALL PAVEMENT SECTIONS)
COMPACTED UNDISTURBED EARTH OR FILL (TYP)

4" Concrete Pavement Detail
(Ex and Pr Sidewalks, No Scale)

6" Concrete Pavement Detail
(Dumpster Pad, Onsite Concrete, No Scale)

9" Concrete Pavement Detail
(Right-of-way Approaches, No Scale)

FLOODPLAIN STATEMENT

FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA)
NATIONAL FLOOD INSURANCE PROGRAM (NFIP)
FLOOD INSURANCE RATE MAP (FIRM)
MAP NUMBER 26161C0426E
EFFECTIVE DATE APRIL 3, 2012
INDICATES THE SUBJECT PROPERTY IS NOT
WITHIN DESIGNATED FLOOD HAZARD AREAS.

SOIL CONDITIONS

NATURAL RESOURCES CONSERVATION SERVICE
WWW.NCRS.USDA.GOV WEB SOIL SURVEY
100% STB, ST. CLAIR CLAY LOAM, 2 TO 6 PERCENT SLOPES

WETLANDS STATEMENT

NATIONAL WETLANDS INVENTORY
WWW.FWS.GOV/WETLANDS/DATA/MAPPER.HTML
DOES NOT INDICATE WETLANDS ON THE SUBJECT PROPERTY.
HURON CONSULTANTS FOUND NO ONSITE INDICATION OF WETLANDS.

BENCHMARKS

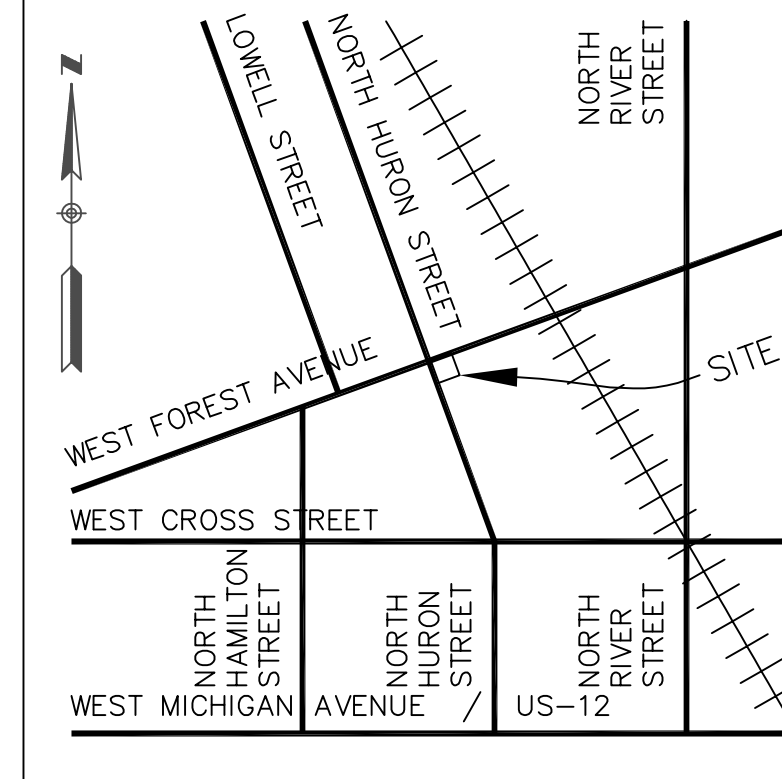
BENCHMARKS AND TOPO SURVEY ARE NAVD88 DATUM
CONVERT FROM NAVD88 TO NGVD29 AT NOAA WEBSITE:
https://www.ngs.noaa.gov/cgi-bin/VERTCON/vert_con.pl
CONVERSION +0.41' TO NGVD29 DATUM

BM1

FOUND IRON AT THE INTERSECTION OF THE CENTERLINES
OF N. HURON STREET AND W. FOREST AVENUE
718.98 NAVD88 CONVERSION +0.41'
719.39 NGVD29

BM2

ARROW ON HYDRANT, NEAR THE SOUTHWEST PROPERTY
CORNER OF HOUSE 526 N. HURON STREET
721.23 NAVD88 CONVERSION +0.41'
721.64 NGVD29



LOCATION MAP
SCALE 1" = 1/4 MILE

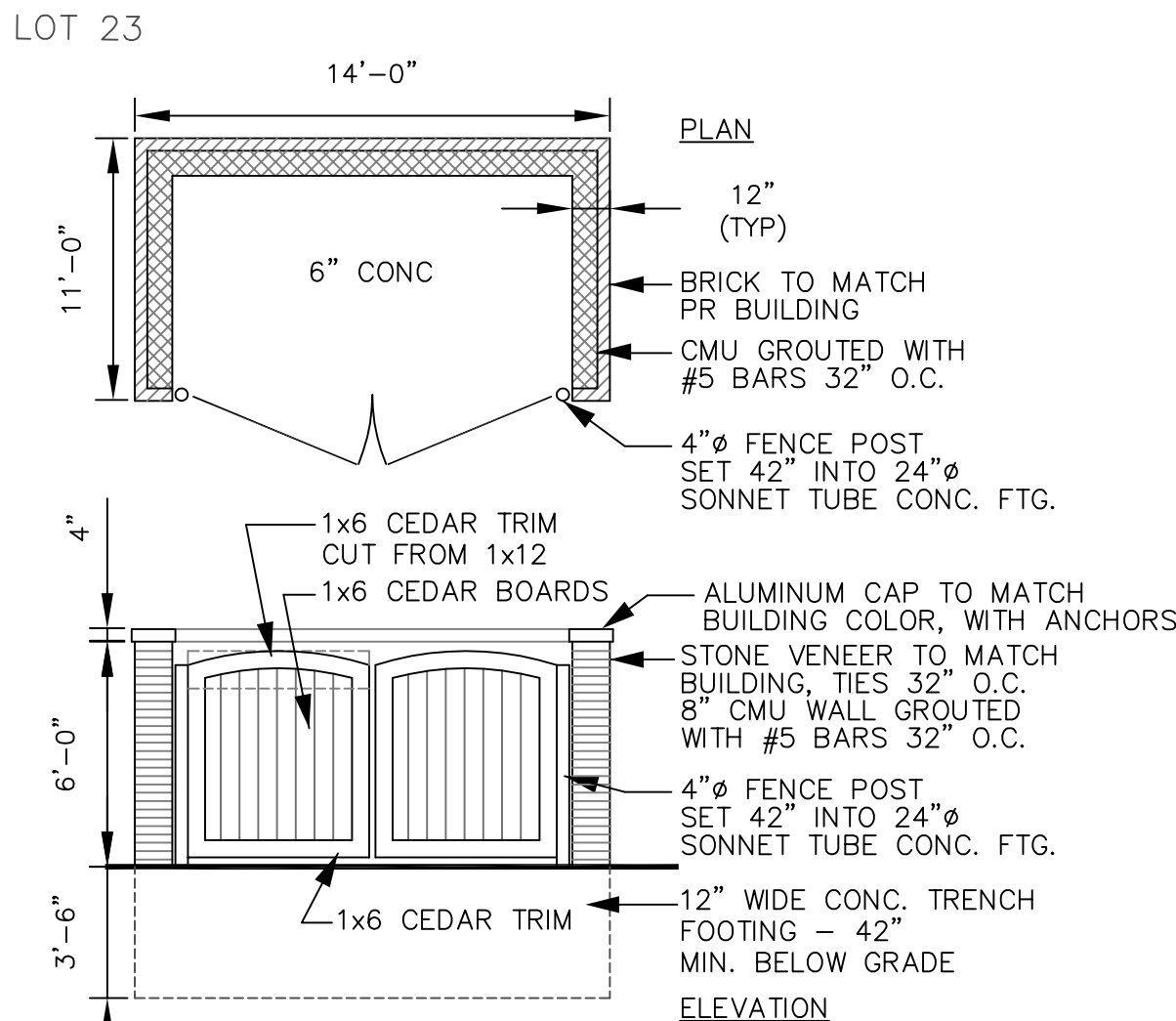
LEGAL DESCRIPTION

TAX PARCEL IDS:
11-11-40-105-029 LOT 19
11-11-40-105-021 LOT 20
11-11-40-105-022 LOT 21

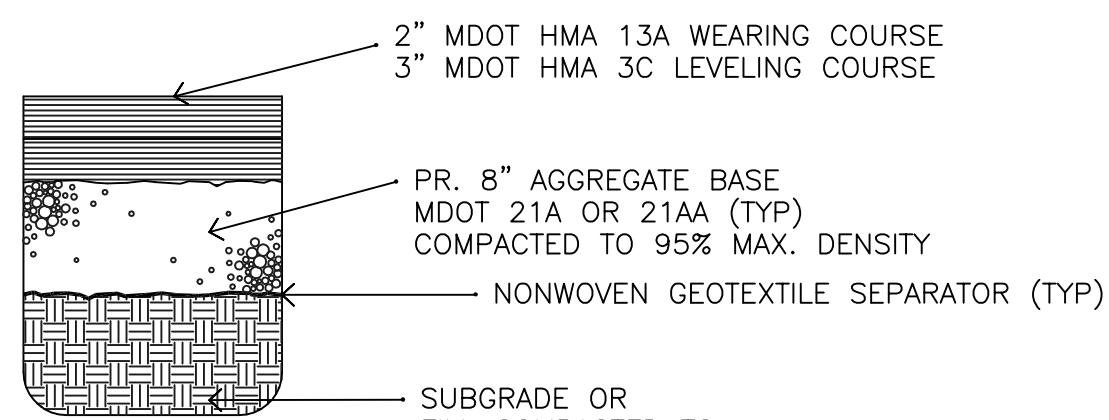
LOTS 19-21 OF "ASSESSOR'S PLAT
NO. 3" - CITY OF YPSILANTI BEING
PART OF FRENCH CLAIM NO. 691

PRELIMINARY STORM DRAINAGE CALCULATIONS

LOTS 19, 20 AND 21
NET LOT AREA 19,125 SFT (0.439 AC)
EXISTING IMPERVIOUS AREA 15,700 SFT (0.360 AC)
PROPOSED IMPERVIOUS AREA 17,785 SFT (0.408 AC)
INCREASED IMPERVIOUS AREA 17,785 - 15,700 = 2,085 / 15,700 = 13.28%
EXISTING CONDITIONS: SURFACE DRAINAGE TO RIGHT-OF-WAYS
PROPOSED CONDITIONS: UNDERGROUND STORM CONVEYANCE 12"RCP:
10-YEAR STORM RATIONAL METHOD Q=CIA
C = 0.90 COMMERCIAL
I = 3.89 IN/HR
A = 0.439 AC
Q = 0.90 * 3.89 * 0.439 = 1.54 CFS
12"RCP @ 0.32% MINIMUM CONVEYS 2.02 CFS



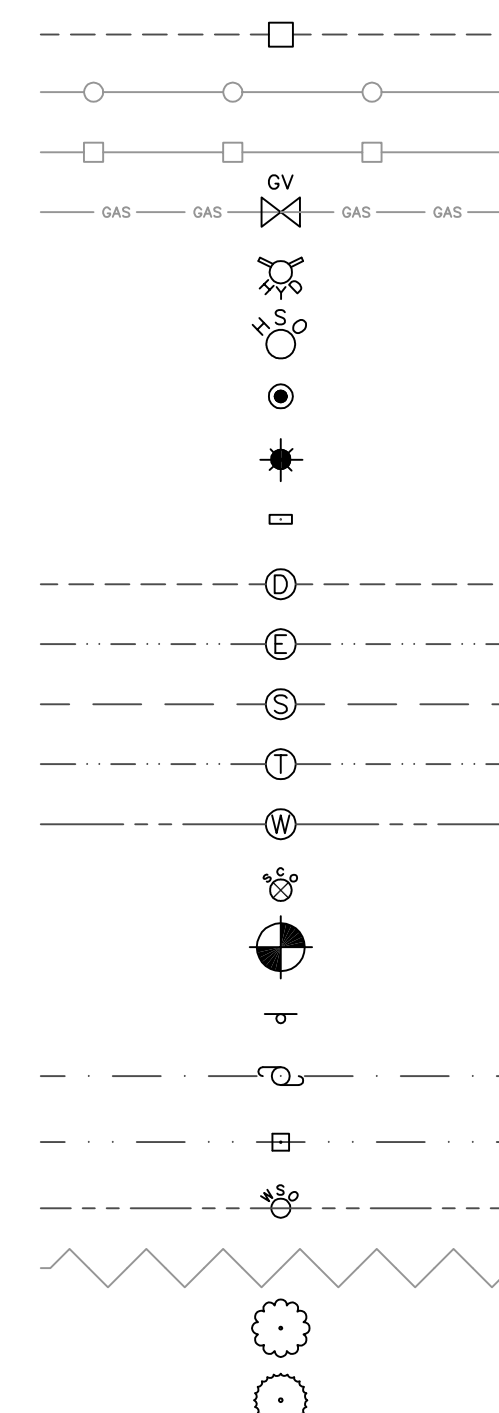
SCREENED DUMPSTER ENCLOSURE DETAIL
NOT TO SCALE
ALL WOOD SHALL BE TREATED, SANDED & POLYURETHANED.
ALL HARDWARE SHALL BE ZINC TEMPERED STEEL.



5" Hot Mix Asphalt (HMA) Detail
(No Scale)

LEGEND

CATCH BASIN - DRAIN
FENCE - CHAIN LINK
FENCE - WOOD
GAS VALVE - PIPELINE
HYDRANT
HYDRANT SHUTOFF
IRON/PROPERTY CORNER
LIGHT POLE
MAILBOX
MANHOLE - DRAIN
MANHOLE - ELECTRIC
MANHOLE - SEWER
MANHOLE - TELEPHONE
MANHOLE - WATER
SANITARY CLEANOUT
SECTION CORNER/MONUMENT
SIGN
UTILITY POLE/O.H.UTIL
UTILITY BOX/U.G.UTIL
WATER - SHUT-OFF
TREELINE
TREE - DECIDUOUS
TREE - PINE



3811 24th Ave. Suite A
Fort Gratiot, MI 48059
TEL: (810) 966-0680
FAX: (810) 966-0681

www.huronconsultants.com

CLIENT NAME:

TAMOU'S
ELECTRICAL
CONTRACTORS

8541 KENWOOD
OAK PARK, MI 48237
TEL: (810) 560-9665
FAX: (586) 803-9700

3 WORKING DAYS
800-482-7171



Know what's below.
Call before you dig.

PRIOR TO CONSTRUCTION, ALL EXISTING
UTILITIES LOCATION AND DEPTH WITHIN
THE PROJECT AREA SHALL BE FIELD
VERIFIED. CALL MISS DIG SYSTEM 3
WORKING DAYS PRIOR TO
CONSTRUCTION.

UTILITY INFORMATION SHOWN ON THIS
DRAWING ARE APPROXIMATE AND MAY BE
ACCORDING TO AVAILABLE RECORD OR
DISCLOSED INFORMATION BY VARIOUS
UTILITY COMPANIES, PUBLIC AGENCIES,
OR OTHER SOURCES AND THUS MAY
NOT NECESSARILY REFLECT ACTUAL
FIELD LOCATIONS AND NO GUARANTEE IS
GIVEN TO COMPLETENESS OR ACCURACY.

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CONSULTANTS.



PROJECT NAME:

YPSILANTI
SITE PLAN
LOTS 19-22 OF
"ASSESSOR'S PLAT NO 3"
PRELIMINARY
ENGINEERED
SITE PLAN

PROJECT LOCATION:
PART OF FRENCH CLAIM 691
T. 3 S., R. 7 E.
CITY OF YPSILANTI
WASHTENAW COUNTY

Drawn By: EJO
Checked By: DSM
Approved By: EJO

REVISIONS:

2018-03-15 TOPO SURVEY
2018-03-22 SITE PLAN

SCALE VERIFICATION:

0 0.5 1
BAR IS ONE-INCH
ADJUST SCALES ACCORDINGLY IF NOT

SCALE:

1/16" = 1'

HC PROJECT NO:

17-12027

HC DRAWING NO:

17-12027TP

SHEET:

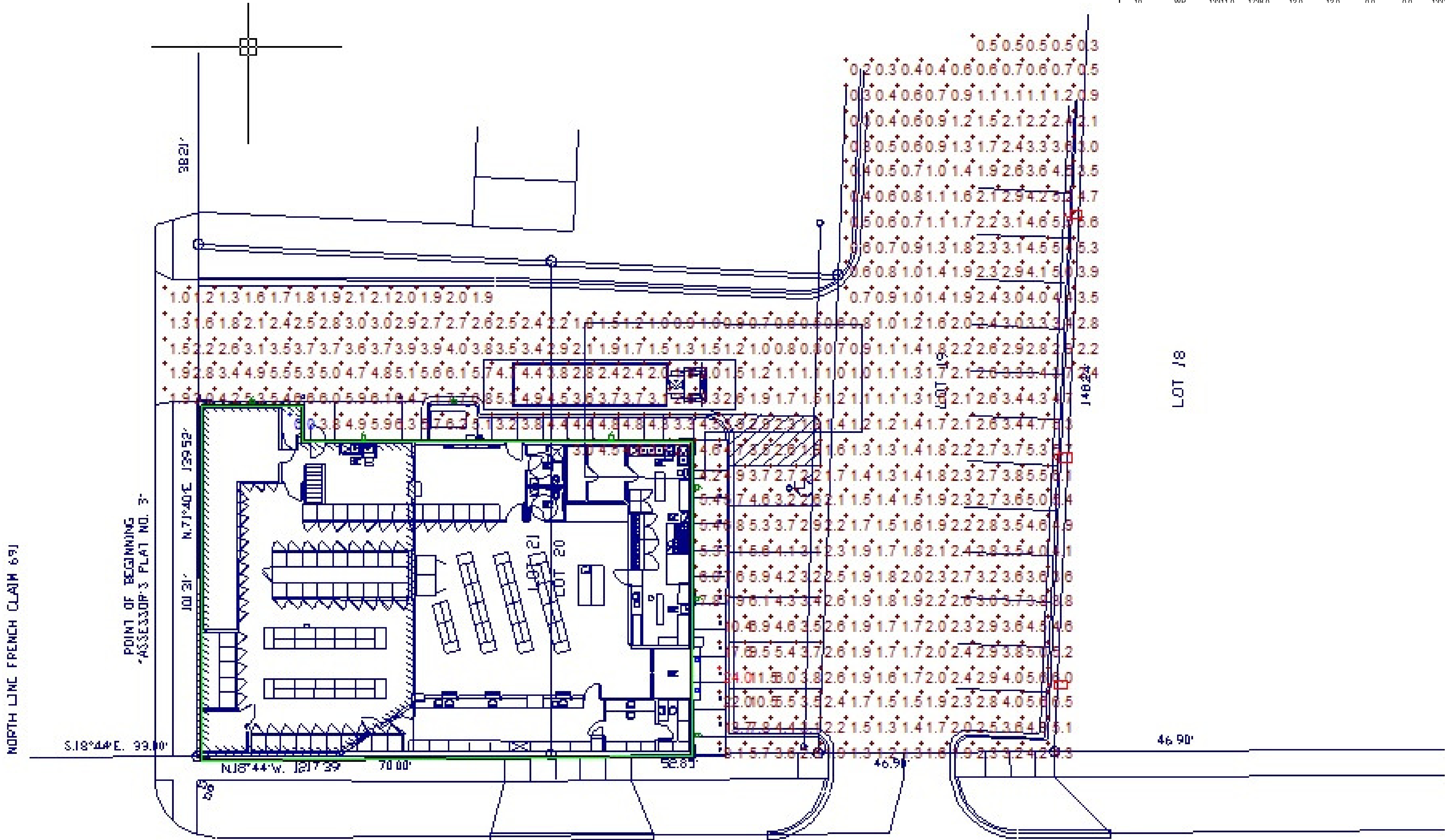
2

LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
	PM	3	D824-LED-60-40-UNV-LP-T4	15"L X 13 3/8"W X 3 5/8"H. LED FIXTURE 6 LED MODULES WITH 4 LEDS EACH WITH T4 OPTICS		D824-LED-60-40-UNV-LP-T4.ies	Absolute	1.00	56.25
	WP	7	DECO LIGHTING D444-LED-40-40-T3/4	TRAPEZOIDAL WALLPACK MOUNTED AT 12'		D444-LED-40-40-UNV-T4.ies	Absolute	1.00	40
	CNPY	2	D533-LED-36-40-UNV	12"L X 12"W X 2.75"H. LED Low Glare Canopy		D533-LED-36-40-UNV.IES	Absolute	1.00	36.16

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	3.0 fc	24.0 fc	0.0 fc	N / A	N / A

SURFACE SCHEDULE						
Name	Reflectances		Normal			Area (ft²)
	Front	Back	X	Y	Z	
Structure	0%	0%				

LUMINAIRE LOCATIONS										
No.	Label	Location		Z	MH	Orientation	Tilt	Aim		
		X	Y					X	Y	Z
1	PM	13403.0	1782.0	14.0	14.0	-90.0	0.0	13403.0	1782.0	0.0
2	PM	13401.0	1734.0	14.0	14.0	-90.0	0.0	13401.0	1734.0	0.0
3	PM	13400.0	1689.0	14.0	14.0	-90.0	0.0	13400.0	1689.0	0.0
4	WP	13240.0	1745.0	12.0	12.0	0.0	0.0	13240.0	1745.0	0.0
5	WP	13262.0	1738.0	12.0	12.0	0.0	0.0	13262.0	1738.0	0.0
6	WP	13280.0	1745.0	12.0	12.0	0.0	0.0	13280.0	1745.0	0.0
7	WP	13328.0	1728.0	12.0	12.0	90.0	0.0	13328.0	1728.0	0.0
8	WP	13328.0	1706.0	12.0	12.0	90.0	0.0	13328.0	1706.0	0.0
9	WP	13328.0	1679.0	12.0	12.0	90.0	0.0	13328.0	1679.0	0.0
10	WP	13311.0	1738.0	12.0	12.0	0.0	0.0	13311.0	1738.0	0.0



534 N. Huron St. (T. Tamou); Ypsilanti, MI
PRO-TECH LIGHTING
LIGHT LEVEL LAYOUT

Designer
Marc Drouillard

Date
Mar 27 2018

Scale

Drawing No.



D444-LED

Medium Trapezoidal Wall Pack

Client: _____
Project Name: _____

Order #: _____
Type: _____ Qty: _____

Performance Data

CRI

70+ (5000K);
80+ (4000K and lower)

CCT

3000K, 3500K, 4000K, 5000K

Projected Lifetime

L70 - 196,000 Hours;
L80 - 122,000 Hours

Dimming

0-10V dimming standard,
100% down to 10%

Operating Temperature

-40°C to +55°C Ambient

UL Listed

Suitable for dry, damp,
wet locations



DSKY

Dark Sky
Compliant

DLC

Listed

UL

Listed

10 Yr

Warranty
Including Labor

USA

Buy American
Act Compliant

Description

The D444-LED medium trapezoidal cutoff wall pack offers a sleek design and cutoff performance with a wide range of uses. It delivers the lighting needed for the exteriors of retail buildings, businesses, walkways, underpasses or door entrances. Delivering up to 141 lumens per watt of high efficacy performance, the D444-LED is also Dark Sky compliant when ordered at 3000K.

Features

- Heavy duty two piece, die-cast aluminium housing.
- Silicone gasketing provides protection against moisture.
- Mounts directly to 3.5" octagon, or 4" square outlet box.
- .5" NPS tapped holes provided in three locations for surface conduit entry for optional photocell control.
- Dark bronze powder coated finish for impact, corrosion and UV resistance.
- Integral cast-in aluminum hinges.
- Dark Sky compliant when ordered at 3000K
- DLC Premium listed for utility rebates (see Page 3 for more info)
- Can be used as an uplight for wall washing applications.
- Driver is fully accessible from below the ceiling or wall. Driver is wired for dimming or non-dimming.
- Precision-designed polycarbonate optical lenses control and deliver light only where it is needed

D444-LED

A

B

C

D

E

F

G

Ordering Information

A FIXTURE SERIES

D444-LED Medium Trapezoidal
Cutoff Wall Pack

B WATTAGE/LUMENS

20	20W/2534 ^{3,7}
30	30W/3799 ^{3,7}
40	40W/4863 ^{3,7}
60	60W/7670 ^{3,7}
80	80W/9766 ^{3,7}

C CCT

30	3000K
35	3500K
40	4000K
50	5000K ⁴

D VOLTAGE

UNV	120-277V
347	347V
480	480V
(Step-Down Transformer used for 480V Divider)	

E OPTICS

T2	Type 2
T3	Type 3
T4	Type 4

F FINISH

BZ	Bronze ¹
BL	Black
WH	White
CU	Custom ²

G OPTIONS

PC	Photocell
EM	Emergency Backup
MS	Motion Sensor w/ Dimming (FSP-211) ⁵

¹ Standard for fixture

² Contact factory for custom finish

³ Delivered Lumens (5000K Type III)

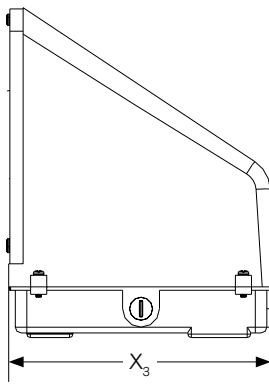
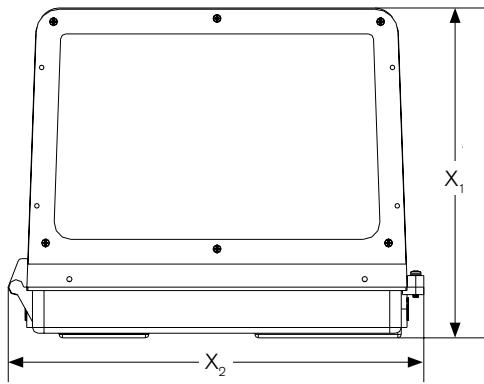
⁴ Standard Color Temp.

⁵ 5 8ft mounting height lens standard. Contact factory for higher mounting.

⁶ Only Available in 40W, 60W and 80W models.

⁷ DLC Listed wattage (see Page 4 for more information on models currently listed)

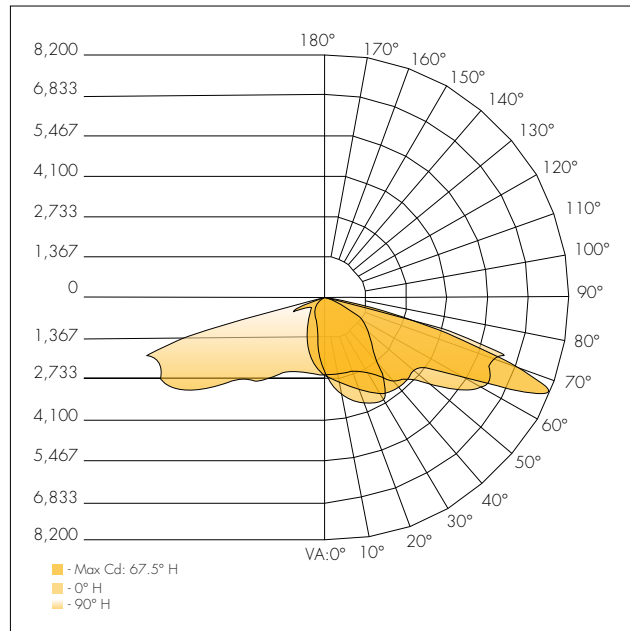
Dimensions



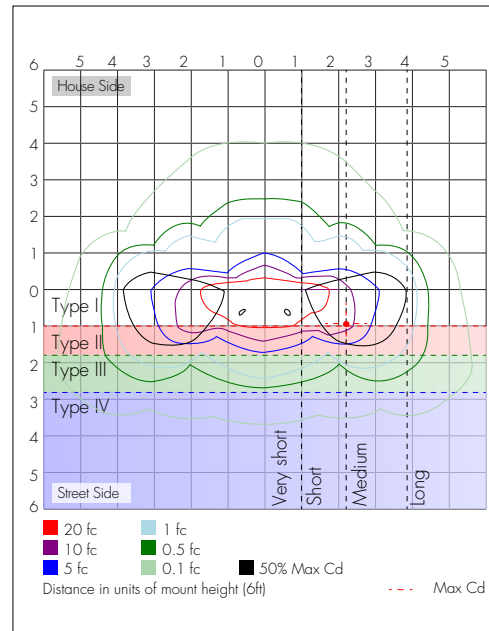
	Inches
X_1	9.00
X_2	12.875
X_3	11.125

Photometrics

80W 5000K Type 2



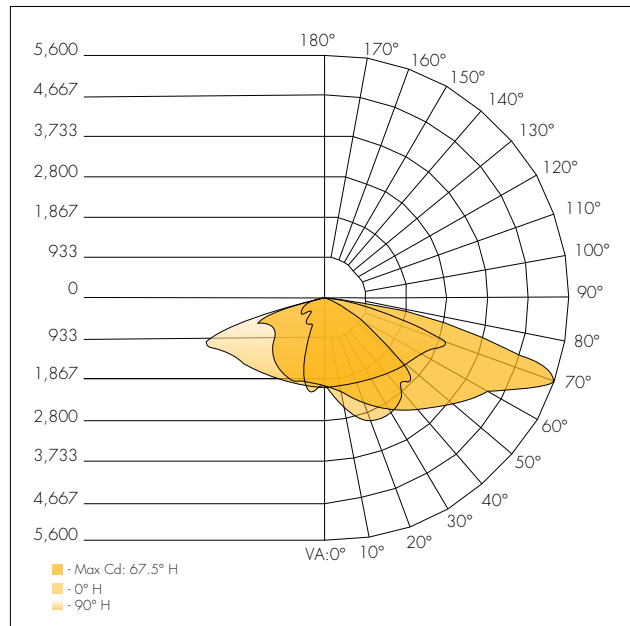
Isofootcandle



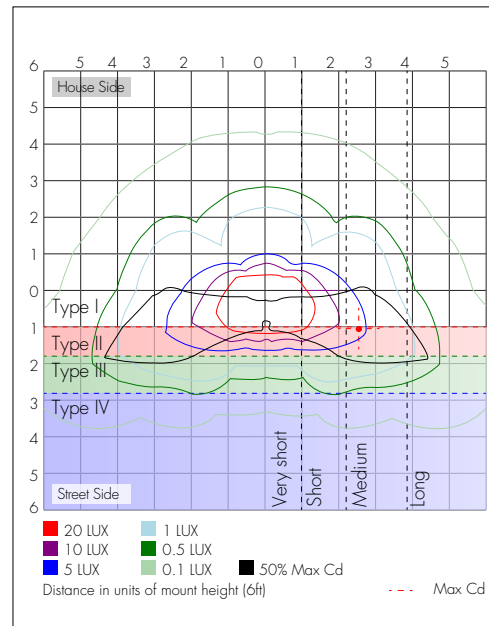
Zonal Lumen Summary

Zone	Lumens	%Luminaire
0-30	2,013.8	19.2%
0-40	3,504.8	33.4%
0-60	6,919.7	66%
60-90	3,555.8	33.9%
70-100	1,440.5	13.7%
90-120	9.2	0.1%
0-90	10,475.5	99.9%
90-180	9.2	0.1%
0-180	10,484.7	100%

80W 5000K Type 3



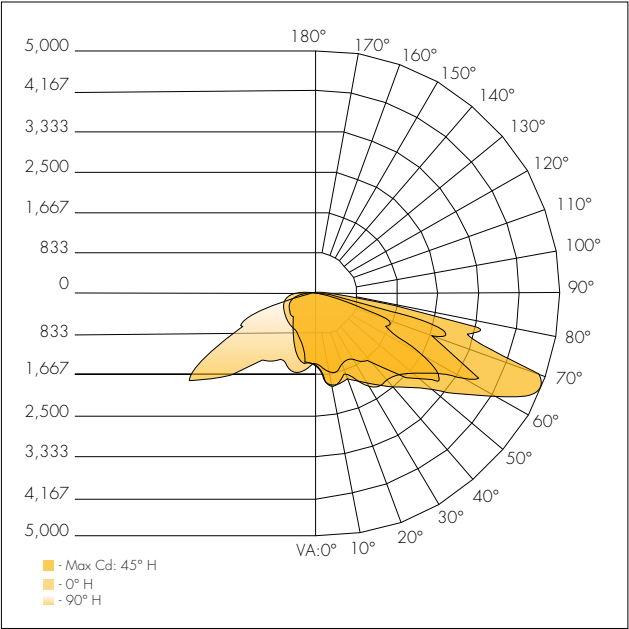
Isofootcandle



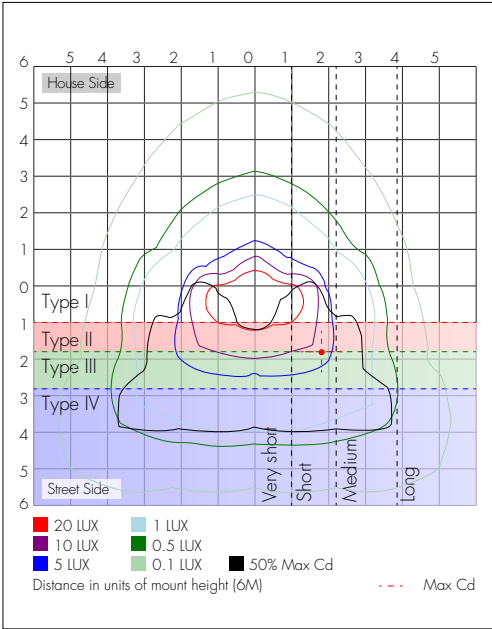
Zonal Lumen Summary

Zone	Lumens	%Luminaire
0-30	1,846.2	18.9%
0-40	3,183.5	32.6%
0-60	6,568.8	67.2%
60-90	3,188.4	32.6%
70-100	1,485.1	15.2%
90-120	10.9	0.1%
0-90	9,757.2	99.9%
90-180	10.9	0.1%
0-180	9,768.2	100%

80W 5000K Type 4



Isofootcandle



Zonal Lumen Summary

Zone	Lumens	%Luminaire
0-30	1,283.3	13.6%
0-40	2,278.4	24.1%
0-60	5,584.0	59%
60-90	3,863.5	40.8%
70-100	1,766.3	18.7%
90-120	14.4	0.2%
0-90	9,447.5	99.8%
90-180	14.4	0.2%
0-180	9,461.9	100%

Projected LED Maintenance

Operating Hours	0	25,000	50,000	75,000	100,000
Lumen Maintenance Factor	25°C (77°F) Ambient Outdoor Temp				
	1	0.95	0.91	0.87	0.83
	55°C (131°F) Ambient Outdoor Temp				
	1	0.93	0.87	0.81	0.76

Lumen Output

Lumen Chart (5000K)

Model Number	System Watts	T2	T3	T4
D444-LED-20-40-UNV	19	2721	2534	2455
D444-LED-30-40-UNV	28	4078	3799	3680
D444-LED-40-40-UNV	38	5222	4863	4711
D444-LED-60-40-UNV	57	8235	7670	7430
D444-LED-80-40-UNV	76	10486	9766	9461

*To scale to 4000K, multiply 5000K values by 0.92

DLC Listed

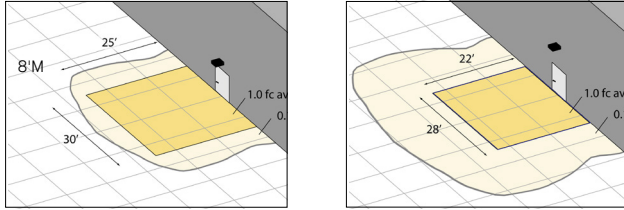
	20W			30W			40W			60W			80W		
	T2	T3	T4	T2	T3	T4	T2	T3	T4	T2	T3	T4	T2	T3	T4
4000K	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
5000K	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X

Emergency Battery Operation

The emergency battery backup (EM option) is integral to the luminaire - no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product.

The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time supply power is lost, per International Building Code Section 1006 and NFPA 101 Life Safety Code Section 7.9, provided luminaires are mounted at an appropriate height and illuminate an open space with no major obstructions.

The examples below show illuminance of 1 fc average and 0.1 fc minimum of the single-engine Type IV product in emergency mode.



Step Dimming & Bi-Level

FSP-211

The FSP-211 mounts in an outdoor lighting fixture and provides multi-level control based on motion. The sensor also includes a photocell to measure the ambient light level. It controls 0-10 VDC LED drivers or dimming ballasts, as well as non-dimming ballasts and, with an SFP-LX Lens, is rated for wet and cold locations. All control parameters are adjustable via a wireless configuration tool capable of storing and transmitting sensor profiles.

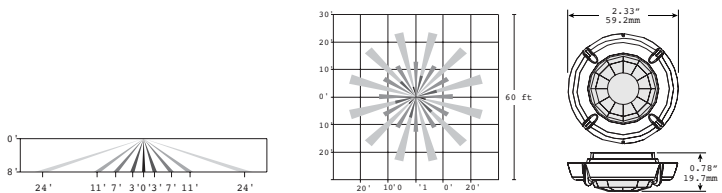
Key Factors

- Fully adjustable high and low dimmed light levels.
- Designed for LED fixtures; rated for extreme temperatures and up to 200,000 on/off cycles
- Hold off setpoint with automatic calibration option for convenience and added energy savings
- Adjustable via handheld wireless configuration tool
- IP66 rated with choice of lenses for wet and outdoor locations, and mounting heights from 8' to 40'
- Adjustable time delay and cut off delay



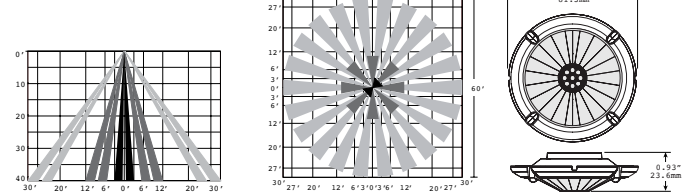
Coverage & Dimensions

The FS-Lx lenses work with FSP-211 motion sensors to provide multi-level lighting control based on motion and the ambient light level. Four lens choices provide flexibility for varying mounting heights.



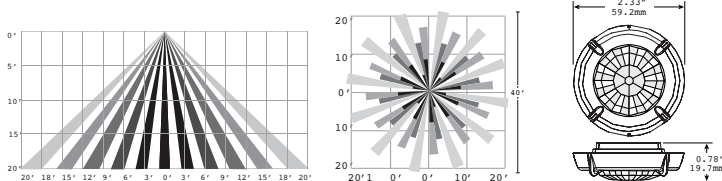
FSP-L2

360° lens, maximum coverage 48' diameter from 8' height



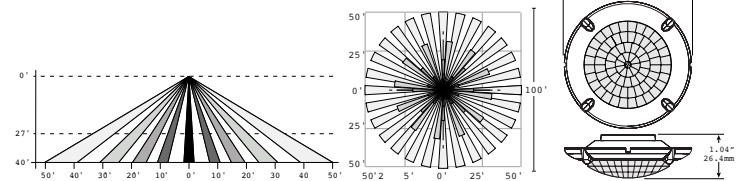
FSP-L4

360° lens, maximum coverage 60' diameter from 40' height



FSP-L3

360° lens, maximum coverage 40' diameter from 20' height



FSP-L7

360° lens, maximum coverage 100' diameter from 40' height

Motion Sensor Example



Quickship Model

Item #	Description
D444-LED4050UBZQ	40W 5000K • 120-277V • Bronze Glass Lens • No Optics or Options

- For additional information, refer to the Quickship spec sheet ([separate document](#))



D533-LED

LED Canopy Light

Client: _____
Project Name: _____

Order #: _____
Type: _____ Qty: _____

Performance Data

CRI

80+

CCT

4000K, 5000K

Projected Lifetime

190,000 Hours (L70)

Dimming

0-10V dimming standard
100% down to 10%

Operating Temperature

-40°C to +50°C Ambient

ETL Listed

Suitable for dry, damp, wet
locations



DLC

Listed

ETL

Listed

10 Yr

Warranty
Including Labor

USA

Buy American
Act Compliant

Description

The low profile D533-LED canopy light is perfect for security, entry ways, and perimeter lighting. Universal flush mount or pendant mount. Perfect as a low power utility or apartment garage light.

Features

- IP65 rated when used in under canopy application
- UV stabilized, one-piece polycarbonate lens
- Powder coated aluminum housing
- Robust design for superb durability
- Flush J-box mounting standard, available with Stem (shipped separately)

D533-LED

A

B

C

UNV

D

E

S

F

Ordering Information

A FIXTURE SERIES

D533-LED LED Canopy Light

B WATTAGE/LUMENS

36	36W/4282 ^{2,3}
50	50W/5590 ^{2,3}

C CCT

40	4000K
50	5000K ¹

D VOLTAGE

UNV	122-277V
-----	----------

E FINISH

WH	White ¹
SL	Sliver

F OPTION

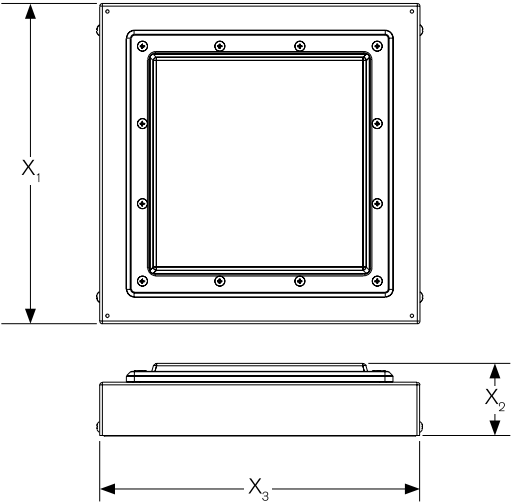
Sxx	Stem (Shipped Separately) (xx- inches, ceiling to top of fixture)
-----	--

¹ Standard for this fixture

² Delivered Lumens (5000K)

³ DLC-listed wattage (See DLC table for more info on models currently listed)

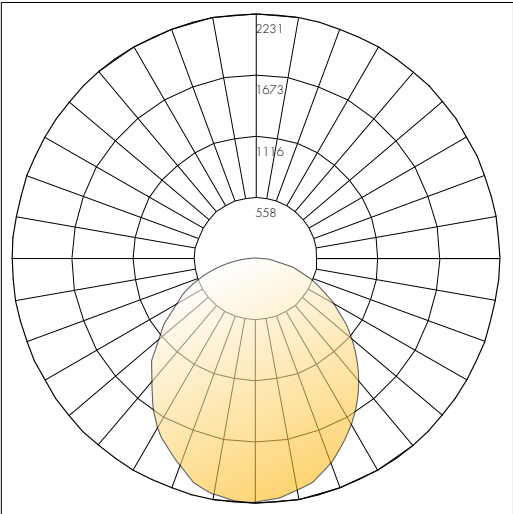
Dimensions



	Inches
X ₁	12.00
X ₂	2.71
X ₃	12.00

Photometrics

Model 50W 5000K



Delivered Lumens: 5590
CRI: 80+

Zonal Lumen Summary

Zone	Lumens
0-10	209.43
10-20	590.68
20-30	866.18
30-40	996.37
40-50	963.64
50-60	806.13
60-70	595.87
70-80	383.89
80-90	177.58
90-100	0.00
110-110	0.00
110-120	0.00
120-130	0.00
130-140	0.00
140-150	0.00
150-160	0.00
160-170	0.00
170-180	0.00

DLC Listed

Wattage	4000K	5000K
36W	X	X
50W	X	X

*Lumen outputs are based on 5000K performance data and then scaled down to the other temperatures.



SQUARE NON-TAPERED STEEL (SS)

POLE SHAFT

The pole shaft is one piece construction, being fabricated from a weldable grade carbon steel structural tubing which has a uniform wall thickness of 11 gauge (0.1196"). The pole shaft material shall conform to ASTM A-500 Grade C with a minimum yield strength of 50,000 psi. The pole shaft has a full length longitudinal resistance weld and is uniformly square in cross-section with flat sides, small corner radii and excellent torsional properties.

BASE PLATE

The anchor base is fabricated from structural quality hot rolled carbon steel plate that meets or exceeds a minimum yield strength of 36,000 psi. The anchor base telescopes the pole shaft and is circumferentially welded top and bottom. All welds are performed in accordance with the American Welding Society specification AWS D1.1, latest edition.

HANDHOLE

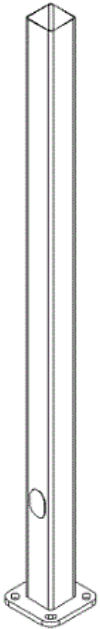
An oval reinforced gasketed handhole, having a nominal 3" x 5" inside opening, located 1'-6" above base, is standard on all poles. A grounding provision is located inside the handhole ring.

ANCHOR BOLT

Anchor bolts are fabricated from commercial quality hot rolled carbon steel bar that meets or exceeds a minimum yield strength of 55,000 psi. Four properly sized anchor bolts, each with two regular hex nuts and washers, are furnished and shipped with all poles unless otherwise specified. Anchor bolts shall have the threaded end galvanized a minimum of 8 inches in accordance with ASTM A-153. Fully galvanized anchor bolts are available upon request.

FINISH

Standard - All exterior metal surfaces are mechanically cleaned to remove all oxides and contaminants prior to coating. The standard finish is a polyester thermosetting powder coating applied to the surface of the substrate to a minimum of 3 mils for all color finishes. Galvanizing is available upon request.



SS4001114-BZ-DM10-BC					
CATALOG LOGIC		CODE	EXPLANATION		
Series:		SS	Square Non-Tapered Steel Poles		
Base Diameter:		400	4.0" Base Bottom Diameter		
Gauge:		11	11 gauge thickness		
Nominal Height:		14	14 feet tall		
Finish:		BZ	Bronze Finish Color		
Mounting Designation:		DM10	Drilled for 1 Luminaire		
Options:		BC	Base Cover		
HEIGHT (ft.)	POLE SHAFT (in.) x (ft.)	GAUGE	HANDHOLE SIZE (in.)	ANCHOR BOLT (in.) x (in.) x (in.)	BOLT CIRCLE (in.)
14	4.0 x 14.0	11	3" x 5"	0.75 x 17 x 3	8
EPA	80 MPH (ft. ²)	90 MPH (ft. ²)	100 MPH (ft. ²)	WEIGHT	SHIP WT. (lbs.)
	27	21	17		113

Bonnie Wessler

From: Joe Meyers
Sent: Tuesday, April 10, 2018 2:44 PM
To: Bonnie Wessler; Cynthia Kochanek
Subject: FW: Razing Five (5) star pizza to expand Keg Party Store

From: Beth Ernat
Sent: Tuesday, April 10, 2018 2:43 PM
To: Joe Meyers <jmeyers@cityofypsilanti.com>
Subject: FW: Razing Five (5) star pizza to expand Keg Party Store

From: William Teepen
Sent: Tuesday, April 10, 2018 2:43:21 PM (UTC-05:00) Eastern Time (US & Canada)
To: Beth Ernat
Subject: Razing Five (5) star pizza to expand Keg Party Store

William Teepen

718 Lowell street

Unit 4

Ypsilanti MI 48197

RE: Razing Five (5) star pizza to expand Keg Party Store

Dear Leaders in the city of Ypsilanti MI 48197:

Hi, I am Bill Teepen and I am an alcoholic and addict.

I am writing to you in protest of Keg Party Store of Ypsilanti Michigan, located at 534 N. Huron Ypsilanti ,Michigan 48197. The owner of the store (or property) wants to demolish Five (5) Star Pizza located at 530 N Huron St, Ypsilanti, MI 48197.

For me Five Star Pizza, is a vital business, not only because it is one of the few places that I can order GREAT pizza in the city of Ypsilanti, that is not inside a bar or part of a mega chain. This business is also minority owned (blacks).

This loss would not just cause for a minority owned business to shut down, but it greatly limits my choices, not just in where I can buy pizza, but how can I recover from drugs and alcoholism, if the city OK's razing one of the few places that is near me,that is a great support to the recovering community. In order to find pizza equal this Five (5) Star Pizza, I would have to enter a restaurant that has a bar in it.(like Tower Inn or Aubree's Pizzeria). For me this can be tough,especially during events (such as St Patrick's day and During Sports games. While some may argue that Five (5) star pizza is next to a liquor store, I can order online, pay in the store and take a route that allows me to not even know the store is there.

Lastly I did not find out about this,until I picked up my pizza, while I don't know how much the city (of Ypsilanti) is involved in this process. I do know that a commission of the city has a meeting on 4/18/2018 and have not received any notice about this meeting.

If the city of Ypsilanti is truly interested in what the city has to say and is truly interested in forming a Community Benefits Ordinance , we need a better plan of communicating with different minority and “special groups” such as the recovering community BEFORE it goes to any special commission to decide on if minority owned businesses gets razed .

Then its communicating with the commission members themselves, I would love to talk to each of the commission members involved in this process of deciding if Five Star Pizza stays in business, but I don't have any contact information.

Please tell city council NO to the razing of Five (5) Star Pizza.

Sincerely:

William(Bill) Teepen

4/9/18

Stop Demolition of Five Star Pizza

To whom it may concern,

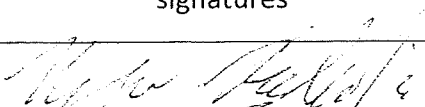
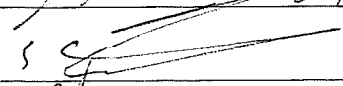
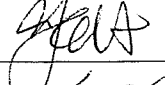
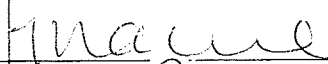
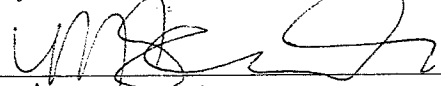
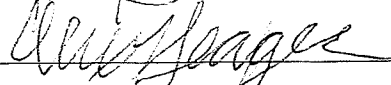
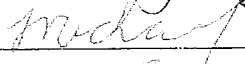
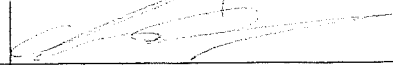
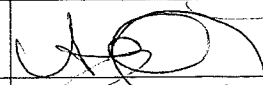
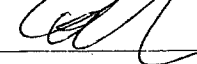
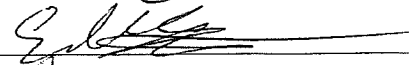
We the undersigned community of Ypsilanti would like to halt/ stop the demolition of 530 north Huron St due to expanding a already big liquor store. We feel that the remodeling is not only unneeded but not a necessary expansion that the city of Ypsilanti needs. Expanding this location will not help or bring any Benefit to the city along with bringing a family business that is slowly growing in the neighborhood to an abrupt halt, and put good hardworking individuals out of work, pay, and a small business and family out of commission to where they have no chance to rebuild and gather there loyal customers back again. We feel that this project has no value or Benefit to the liquor store due to nothing else changing in it except for its size, and also to the community which already has liquor on every other corner

Mohammad Al tawil
Five Star Pizza
530 N. Huron St
Ypsilanti, MI 48197
774-239-2204

Petition to stop Demolition of Five Star Pizza

TO: City of Ypsilanti Planning Commission

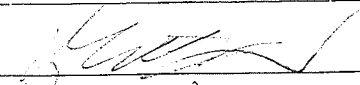
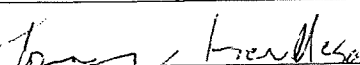
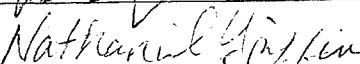
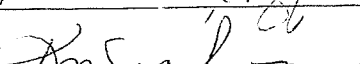
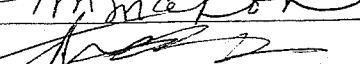
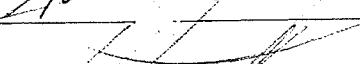
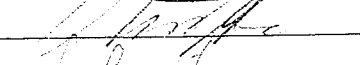
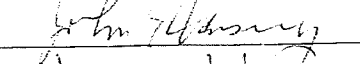
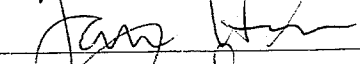
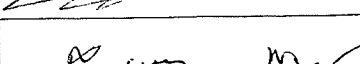
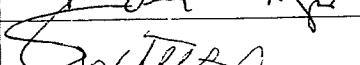
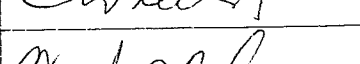
WE, are the citizens of Ypsilanti, we signed this to Stop Demolishing of Five Star Pizza (530 N. Huron Street) and change the image of downtown Ypsilanti. We need your support to stay in business; this is an individual a family business.

#	Names	addresses	signatures
	Ryan Powinski	35 west Willis Rd	
	Sam Tanel	715 grand - ypsi	
	YEN AZZANO	621 N ADAMS	
	LEWIS COLON	215 E. CROSS	
	Evan Norton	404 W Forest ¹¹ / ₃₋₇	
	Much Paul	950 railroad	
	Melika Stewart	404 W Forest Ave	
	Alex Stanger	902 Locust	
	Michael Peters	725 Arbor Dr	
	Chris Lewis	2139 Forest	
	Amy Anderson	203 E Forest	
	Katelyn Palmer	75 Grove St.	
	Jesse Whish	950 Rail Road	
	Demetri Deogstad	545 Villard	
	Edward LaRue	506 N. Hamilton #6	
	ALON JANVEJA	465 Westhawn	

Petition to stop Demolition of Five Star Pizza

TO: City of Ypsilanti Planning Commission

WE, are the citizens of Ypsilanti, we signed this to Stop Demolishing of Five Star Pizza (530 N. Huron Street) and change the image of downtown Ypsilanti. We need your support to stay in business; this is an individual a family business.

#	Names	addresses	signatures
	Ma + Hegdahl	203 E. forest	
	Veda Anderson	203 E. forest	
	TRACY Henderson	463 Westlawn	
	NATHANIEL GRIFFIN	131 COLLEGE PL	
	Kathleen McMahon	2102 Roosevelt	
	Robert Bliss	701 Oak St	
	Ken Winton	613 Belmont Dr.	
	John Harvey	312 N River	
	James Harman	123 Cherry St	
	Zachary Schultz	21 E. CROSS	
	David Zellmer	520 Terrace Lane	
	Mariam Najjar	1604 Gregory St Yps	
	William TEPPEL	718 Lowell St	
	Wendee Wegack	330 E. Forest Ypsilanti	
	Cingoe Williams	335 Worden	

Agenda
Planning Commission
Wednesday, 13 April 2018 – 7:00 P.M.
City Hall-Council Chambers, 1 S Huron St
Ypsilanti, MI 48197

New Business

- Resolution from the Nonmotorized Committee regarding Capital Improvements



City of Ypsilanti

Community & Economic Development Department

Memo

To: Planning Commission

From: Bonnie Wessler, City Planner

Date: 13 April 2018

Subject: Non-motorized Committee resolution regarding West Cross capital improvements

The Non-motorized Committee has passed a resolution regarding desired improvements to West Cross, from Elbridge to the west boundary of the City. They note that the roadway is tentatively programmed for 2021, and state, essentially, that their desire is for a road diet of some sort in this area.

Planning Commission will review the Capital Improvements Plan (CIP) at the May Planning Commission meeting. This is after Council's first look at the CIP, but well before the final adoption, and long before any design work is planned. There is no separate or independent benefit of bringing this resolution to Council.

Staff recommends that Planning Commission receive this resolution, and take it into consideration when reviewing the proposed Capital Improvements Plan in May.

Resolution Of The City Of Ypsilanti Non-Motorized Advisory Committee On West Cross Street

Whereas, in 2021, repaving is expected to take place on West Cross Street from approximately Wallace Street west to the western City limit, and

Whereas, a four lane traffic configuration in the vicinity of Estabrook School encourages motor vehicle speeding above the 25mph speed limit in that area, and

Whereas, the lack of a center turn lane on Cross Street at the intersection of Mansfield Street is a real safety factor, and

Whereas, westbound bicycle lanes on Cross Street currently end at Wallace Street, and

Whereas, Safe Routes To School program grants may be available for non-motorized improvements in the area of Estabrook School.

Therefore Be It Resolved the City of Ypsilanti supports, as part of a West Cross Street repaving project, a two-lane, plus center turn lane, configuration going as far west as practical that would include bicycle lanes on both sides of the road as well as vehicle parking on the south side of West Cross Street.

Agenda
Planning Commission
Wednesday, 13 April 2018 – 7:00 P.M.
City Hall-Council Chambers, 1 S Huron St
Ypsilanti, MI 48197

Old Business

- **Medical Marijuana Provisioning Centers: Increase in Buffer**
Tabled from 3/21/2018



15 March 2018

**Staff Review of Rezoning Application
Medical Marijuana Text Amendments
Provisioning Centers Buffer Increase**

GENERAL INFORMATION

Applicant: City of Ypsilanti

Action Requested: Recommendation to City Council to approve a Text Amendment to Medical Marijuana Dispensaries (recommended to become "Medical Marijuana Provisioning Centers"), 122-532(b)(3)

SUMMARY

State regulations regarding medical marijuana facilities have recently changed to allow for more commercial operations. This amendment would limit the number of provisioning centers throughout the City by doubling the required buffer between provisioning centers from 500 feet to 1,000 feet.

BACKGROUND

In 2008, the voters of the State of Michigan approved a ballot initiative to legalize medical marijuana, using a caregiver, person-to-person model; Ypsilanti voters supported this ballot measure by over 80%. In 2011, the City of Ypsilanti adopted zoning regulations reflective of that, allowing groups of caregivers to grow under one roof in the M1, M2, WS, and CI zoning districts with a Special Use Permit; and caregivers to connect with patients at dispensaries in the B2, B3, and B4 zoning districts by right.

In 2014, the zoning ordinance shifted to a hybrid form-and-use-based schema. In these new zoning districts, dispensaries were only permitted by-right in C, and not permitted in GC. The State adopted the Medical Marijuana Facilities Licensing Act in late 2016, which permitted fully commercialized medical marijuana facilities under one corporate owner, including grow facilities, provisioning centers (dispensaries), processors, transporters, and testing facilities. In November 2017, Council passed an ordinance opting-in to the MMFLA, allowing up to three grow/processors and seven provisioning centers (dispensaries). Two updates to the zoning code have already been proposed and recommended to Council; one, to permit provisioning centers (dispensaries) as a Special Use in the GC zoning district, and another, generally updating the specific standards and definitions for medical marijuana facilities.

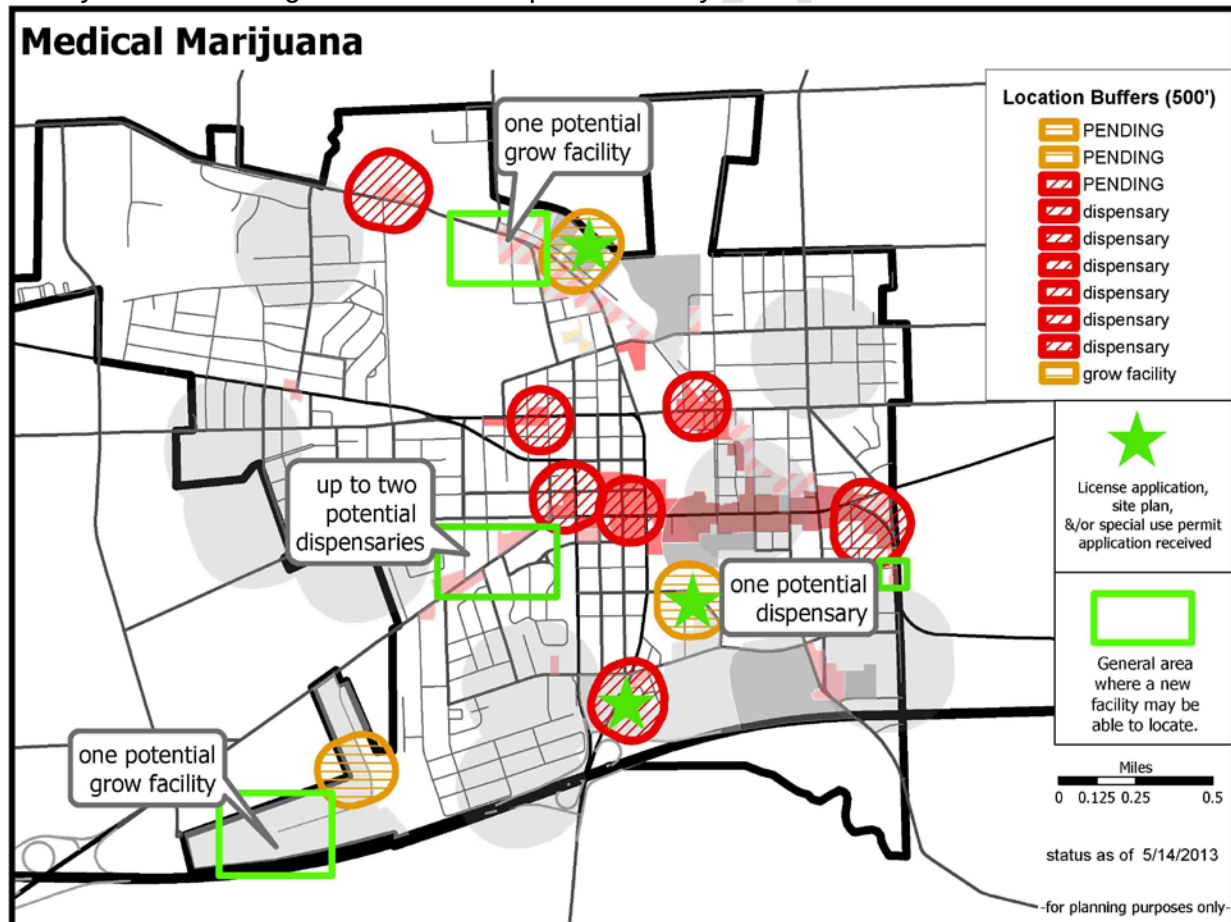
As a result of these changes at both the state and local level, it is possible that some existing provisioning centers could move; it is also possible that an existing provisioning center could go out of business and another provisioning center locate in the City. During the initial medical marijuana zoning

discussion in 2011, and during the more recent zoning discussions in 2017-18, both Planning Commission and City Council have expressed concern about marijuana business density, and the need to ensure a balanced mix of services and goods in our commercial areas. This amendment would reduce density significantly, generally allowing for only one provisioning center per commercial area, without creating significant nonconformities.

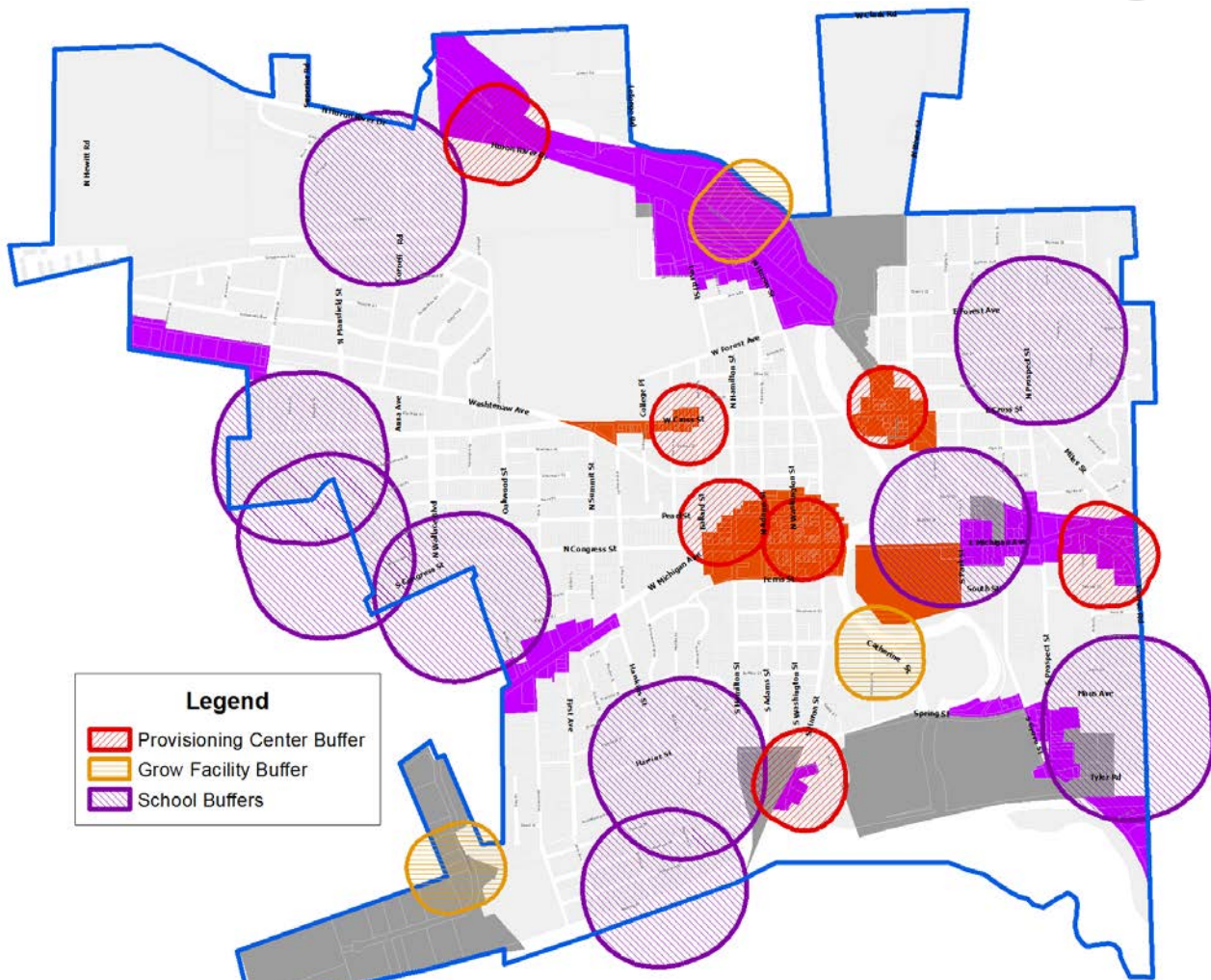
DISCUSSION

When the 2011 zoning amendments permitting dispensaries and grow facilities were adopted, there was no cap on the number of facilities, and the industry was untested and highly stigmatized. A cap on the number of facilities was introduced in 2013, as Council felt the local market was satisfied, and further increases in the number of facilities were unwise due to uncertainty in the State and Federal regulation. Many of these facilities have been operating since 2011; the newest opened in 2013. These facilities have, overall, been in compliance with local ordinances, including permitting on-demand inspections. The crime rate at these businesses is equivalent to other retail &/or industrial businesses.

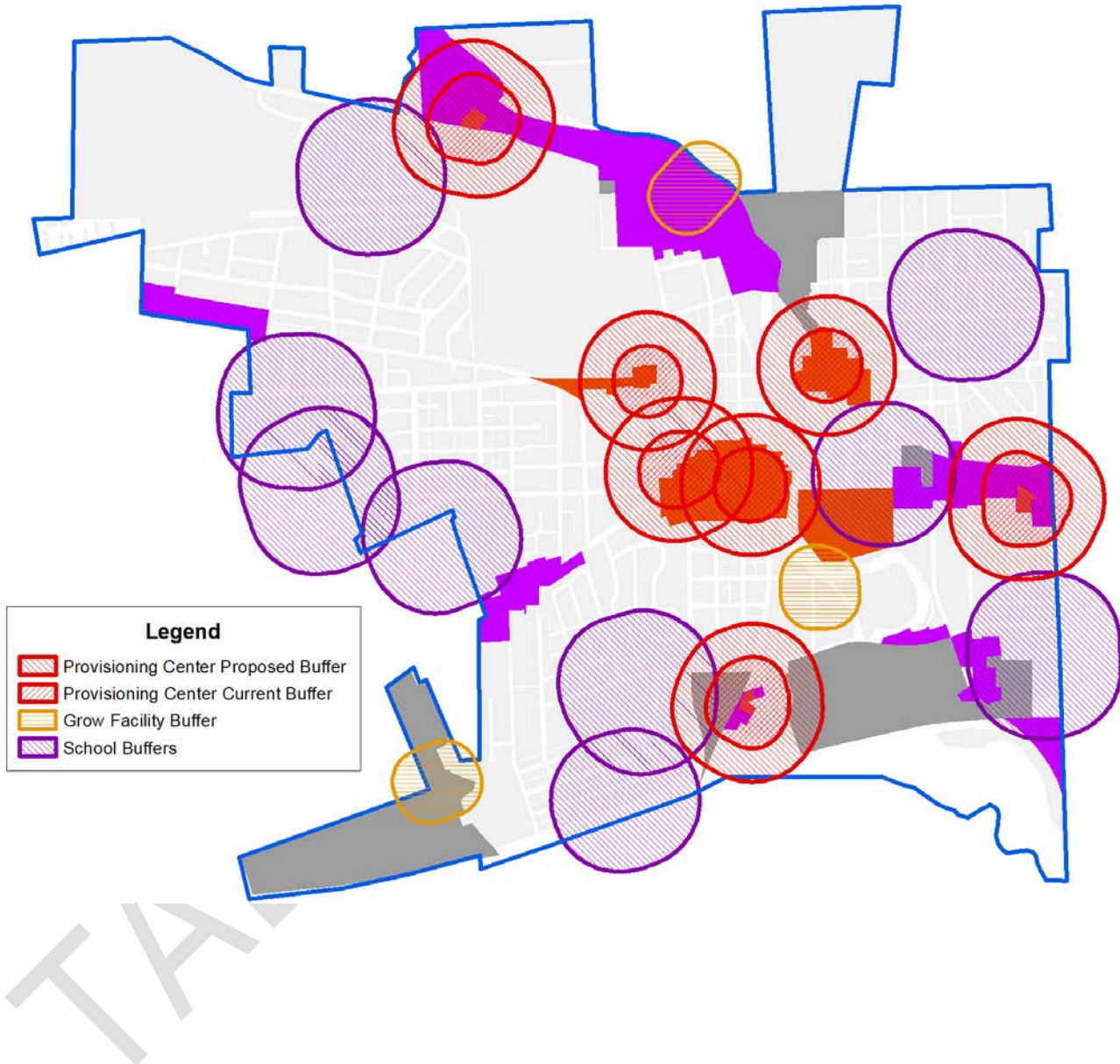
This map, as of 5/2013, shows potential locations for additional dispensaries/grow facilities; the potential distribution of facilities differed from current primarily around Washtenaw and West Michigan. The zoning around Huron River Drive has changed from the Commercial-Industrial District and a variety of other zoning classifications to predominantly GC.



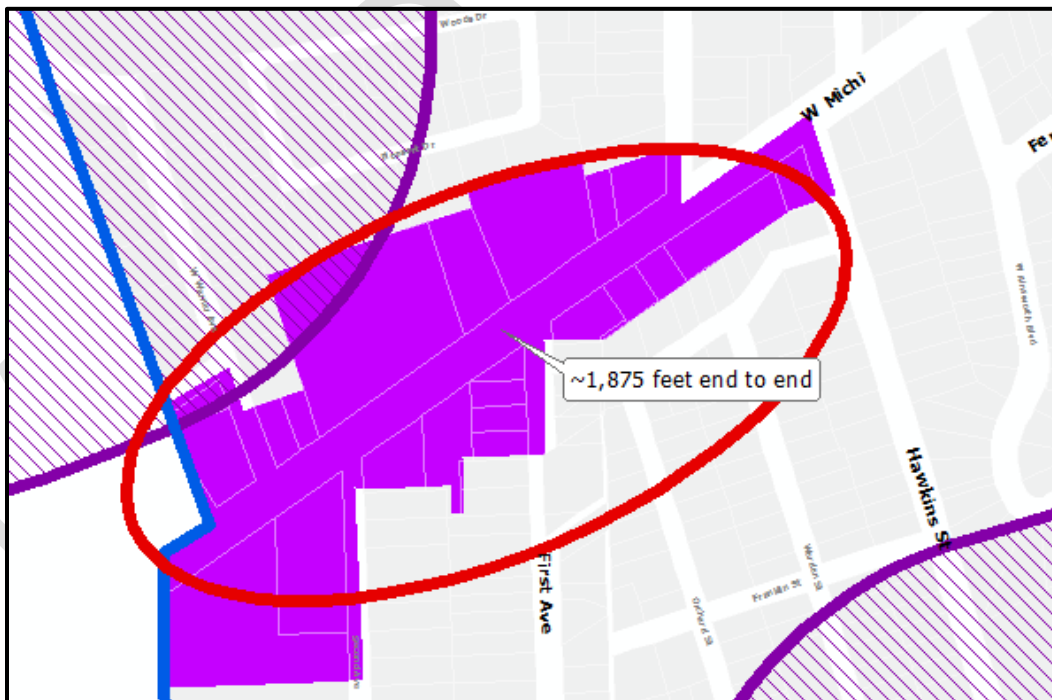
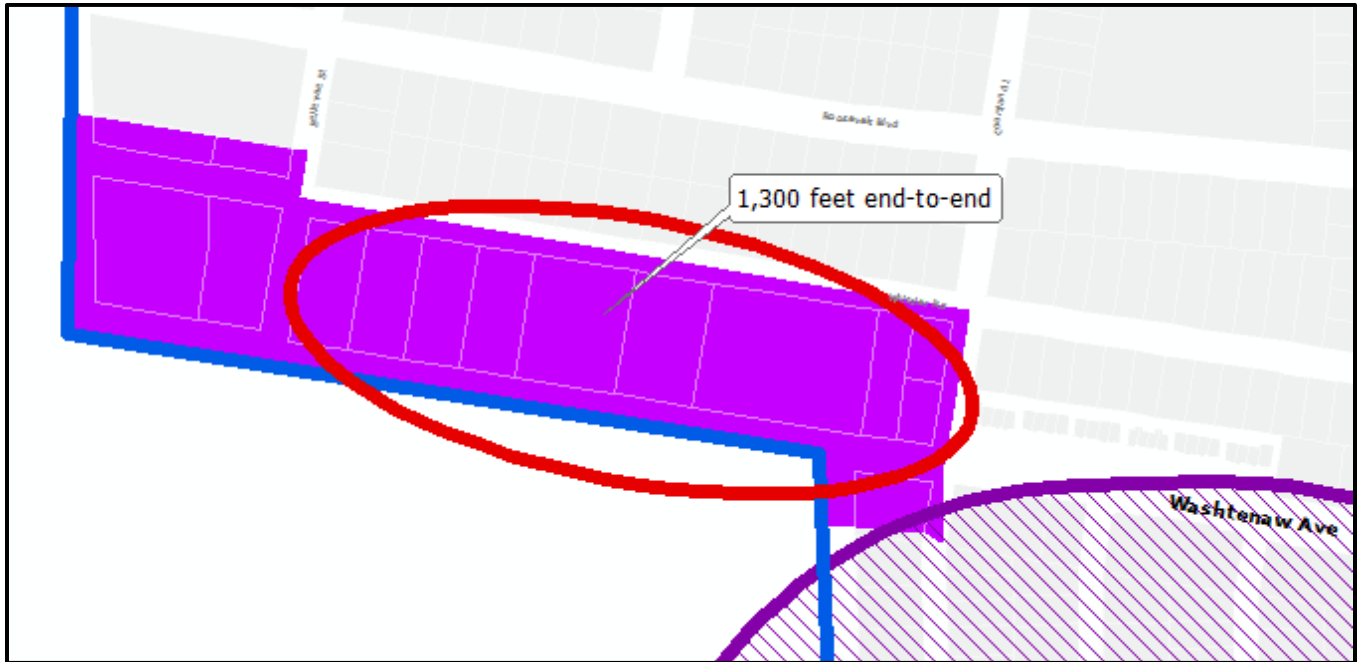
This map shows the *current* existing school buffers, facility buffers, and zoning districts. As a reminder, grow facilities are currently permitted only with a Special Use permit in GC and PMD; dispensaries are permitted by right in Center. The proposal on the table at Council would add dispensaries as a special use in the GC district. Recall also that Planning Commission has discretion in granting Special Use permits under §122-324.



Under the proposed increase in buffers between provisioning centers, the East Michigan/Ecorse corridor cannot bear a new provisioning center, nor can Depot Town or West Cross. The two existing provisioning centers in downtown Ypsilanti would exclude each other by approximately four feet; however, Herbal Solutions is planning to move eastward once rehabilitation is complete at the new location. Commercial locations on Huron River Drive/Railroad St are already fairly constrained due to the location of the railway and river, as well as the large redevelopment site at 800 Lowell, so the expansion would have minimal effect.



Looking more closely at specific areas, Washtenaw realistically could host two provisioning centers (one at each end), and West Michigan potentially two as well- fewer than the three and four, respectively, that would be able to locate there with the smaller buffer. West Michigan, it should be noted, has fewer commercial buildings that could presumably become available for such a venture; there do exist residential buildings that could be converted.



Medical Marijuana Dispensaries (recommended to become "Medical Marijuana Provisioning Centers"), 122-532(b)(3)	"Medical Marijuana Provisioning Centers," 122-532(b)(3) (changes proposed 2/21 presumed adopted)
The dispensary shall not be located within a five hundred (500) feet of a lawfully existing medical marijuana dispensary or growing/manufacturing facility as measured from the outermost boundaries of the lot or parcel on which the proposed dispensary and lawfully existing dispensary or growing/manufacturing facility is located;	The provisioning center shall not be located within a five hundred (500) feet of a lawfully existing medical marijuana <u>growing &/or processing facility nor within one thousand (1,000) feet of a lawfully existing medical marijuana provisioning center</u> as measured from the outermost boundaries of the lot or parcel on which the proposed medical marijuana facility and to the outermost boundaries of the lot or parcel on which the lawfully existing medical marijuana facility is located;

STANDARDS FOR AMENDMENTS**§122-362(a)**

(a) Text Amendment. For a change to the text of the Zoning Ordinance, the Planning Commission shall consider and the City Council may consider, whether the proposed amendment meets the following standards:

(1) The proposed amendment is consistent with the guiding values of the Master Plan; and
Applicable guiding values of the Master Plan include:

- Diversity is our strength: per the decision-making rubric. This maintains and potentially improves the diversity of the mix of businesses in Ypsilanti.
- Ypsilanti is sustainable: per the decision-making rubric, this action maintains, and has the potential to create, job opportunities for Ypsilantians, without over-investing into a volatile industry.

(2) The rezoning is consistent with description and purpose of the proposed district, and.
This would apply to all Provisioning Centers in all districts.

(3) The proposed amendment is consistent with the intent of this Zoning Ordinance; and
Per §122-100, the intent of the ordinance is to promote the public health, safety, and welfare. In particular, to:

- "create a safe, diverse, and sustainable city;
- meet the needs of the City's residents for food, fiber, energy, and other natural resources;
- guide the location of places of residence, recreation, industry, trade, service, and other uses of land;
- ensure that uses of the land shall be situated in appropriate locations and relationships;
- limit the inappropriate overcrowding of land and congestion of population and transportation systems and other public facilities;
- facilitate adequate and efficient provision for transportation systems, sewage disposal, water, energy, education, recreation, and other public service and facility needs;"

By increasing the distance between Provisioning Centers, it reserves space for other businesses to grow and thrive within the City, while still preserving access to medical marijuana.

(4) The proposed amendment will enhance the functionality, transportation network or character of the future development in the City; and

The change to the zoning ordinance has the long-term potential to do so. In the short-term, it will simply preserve the existing character of the City.

(5) The proposed amendment will preserve the historic nature of the surrounding area and of the City;
Staff does not anticipate that this amendment will negatively or positively affect the historic nature of the City.

(6) The proposed amendment will enhance the natural features and environmental sustainability of the City;
Staff does not anticipate that this amendment will negatively affect the natural features or environmental sustainability of the City.

(7) The proposed amendment will protect the health, safety, and general welfare of the public; or
The proposed change to the zoning ordinance will help maintain residents' access to medical marijuana, as prescribed by their doctor. The ordinance amendment will also help to reduce the potential that relatively volatile medical marijuana businesses might displace existing businesses in less-volatile industries.

(8) The proposed amendment is needed to correct an error or omission in the original text; or
This does not correct an error; it is an amendment due to a changing regulatory environment.

(9) The proposed amendment will address a community need in physical or economic conditions or development practices; and
Staff does not anticipate that this change will significantly impact a community need in physical or economic conditions. If the industry continues to grow, it is possible that medical marijuana businesses could reinvest significantly into their businesses. However, it is also possible that the businesses will face increasing regulatory hurdles at the federal level, and medical marijuana still carries some stigma. This amendment would decrease the potential impacts of both any stigma and the potential for an industry collapse due to regulatory issues.

(10) The proposed amendment will not result in the creation of significant nonconformities in the City.
The proposed amendment will make nonconforming the two dispensaries in downtown Ypsilanti. However, as noted, Herbal Solutions is in the process of preparing a space to the east that would conform under the new ordinance.

STAFF RECOMMENDATION

Staff recommends the Planning Commission recommend to City Council the **approval** of the proposed text amendment to 122-532(b)(3), "Medical Marijuana Dispensaries Provisioning Centers", with the following findings:

- (1) The proposed amendment is consistent with the guiding values of the Master Plan;
- (2) The proposed amendment is consistent with the intent of this Zoning Ordinance;
- (3) The proposed amendment will protect the health, safety, and general welfare of the public;
- (4) The proposed amendment will address a community need in physical or economic conditions or development practices.

Bonnie Wessler
City Planner, Community & Economic Development Division

Agenda
Planning Commission
Wednesday, 13 April 2018 – 7:00 P.M.
City Hall-Council Chambers, 1 S Huron St
Ypsilanti, MI 48197

Committee Reports

- Master Plan: Housing Affordability and Access subcommittee report

MINUTES
Planning Commission
Master Plan Housing Update Subcommittee
Wednesday, 07 February 2018 – 7:00 P.M.
Riverside Arts Center – Gallery, 76 N Huron St
Ypsilanti, MI 48197

I. Call to Order: 7:01PM

II. Roll Call

Heidi Jugenitz (PC)	P	
Toi Dennis (PC)	P	
Matt Dunwoodie (PC)	P	
Chris Madigan (PC)	P	
Amber Fellows (HRC)	P	
Tom McKee (SC)	P	
Zac Fosler (YHC)	P	
Dr Chiara Hensley (EMU)	A	
Nathanael Romero (DAY)	P	
Cheranissa Roach (AACIL)	P	
Jim Scarletta (AH)	P	
Krista Girty (OH)	P	(7:03)
Richard Murphy	A	
Tariq Hamad	P	
Robertta Andrews	P	
Desiraé Simmons	P	
Ashley Fox	P	
Alexis Ford	P	
Mike Auerbach	P	

III. Introductions

Each committee member present introduced themselves and gave a brief description of their personal and/or their organizational interest in housing.

IV. Master Plan overview

Bonnie Wessler, City Planner, gave a brief and broad overview of the master planning process.

V. Committee background & desired outcomes

H. Jugenitz explained the tight timeline of this process, with an October deadline, as well as the need to work using a set of operational definitions upon which all committee members can agree. Noted the need for robust data and in-depth analysis of existing conditions. Questions and suggestions were offered by committee members and addressed at the table; these included offering of additional resources/initiatives (OneWashtenaw, REDY), discussion of local and national history (upzoning and downzoning in Ypsilanti; racial exclusion/redlining); discussion of the need to perform outreach to traditionally underrepresented populations and to incorporate their input in a meaningful manner.

VI. Master Plan update process & proposed calendar

H. Jugenitz discussed future meetings, proposing 7pm on first Wednesdays, at rotating locations. Accessibility via bus was noted as important, as well as physical accessibility. A location was not determined.

VII. General discussion & input

All around the table were invited to give further input. A Fox, T Dennis, N Romero, A Fellows, and

D Simmons all offered additional input; there was discussion of goals, metrics, the relation of affordability to wages, the value or lack thereof of relating housing to income/wealth, and additional information regarding existing resources.

VIII. Preparations/background reading for March meeting

H. Jugenitz noted that she would put together a Google Drive, Dropbox, or similar for dissemination of materials. Members were invited to send suggestions.

IX. Audience Participation

H. Jugentiz noted that there was a large audience present, and although audience participation was not on the agenda, she would welcome it. There was general assent from the committee as a whole.

- Mark Hergott. Suggested that local businesses reinvest in the local community for a reduction in taxes. Noted that many of the issues discussed were intersectional, and expressed desire to bring everyone to the table.
- Anthony Morgan. Wanted to know if there was a way to cap how much real property an individual could own in the City.
- Rae. Leads the Ypsilanti Tenants Union. Notes that there are many renters in the City. Wanted more renters to know their rights, as the lack of such knowledge makes it easy for unscrupulous landlords to take advantage of them and provide unsafe housing.
- Kiera. EMU grad student; expressed belief in housing as a human right. Resident since 2005. Wants to see more universal design, more residents on the steering committee. Pointed out that the venue was not conducive to allowing people with hearing disabilities to participate.
- Carly. Resident of 6 years. Feels accessibility is an afterthought for many, and needs to be centered in the discussion more. Has had issues with landlords failing to provide reasonable accommodations in the past.
- Sheri. Volunteers with Ypsilanti Gathering Space, as well as the Ann Arbor day shelter. Pointed out that all of the County's resources for people experiencing homelessness were located in Ann Arbor.
- Liz. Has lived here a long time. Noted that many at the table and in the audience were not born Ypsilantians; in a sense, all were gentrifiers. Remember there was an Ypsilanti already here when we got here.
- Rae (again). Decried condition of rentals; specifically with regard to the lack of regulation regarding radon and mold. Noted that part of accessibility is simply being able to live healthily in a space.

X. Adjournment 8:47pm

MINUTES
Planning Commission
Master Plan Housing Update Subcommittee
Wednesday, 07 March 2018 – 7:00 P.M.
New Parkridge Homes Community Room – 831 Hilyard Robinson Way
Ypsilanti, MI 48197

I. Call to Order: 7:01PM

II. Roll Call

Heidi Jugenitz (PC)	P	
Toi Dennis / Liz Dahl MacGregor (PC)	P	(MacGregor)
Matt Dunwoodie (PC)	P	
Chris Madigan (PC)	A	
Amber Fellows (HRC)	P	
Tom McKee (SC)	P	
Zac Fosler (YHC)	P	
Dr Chiara Hensley (EMU)	A	
Nathanael Romero (DAY)	P	
Cheranissa Roach (AACIL)	P	
Jim Scarletta (AH)	P	
Krista Girty (OH)	P	(7:15)
Richard Murphy	P	
Tariq Hamad	P	
Robertta Andrews	P	(7:14)
Desiraé Simmons	P	
Ashley Fox	P	
Alexis Ford	P	
Mike Auerbach	P	
Shari Wander	P	

III. Minutes

The minutes of the February 7th meeting were approved unanimously.

IV. Funding Resolution

The agenda was amended to include discussion of a resolution to Planning Commission, with the intent to pass along to Council, requesting that budget be allocated for implementation of the housing plan in the 2018-19 budget year. A vote was taken and approved (12 for, 1 against, 2 abstentions, and 2 nonvoting due to lack of Ypsilanti City residency) to pass the below resolution to Planning Commission.

WHEREAS the City of Ypsilanti's 2013 Master Plan states a guiding value that "Anyone, no matter what age or income, can find a place to call home in Ypsilanti;" and,

WHEREAS the City of Ypsilanti Planning Commission has created a citizen committee to develop a housing plan that advances this value by addressing housing affordability, accessibility, and instability; and,

WHEREAS the citizen committee anticipates developing a plan by October 2018 that will include immediate and medium-term actions and investments; and,

WHEREAS The Ypsilanti City Council and staff are currently developing the budget for the fiscal year spanning July 1, 2018 to June 30, 2019;

THEREFORE BE IT RESOLVED that the Planning Commission recommends the City of Ypsilanti allocate funding annually to a housing trust fund, beginning with a minimum \$100,000 in Fiscal Year 2019; and,

BE IT FURTHER RESOLVED that the use of these funds be guided by the plan developed by the Citizen Committee on Housing Affordability and Accessibility and adopted by the Planning Commission.

V. Facilitation (8:25)

The agenda was amended to discuss the potential to utilize a facilitator to help guide the meeting process. There was general agreement that a facilitator would be useful.

VI. Background material: what we know and what we need to know (8:35)

A discussion was begun regarding background material. Discussion included home sales and rental prices, as well as the challenges in measuring the populations of people who are experiencing homelessness and those who require accessible accommodations (and the various types of accommodations that might be required).

VII. Public Comment (9:17)

One person spoke on the importance of the differences in homelessness in Ypsilanti vs Ann Arbor, as well as affordability issues when experiencing homelessness as well. Spoke of the high barriers to re-entering the housing market due to a variety of factors, including past financial issues or evictions.

VIII. Upcoming business (9:20)

April meeting will talk more about data and findings; staff will also provide more information about what public engagement tools have been used in the past.

IX. Adjournment (9:25)

Agenda
Planning Commission
Wednesday, 13 April 2018 – 7:00 P.M.
City Hall-Council Chambers, 1 S Huron St
Ypsilanti, MI 48197

Committee Reports

- Nonmotorized Committee report

Ypsilanti Non-Motorized Advisory Committee Meeting Minutes - March 13, 2018

1. Call to order - The meeting was brought to order at 7:02pm, Tuesday, March 13th, 2018 at the Ypsilanti District Library, 229 West Michigan Avenue. Committee members attending were Tony Bedogne, Martha Cleary, Bob Krzewinski and Sarah Walsh. Also attending was City Council member Pete Murdock.
2. Introductions
 - a. Audience participation/public input – None
3. General business
 - a. Agenda approval – A motion was made by Sarah, seconded by Tony, to accept the agenda, with no objections.
 - b. Approval of January meeting minutes - A motion was made by Sarah, seconded by Tony, to accept the January minutes (no meeting was held in February), with no objections.
 - c. Additional Committee member recruitment – Bob will contact the Mayor for any possible suggestions and send out more publicity asking for volunteers.
4. Old & continuing business
 - a. 2018 Committee priorities
 1. Bike lane projects
 - Harriet, Spring, Factory, Maus (First to Emerick) initial actions – Discussed as part of 2022 MDOT Huron/Hamilton project. Research needed to see if bike lanes/parking could be part of a road diet.
 - West Cross (Wallace to western City limit) – By unanimous consent, the following resolution was approved and will be forwarded to the Planning Commission...
Resolution Of The City Of Ypsilanti Non-Motorized Advisory Committee On West Cross Street

Whereas, in 2021, repaving is expected to take place on West Cross Street from approximately Wallace Street west to the western City limit, and

Whereas, a four lane traffic configuration in the vicinity of Estabrook School encourages motor vehicle speeding above the 25mph speed limit in that area, and

Whereas, the lack of a center turn lane on Cross Street at the intersection of Mansfield Street is a real safety factor, and

Whereas, westbound bicycle lanes on Cross Street currently end at Wallace Street, and

Whereas, Safe Routes To School program grants may be available for non-motorized improvements in the area of Estabrook School.

Therefore Be It Resolved the City of Ypsilanti supports, as part of a West Cross Street repaving project, a two-lane, plus center turn lane, configuration going as far west as practical that would include bicycle lanes on both sides of the road as well as vehicle parking on the south side of West Cross Street.
 2. Sidewalk projects
 - Relmagine Washtenaw - Nathan Vought, of the Washtenaw County Office of Community & Economic Development, will attend our April 5th meeting to give an update.

(Over)

3. General projects

- Non-Motorized Plan update completion – Tony gave an update on the Plan and after discussion, the following Committee members will work on Plan sections prior to the April 5th Committee meeting...
 - Bob – Chapter 1 (Introduction), Chapter 8 (Build), Chapter 9 (Promote)
 - Sarah – Chapter 3 (Process), Chapter 4 (Vision and Goals)
 - Tony – Chapter 5 (Administer), Chapter 6 (Maintain), Chapter 11 (Implement)
 - Pete – Chapter 10 (Fund)
 - I-94 Huron Street crossing (along with traffic calming on Huron-Hamilton-Washtenaw) - involves MDOT jurisdiction area – Request For Proposals for Road Diet Capacity Analysis approved by City Council 2/20
 - Border To Border Trail completion – Water Street opening tentatively planned for late March/early April, national Trails Opening Day is April 7 – National Trails Day is the first Saturday of June – Washtenaw County Parks & Recreation Commission will hold public input sessions on March 27 and 29 on an B2B Trail master plan.
 - Bike Friendly/Walk Friendly applications follow up
 - BFC signage – Bob will take photos of five Bike Friendly sign locations and forward them to the Committee prior to having Public Services install the signs.
 - WFC reapplication – WATS indicated they have pedestrian counts as requested in the application and will forward them to the Committee. The next application deadlines are June 15 and December 15.
 - Public education/communications (Committee newsletter, social media, snow/vegetation removal) – No update
 - Pedestrian safety improvements (signage/markings) – Discussed.
 - Traffic calming (additional bump-outs, more radar speed signs, speed bump policy) - involves MDOT jurisdiction area – Discussed.
- b. Sidewalk snow removal – Snow removal is mentioned on the City property assessment statement.
- c. Capital Improvements Plan: annual update process/committee formation – Tony will keep the Committee aware of CIP updates.
- d. Other
- EMU Bike Share Program – EMU has chosen one vendor (Spin - <https://www.spin.pm>) and hopes to start the service in May pending approval by the EMU regents.
 - Vision Zero – This program is meant to enact government policies that advance the idea of no pedestrian/cyclists deaths - <https://visionzeronetwork.org>. A representative from the Washtenaw Bicycling and Walking Coalition will attend the May meeting to talk about this program which has been adopted in Ann Arbor.

5. New Business

- a. Planning Department update – No new updates.
- b. Committee 2017 Annual Report – Tony reported it was received and accepted by the Planning Commission.
- c. Other – Sarah is expecting a report on the EMU bike repair stand usage and will forward it on.

6. Other Items – Announcements – None.

7. Adjournment – A motion was made by Tony, seconded by Sarah, to adjourn the meeting, passing unanimously. The meeting adjourned at 8:36pm with the next meeting being Thursday, April 5, 2018 at the downtown Library.

Ypsilanti Non-Motorized Advisory Committee Meeting Minutes - April 5, 2018

1. Call to order - The meeting was brought to order at 7:05pm, Thursday, April 5th, 2018 at the Ypsilanti District Library, 229 West Michigan Avenue. Committee members attending were Tony Bedogne, Martha Cleary, Bob Krzewinski and Sarah Walsh. Also attending were City Council member Pete Murdock, Nathan Voght from the Washtenaw County Office of Community & Economic Development and Tom Kovacs with the Eastern Michigan University (EMU) bike share program.
2. Introductions
 - a. Re Imagine Washtenaw - Nathan Voght gave an overview and update on the Re Imagine Washtenaw project along with the challenges that are faced.
 - b. Audience participation/public input – Tom Kovacs gave an update of the EMU bike share program, which now is planned for a summer 2018 rollout. Tom also noted that representatives from the local bike share program will be at the April 17th City Council meeting to give a report to that group. The Non-Motorized Advisory Committee members are very supportive of the EMU bike share program and Bob will address City Council on April 17th noting this support.
3. General business
 - a. Agenda approval – A motion was made by Sarah, seconded by Martha, to approve the agenda, passing unanimously.
 - b. Approval of March meeting minutes – A motion was made by Martha, seconded by Sarah, to approve the March meeting minutes, passing unanimously.
 - c. Additional Committee member recruitment – Tony has bought a house outside the City and will be leaving the Committee, and City Planning Commission, in July. He will be working on having another Planning Commission member also serve on the Non-Motorized Advisory Committee.
4. Old & continuing business
 - a. 2018 Committee priorities
 1. Bike lane projects
 - Harriet, Spring, Factory, Maus (First to Emerick) – No updates since the last meeting.
 - West Cross (Wallace to western City limit) – The West Cross Street resolution passed at the March 13th meeting is expected to be on the April 18th Planning Commission meeting which Bob will attend.
 2. Sidewalk projects
 - Relmagine Washtenaw public update program – Completed earlier in the meeting.
 3. General projects
 - Non-Motorized Plan update completion – Update data was discussed and a meeting will be planned for either April 10 or 11 with City Planner Bonnie Wessler to discuss the update. Separate Non-Motorized Plan meetings will be planned roughly every two weeks until the update is completed.
 - I-94 Huron Street crossing (along with traffic calming on Huron-Hamilton-Washtenaw) - involves MDOT jurisdiction areas – No updates since the last meeting.

- Border To Border Trail completion – The Washtenaw County Parks & Recreation Commission had two Ypsilanti area public input meetings in late March and will start working on an actual Eastern County B2B Trail master plan soon. Further public input sessions will be held once the master plan is complete.
- Bike Friendly/Walk Friendly applications follow up
 - BFC signage – City staff had concerns about a sign on Huron Street but the Committee recommended the sign still be installed there.
 - WFC reapplication – The next realistic resubmission deadline is December 15.
- Public education/communications (Committee newsletter, social media, snow/vegetation removal) – Bike Ypsi and the Program To Educate All Cyclists will be sponsoring a Ride Of Silence on May 16th at Recreation Park to honor all cyclists killed or injured and urge all road users to share the road.
- Pedestrian safety improvements (signage/markings) - No updates since the last meeting.
- Traffic calming (additional bump-outs, more radar speed signs, speed bump policy) - involves MDOT jurisdiction area – Seasonal speed bumps should be going up on Ferris and Dwight Street. A discussion was also held on placing speed bumps on Cornell and Miles Streets, as well as signing (i.e. stop for pedestrians) on the Border To Border Trail mid-block crossing of Cornell Street between Mayhew and Collegewood.

5. New Business

- a. Planning Department update – Update information covered in the meeting minutes.
- b. AARP Grant – The AARP has a Community Challenge grant with a deadline of May 16th. Discussed were possible projects including curb cuts and bus stop waiting pads. Bob will discuss the grant further with Bonnie Wessler and research more possible projects where the grant could be used.
- c. Other – Bob will set up the annual bike commuting station at Beezy's on Washington Street on Bike To Work Day, May 18th. WATS accepted almost all of the Committee suggestions for locations to do bicycle and pedestrian traffic counts.

6. Other Items – Announcements - None.

7. Adjournment – A motion was made by Tony, seconded by Martha, to adjourn the meeting, passing unanimously. The meeting adjourned at 8:45pm with the next meeting being Thursday, May 3, 2018 at the downtown Library.

**PLANNING COMMISSION
MEETING MINUTES
March 21, 2018
CITY COUNCIL CHAMBER
7:00 P.M.**

I. CALL TO ORDER

The meeting was called to order at 7:05 p.m.

II. ROLL CALL

Present: L. Dahl-MacGregor, C. Zuellig, A. Bedogne, P. Hollifield, M. C. Madigan, T. Dennis

Absent: H. Jugenitz, M. Dunwoodie, J. Talaga (all excused)

Staff: Bonnie Wessler, City Planner
Cynthia Kochanek, Preservation Planner
Nan Schuette, Executive Secretary

III. APPROVAL OF MINUTES

Commissioner Hollifield moved to approve the minutes of February 21, 2018 (Support: T. Dennis) and the motion carried unanimously.

IV. AUDIENCE PARTICIPATION

None

V. PRESENTATION AND PUBLIC HEARING ITEMS

1. 75 Catherine – Special Use and Site Plan

Planner Kochanek gave a brief presentation stating that this is a request for Special Use and Site Plan approval. The total area is 1.03 acres and has an existing building on the site of 7,615 sq. ft. A special use permit was granted for its use as a medical marijuana grow facility back in March 2013 with a certificate of occupancy issued in February 2015. The property was rezoned from CN to PMD in October 2017. The applicant requested a variance from the front, street side and rear setbacks and was seen by the Zoning Board of Appeals at their January 24, 2018 meeting. The ZBA approved the front and street side setback variances but denied the rear setback. The applicant has since corrected the rear setback on the plans to conform to the zoning ordinance. The current plans indicate a building expansion to 19,062 sq. ft. with a north addition of 3,121 sq.ft. and a south addition of the 8,326 sq. ft. New concrete curbing and asphalt paving, dumpster, landscaping and lighting will be installed on site.

Medical marijuana grow/manufacturing facility is allowed in PMD as a special use.

Staff recommends approval of the expansion of the Special Use Permit for medical marijuana growing/processing with finding and condition. Staff also recommends the approval of the Site Plan for the expansion of Aspen Gardens with finding, waivers and conditions.

Commissioner Dennis moved to open the public portion of the hearing (Support: P. Hollifield) and the motion carried unanimously.

Since there was no comments from the public, Commissioner Zuellig moved to close the public portion of the hearing (Support: P. Hollifield) and the motion carried unanimously.

Commissioner Dennis moved that the Planning Commission approve the expansion of the Special Use Permit for medical marijuana growing/processing for Aspen Gardens, with the following finding and condition:

Finding: The application is substantially in compliance with Sec 122-324(b).

Condition: special use approval shall be subject to approval of site plan

The motion was supported by Commissioner Bedogne. A roll call vote was taken and carried unanimously 6:0.

Commissioner Dennis moved that the Planning Commission approve the Site Plan for the expansion of Aspen Gardens, with the following finding, waivers and conditions:

Finding: The application substantially complies with Sec 122-310.

Waivers:

1. Waiver requested from Sec 122-636, Street Trees, due to lack of available space on both Chidester and Catherine.
2. Waiver requested from Sec 122-432(a)(6), greenbelt, along the Chidester frontage due to lack of available space.

Conditions:

1. Applicant shall seek, obtain, and retain all necessary state licensure and all necessary local licenses or permits for operation.
2. Applicant to note on the site plan that smoking and/or use of medical marijuana shall be prohibited at the growing/manufacturing facility.
3. The premises shall be open for inspection upon request by the Building Official, the Fire Department and law enforcement officials for compliance with all applicable laws and rules, during the stated hours of operation/use and as such other times as anyone is present on the premises.
4. Establishment must comply with the State mandated tracking system.
5. Applicant to note on the site plan that if the growing/manufacturing facility ceases operation for a length of time of sixty (60) days or greater, the permit shall expire.
6. That portion of the structure where the storage of any chemicals such as herbicides, pesticides, and fertilizers shall be subject to inspection and approval by the Ypsilanti Fire Department to ensure compliance with the Michigan Fire Protection Code.

7. The dispensing of medical marijuana growing/manufacturing facility shall be prohibited.
8. There shall be no other accessory uses permitted within the same building.
9. Applicant to address all engineering conditions per the engineering review.
10. Applicant to submit photometric for administrative review and approval.

The motion was supported by Commissioner Bedogne. A roll call vote was taken and carried unanimously 6:0.

2. Bell-Kramer Neighborhood: Well Restriction Ordinance

City Planner Bonnie Wessler stated that this was discussed at the last meeting. At that time we did not fully comprehend all of the State Acts steps to approval. One of the steps for approval was that notice must be given in the same manner as zoning amendments. In an excess of caution, staff has also chosen to interpret this as requiring the same process of review. Therefore, staff is requesting that the Planning Commission review the ordinance that was included in the packet, which would restrict the drilling and use of wells in the Bell-Kramer neighborhood. The format has changed; rather than an addition whole into Chapter 106, it serves to modify an existing well restriction ordinance and add the bell-Kramer and landfill areas. This reduces redundancy and potential conflict. It is not substantially different than the ordinance which was presented to Planning Commission in February.

Commissioner Zuellig moved to open the public portion of the hearing (Support: P. Hollifield) and the motion carried unanimously. Since there was no input, Commissioner Hollifield moved to close the public portion of the hearing (Support: C. Madigan) and the motion carried unanimously.

Commissioner Hollifield moved that the Planning Commission recommend approval to City Council (Support: C. Zuellig) and the motion carried unanimously.

3. Medical Marijuana Provisioning Centers

City Planner Wessler stated that this is a request for the Planning Commission to recommend to City Council to approve a Text Amendment to Medical Marijuana dispensaries (recommended to become "Medical Marijuana provisioning Centers"), Sec 122-532(b)(3).

She stated that the Zoning Ordinance currently requires a 500' buffer between provisioning centers and growing facilities and 1000' around schools. One of the things that City Council has made very clear in their discussions about marijuana is that they are comfortable with the status quo and they don't see any reason for change. One of the items that we are seeing as far as patterns in development in the status quo is that there is approximately one provisioning center per business district. Downtown is a little bit of an outlier in that. We looked at ways to maintain that. One way is to increase the buffer between provisioning centers only from 500' to 1000'. This would have the effect of making two provisioning centers non-conforming, Third Coast and Herbal Solutions – they are approximately 996' between each other. However, it is the understanding of Planner Wessler that Herbal Solutions is planning to move two doors to the east which would resolve that situation quite nicely. Staff is recommending that Planning Commission recommend to City Council that they approve the increase in the buffer distance.

Commissioner Dennis asked if City Council is comfortable with the status quo, what is the purpose of the 1000' and Planner Wessler responded that we currently have seven provisioning centers and not only do they have to get a permit from the City of Ypsilanti, but they also have to get a license from the State, none of which are guaranteed, but we won't know which one will get a State license until June 15th. There may be a repositioning in provisioning centers in three months. There is not much opportunity for either of these centers to expand.

Commissioner Bedogne stated that he understands the balance of one center per district but increasing the buffer would make it more challenging if someone were not able to get their license. Planner Wessler responded that if one center in Depot Town lost their license, there would only be room for one, not two, as is currently the status.

Commissioner Zuellig moved to open the public portion of the hearing (Support: P. Hollifield) and the motion carried unanimously.

Adam Tasselmeyer – totally agrees with expanding to 1000', however, he is concerned because the day after this meeting, the board is going to go over the first licenses for pre-qualification on approval or denial at the State level and we do not know how in depth they are going to get. He would not like to get in front of the board and be not in compliance by 4 ft. They are moving so that will resolve the problem but he advocates tabling this item.

Mr. Benjamin Spenser, Attorney, 106 N. 4th Street, Ann Arbor – what he doesn't hear being discussed is that the City of Ypsilanti actually accepted applications and put them in a queue for those provisioning centers that would like to take over a licensee in case one of the currently operating provisioning centers is not approved. A lot of time, effort and money went into locating the correct locations for provisioning centers and preparing applications and materials for the City. They were turned in March 1st. For the clients, they looked at all the ordinances and zoning and wanted to be sure they found compliant locations. With the change in the ordinance, after these applications have gone in, they believe some might make thru the State process, maybe all. But if the one is 750 ft, it raises questions. They relied on this ordinance when working on getting the applications in. Under the new buffer zone, one of his clients could be affected. He is suggesting to table the motion for some time until they sort out at the State level. The June 15th deadline date could be changed.

City Planner Wessler asked to make a procedural point to the board. She stated that the board can choose recommend denial and it still goes on to council, table and it stays here, or choose to recommend approval and it goes to council.

After discussion by board members, Commissioner Hollifield moved to table this item (Support: C. Madigan). A roll call vote was taken and carried unanimously 6:0.

4. **Planned Unit Development – 1600 Huron River Drive**

Planner Wessler gave a brief presentation stating that this is a request for a Planned Unit Development (PUD) for Ozone House. It is a city owned parcel on the corner of Superior and Huron River Drive and is the site of a former YCUA well and current site of a YCUA pumping station. YCUA holds an easement over the east portion of the site and there will be a future drainage over the east site of the site. DTE has two easements over the property and roads are covered by Washtenaw County. There are steep slopes on site, complicated by sandy soil, which preclude development along the east half of the parcel and much of the north.

They are proposing a multipurpose building, with associated parking and outdoor recreation areas (decks and walkouts as well as a basketball court). This building would have a mix of storage, office and housing. On the lower level, there are eight bedrooms with a shared kitchen, study area and bathrooms, as well as a shared living area with walkout deck proposed, as well as storage, laundry and a recreation room. On the ground/main floor, there are office spaces, work areas, meeting rooms, storage, medical offices, childcare spaces and multipurpose rooms. The upper story has two large multipurpose rooms, as well as another eight bedroom unit with shared living, dining, toileting, and recreation/learning areas. This unit also has access to the outdoors via screened porch. The building is a total of approximately 19,066 sq. ft.

PUD's are difficult to amend therefore Planning Department is trying to include as much administrative approvals as possible through this process. A PUD gives us the flexibility to approve exceptions.

The applicant also has a potential Phase 2 of a two-story 8-10 unit apartment block, proposed just north of the basketball court, with a footprint of approximately 3,500 sq. ft. In the event of development, this court would become parking to serve the new housing. Staff is recommending approval.

Commissioner Zuellig moved to open the public portion of the hearing (Support: P. Hollifield) and the motion carried unanimously.

Krista Girty, Exec. Director of Ozone House – was accompanied by Joe Maynard, from Washtenaw Engineering, and Jan Culbertson, from A3C Collaborative Architecture. Ozone House is 49 years old and they work with people in crisis in many ways. They've outgrown their office and are moving from their properties in Ann Arbor consolidating their services. This will be an L-shaped building. There will be two housing groups – one for juveniles 10-17 year olds and one for 18-21 year olds who can live there for up to 18 months, helping them to be skilled and live on their own. The lower level will be separate from the 10-17 year olds with their own outside space. One building will be for training, counseling, health, etc. They will also have a future expansion wing that can be used for more living space if necessary. She feels that 50 people is reasonable.

They reviewed the proposed drawings of the property, including sidewalks, buildings, landscaping, and storm water with rain garden. He noted the location of the bus stop. They have water services coming on site as well as a fire hydrant.

Patrick Gaulier, 1613 Gregory – is not only a resident but is an employee of Ozone House. He added there have been several neighborhood meetings with personnel from Ozone House and they approve of the potential project and its use.

Planner Wessler added that five emails that had been received in support of the project as well as one packet of information.

Commissioner Zuellig moved to close the public portion of the hearing (Support: T. Dennis) and the motion carried unanimously.

Commissioner Zuellig comments that this is one of the best site plans that she had seen – it is very thoughtful, architecturally great and she is very supportive.

Commissioner Dennis moved that the Planning Commission recommend that City Council approve the Ozone House Planned Unit Development at 1600 Huron River Drive with the following find, waiver, exceptions and conditions:

Findings

1. The application substantially complies with Sec 122-311, Section 122-702 and Sec 122-706.

Waiver

1. For a reduction of 14% in the required vehicle parking under Sec 122-691 due to site constraints and proximity of bus stop.

Exceptions

1. From the front setback requirement for Phase 2 apartment building of Sec 122-479(e) due to the constraints of the site.
2. From the frontage build-out percentage requirements of Sec 122-479(h), due to the constraints of the site.
3. From the private Frontage requirement of Sec 122-484, due to the lack of a retail or commercial presence on the first floor open to the general public.
4. From the Sec 122-548(a), limiting the number of supportive housing residents, in the social interest of being able to serve more clients.
5. From Sec 122-548(b), limiting provision of supportive services to residents only, in the social interest of being able to serve a more clients.
6. From sidewalk requirement of Sec 122-672 along Superior Drive, with the finding that the site constraints and future connectivity make such construction impractical and undesirable, and the additional finding that provision of a crosswalk across Huron River Drive and the service drive to the south provide a superior benefit.
7. From the maximum light pole height in Sec 122-609(c) due to the character of the site and the site constraints in locating additional fixtures.

Conditions

1. Applicant to provide compact car signage for the eight compact car parking spaces.
2. Applicant to provide a fully connected 5' or wider walkway from the Phase II apartment building to the sidewalk on Huron River Drive; to be reviewed administratively at point of construction.

3. Applicant to review landscaping at southwest corner of site adjacent to drive and propose alternate plantings to meet both off-street parking screening requirements and traffic visibility requirements.
4. Applicant to provide details for the dumpster enclosure for administrative review.
5. Applicant to evaluate ability to allow existing trees to remain where possible, or add additional tree on east side of site.
6. Applicant to replace Callery pear trees with similar trees with less invasive habit.
7. All site improvements related to construction of the Phase 2 building shall be reviewed administratively and in accordance with the PUD agreement. Any changes to the location or increases in the intensity of use of the building will be subject to the provisions of Sec 122-708.

The motion was supported by Commissioner Madigan. A roll call vote was taken and carried unanimously 6:0.

5. **Code Enforcement**

At previous meetings, there have been many people attending who complain about code enforcement in the city. Because of this, City Planner Wessler asked the Code Enforcement Office to give a presentation to the Board in an effort for the members to have a better understanding of his position and responsibilities.

James Jackson, Code Enforcement Officer – stated that he is the only person that has the authority to write civil infractions that are done in the city. He does nothing on commercial buildings, or city property. He covers sidewalks, noise, animals, graffiti, snow removal, litter, signage in wrong places. He ensure that anything that is in the city code is enforced and that property owners are aware of what they can/cannot have.

He also does all the paperwork on a daily basis, five days a week. He also gets complaints to check out through See Click Fix for the City, Manager's Office and other avenues.

Commissioner Dennis asked about uneven sidewalks and Mr. Jackson responded that if it is a city sidewalk, he contacts the Department of Public Services. Commissioner Zuellig asked how he covered the city and Mr. Jackson responded that he tends to do the high priority areas first, i.e. downtown, around schools, then go to the neighborhoods. With regard to trash/litter, he waits until after the trash pick-up day for the neighborhood then he goes out and does a sweep. One of the biggest violators is the city itself with regard to street litter. He also stated that the parking lots are also a problem with litter.

VI. **NEW BUSINESS**

1. Resolution from the Housing Affordability and Access subcommittee

Planner Wessler stated that we have a subcommittee of the Planning Commission that is currently in the discovery phase of drafting either a Master Plan amendment or a sub-plan for the Master Plan regarding housing. They met for the second time at the beginning of this

month and it was proposed at the table that they pass a resolution to Planning Commission to pass along to city council recommending that they establish a Housing Trust Fund. The rationale behind this request is to ensure that money is spoken for or awaiting the plan's completion so there will be immediately be funds available for this plan. They want it in before the budget is adopted.

The staff side is that it is very challenging to set money aside for a plan that may/or may not be completed especially when you don't know the objective. Staff is not supporting the resolution. It is also challenging politically. It is staff's opinion that it should be the result of a plan instead of having the resolution when a discovery phase has not been completed.

Commissioner Hollifield asked what the purpose is of \$100,000 and how was that number determined. Vice Chair MacGregor stated the resolution was initiated by the Chair of Planning Commission. Commissioner Zuellig is concerned about a Housing Committee when we don't have any idea of what they plan to do; how the funds would be administered and added that it is her opinion if we are spending public dollars, the public should be able to weigh in.

Planner Wessler stated the next step is to either make a resolution to pass along to City Council or to decline to pass along to City Council.

After further discussion, Commissioner Zuellig moved that the Planning Commission hereby resolves that we decline to pass along the resolution presented by the Housing Committee to City Council (Support: C. Madigan). A roll call vote was taken and carried 4:2 – Vice-Chair MacGregor and Commissioner Dennis opposed.

VII. OLD BUSINESS

None

VIII. FUTURE BUSINESS DISCUSSION/UPDATES

1. Capital Improvements Plan: Annual update process/committee formation

Planner Wessler stated that there are several proposed projects coming before the commission in April.

2. Firearms Sales Regulations: Local Options

Staff was asked what, if anything, in zoning spoke to firearms. We had a couple of businesses relating to firearms that were looking to locate in the city. Planner Wessler contacted the City Attorney for his opinion on this matter. A copy of his memorandum is included in the packet (dated March 8, 2018) in which he stated that the city may not regulate gun sales, but may zone where guns may be sold in the city. Planner Wessler added that anywhere we permit retail, we permit firearm sales. The committee gave her a directive to look into areas to restrict and come back with informational language on firearm zoning.

3. Commissioner Bedogne stated that he had resigned his position on the Planning Commission effective 5-1-18 at the end of his term. He will be moving out of the area. He will also be giving up his seat on the Non-Motorized Committee.

IX. COMMITTEE REPORTS

1. Master Plan: Housing Affordability and Access subcommittee

Planner Wessler stated that the adopted minutes are available on line. The Housing Committee has its own page. The committee have met twice and have a meeting the second week in April. We have a facilitator to do the meeting – she was offered by the County and they accepted. We are still in the discovery phase.

X. ADJOURNMENT

Since there was no further business, Commissioner Dennis moved to adjourn the meeting (Support: C. Madigan) and the motion carried unanimously. The meeting adjourned at 8:40 pm.

Agenda
Planning Commission
Wednesday, 13 April 2018 – 7:00 P.M.
City Hall-Council Chambers, 1 S Huron St
Ypsilanti, MI 48197

Presentations and Public Hearing Items

- **720 Norris; 715-725 N River**
Public Hearing: Rezoning



April 3, 2018

**Staff Review of Rezoning Application
Corner Brewery Expansion Rezoning
720 Norris & 715, 717, 719, 721, 723 & 725 N River**

GENERAL INFORMATION

Applicant:	Wes Marchal for Arbor Brewing Company
Project:	Corner Brewery Expansion Rezoning
Application Date:	March 21, 2018
Location:	Northeast corner of the intersection of E Forest and Norris (720 Norris) and west side of N River between Cherry and Norris St.
Zoning:	NC, Neighborhood Corridor (720 Norris); CN-Mid, Core Neighborhood Mid (715-725 N River)
Master Plan:	Central Neighborhood (720 Norris); Outlying Neighborhood (715-725 N River)
Action Requested:	Rezone all of 720 Norris and the west 65' of 715-725 N River to GC-General Corridor
Staff Recommendation:	Approval

PROJECT AND SITE DESCRIPTION

A rezoning is requested for parcel #11-11-04-426-004, and the west 65' of the following parcel numbers: 11-11-04-426-011, 11-11-04-426-012, 11-11-04-426-013, 11-11-04-426-014, 11-11-04-426-015, and 11-11-04-426-016. 720 Norris is 1.715 acres with an existing commercial structure on site, the west 65' of 715-725 N River is a total of 0.47 acres of vacant land. 720 Norris is currently zoned NC, Neighborhood Corridor and 715-725 N River are currently zoned CN-Mid, Core Neighborhood Mid. The property owner wishes to have the entire parcel at 720 Norris and the west 65' of the N River Street parcels rezoned to GC-General Corridor in order to be able to expand the use and facility at 720 Norris St. The alley that runs north-south from E Forest to the north part of Norris St is an open alley. The structure at 720 Norris was built in 1940s as an office building for the facility to the west.

The original site plan and special use for the bar/brewery was approved for 720 Norris back in 2005 along with a variance for the parking and size of the outdoor beer garden. A rezoning under a previous zoning ordinance from M2 to C/I was approved back in September 2005. In March 2011, a site plan and special use permit were approved for the expansion of the site (for a storage facility/Quonset hut) and

in December 2015 a variance was granted for the height of the accessory structure (silo). No variances or special uses have been approved for the N River St properties.

Figure 1: Subject Site Location & Zoning

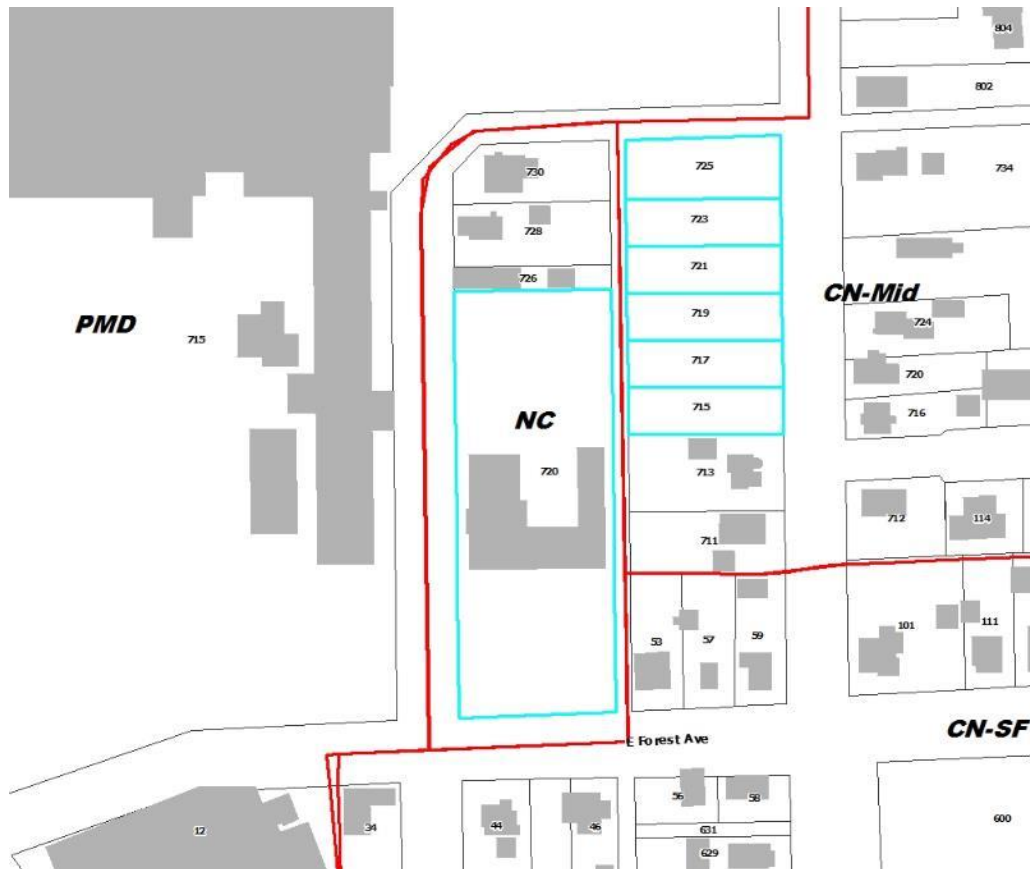


Figure 2: Site Aerial (2015)



Figure 3: Rezoning Plan



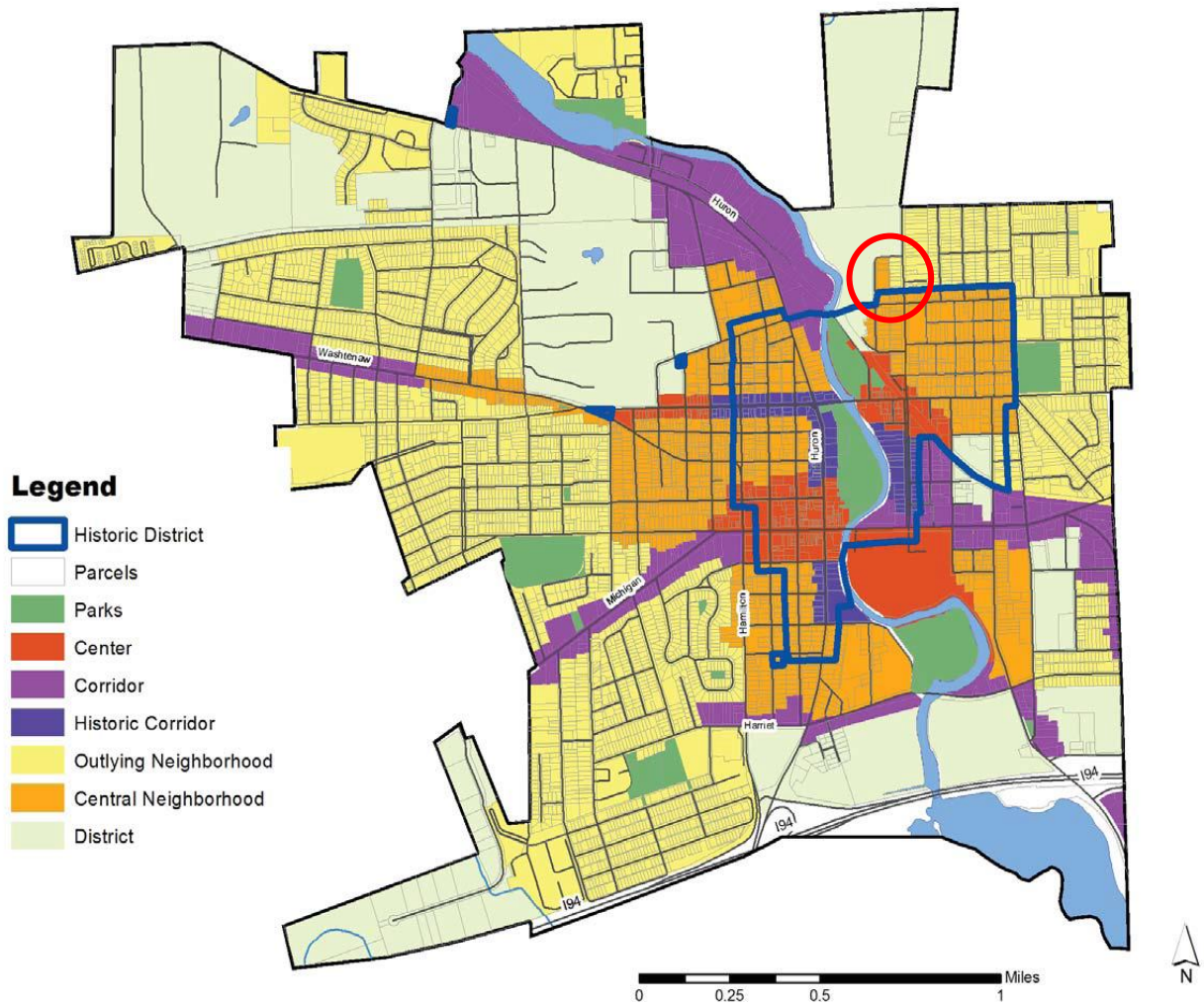
MASTER PLAN

720 Norris is within the “Central Neighborhood” future land use. Central Neighborhoods are among the oldest in Ypsilanti. Initially oriented on the Huron River, they are built on a grid street network connected to the adjacent business districts. They border downtown, Depot Town and EMU. These neighborhoods have a range of residential building types, with churches, schools, stores and gas stations intermixed. Around the railroad, industrial uses are mixed into the neighborhood.

The N River St properties are within the “Outlying Neighborhood” future land use per the map. Outlying Neighborhoods were built in the middle or later part of the 20th century and were designed as areas for a single type of housing, either single-family or multi-family. These neighborhoods are adjacent to a corridor but the street network is designed to carry traffic into the neighborhood, not through it. Any non-residential uses, other than schools or parks, are located at the edges, not embedded within the neighborhood. River St is odd because there’s still a lot of very old buildings and uses here.

The future land use map, below, shows the properties as central neighborhood and outlying neighborhood.

Figure 4: Future Land Use Designations



EXISTING LAND USE AND ZONING

720 Norris is currently used as a brewery and bar with an outdoor beer garden and the properties on N River are currently vacant. 720 Norris is located at the northeast corner of the intersection of E Forest and Norris and the N River St properties are to the northeast on the west side of N River between Cherry and Norris St.

Figure 5: Surrounding Land Use and Zoning

	LAND USE	ZONING
NORTH	Single Family residential	NC-Neighborhood Corridor
EAST	Single Family and Vacant	CN-SF-Core Neighborhood Single Family CN-Mid- Core Neighborhood Mid
SOUTH	Single and Two Family residential	CN-SF-Core Neighborhood Single Family
WEST	Bay Logistics	PMD-Production, Manufacturing and Distribution

REZONING IMPLICATIONS

INTENT

Neighborhood Corridor (NC). Neighborhood corridors have a linear land pattern and are adjacent to residential neighborhoods. The size, form and scale of buildings and the type and intensity of uses should be complementary to abutting single-family or core neighborhoods, including less intense multiple-family residential building types and uses.

Core Neighborhood Mid (CN-Mid). These neighborhoods generally abut the Core Neighborhoods, and offer a less dense and less intense residential area with opportunities for accessibly-placed low-intensity walkable, neighborhood businesses. Housing types range from mansions to cottages, with multiple-family and single-family uses. This zoning may also be used as a transition zone between single-family districts and mixed use districts.

General Corridor (GC). General corridors are located along roads with heavy traffic and have commercial establishments, restaurants, offices, and other businesses that are geared toward automobile traffic. Multiple-family residential building types and uses are appropriate in this district.

Figure 6: Permitted uses in existing and proposed zonings.

P=Principal, A=Accessory, S=Special Land Use

USES	NC	CN-Mid	GC
RESIDENTIAL			
Single-Family Detached Dwelling	--	P	--
Single-Family Attached Dwelling	P	P	P
Accessory Dwelling Unit	--	A	--
Two-family dwelling units	P	P	P
Multiple Family Dwellings, maximum of 4 units per building	P	S	P
Multiple Family Dwellings, more than 4 units per building	S	--	P

P=Principal, A=Accessory, S=Special Land Use

USES	NC	CN-Mid	GC
Apartments located above ground floor of permitted nonresidential uses	P	--	P
Home Occupation	A	A	A
Family Child Care Home (1-6 children)	A	A	A
Adult foster care family homes (1-6 adults)	A	A	A
Group Child Care Home (6-12 children)	A	S	A
GROUP LIVING			
Group residence	--	--	--
Group living with support staff, not licensed by State of Michigan	--	--	--
Roominghouse	--	--	--
Adult foster care small & group homes, adult congregate facilities	--	S	--
Adult foster care facilities licensed by a state agency for care and treatment of persons released from or assigned to adult correctional facilities.	--	--	--
RECREATION, EDUCATION & PUBLIC ASSEMBLY USES			
Museums & libraries, less than 15,000 square feet	P	--	--
Museums & libraries, 15,000 sf or more	S	--	--
Parks	P	P	P
Public Art	A	A	A
Indoor recreation, less than 15,000 sf	P	--	P
Indoor recreation, 15,000 sf or more	--	--	P
Outdoor Recreation	S	--	P
Municipal, county, regional & state service uses	P	S	P
Primary & Secondary Schools (public & private)	S	S	--
Post-secondary educational institutions (public & private)	S	S	--
Religious institution	S	S	--
Private assembly, including banquet halls	S	--	--
INFRASTRUCTURE			
Essential Services	P	P	P
Communication Devices	A	A	A
Alternative Energy	A	A	A
SERVICES			
Bed & Breakfast or Inn	S	S	--

P=Principal, A=Accessory, S=Special Land Use

USES	NC	CN-Mid	GC
Funeral Homes	S	S	S
Nursing Homes	--	S	S
Business and professional offices, less than 15,000 square feet	P	--	P
Business and professional offices, 15,000 square feet or more	S	--	P
Financial services, including banks, less than 15,000 square feet	P	--	P
Financial services, including banks, 15,000 square feet or more	S	--	P
Homeless Shelter	--	--	P
Personal service establishments, less than 15,000 square feet	P	--	P
Personal service establishments, 15,000 square feet or more	--	--	P
Body Art Facilities	--	--	P
Offices for skilled trade services including but not limited to plumbing, electric, heating, and painting establishments	S	--	P
Printing services, including but not limited to: publishing, engraving, photo development, lithographing, silk screening and three-dimensional printing	S	--	S
Hotels & motels	--	--	P
Child Care Centers	P	--	P
Laundromats and dry cleaners, less than 15,000 square feet	P	--	P
Laundromats and dry cleaners, 15,000 square feet or more	--	--	P
Medical or dental offices, less than 5,000 sf	P	S	P
Medical or dental clinics, 5,000 to 10,000 square feet	P	--	P
Medical or dental clinics, 10,000 square feet or more	S	--	P
Veterinary hospitals and clinics	S	--	S
Kennels, commercial	--	--	S
Substance abuse treatment facilities	--	--	S
Catering services, less than 15,000 square feet	P	--	P
Catering services, 15,000 square feet or more	--	--	P
Self-storage	--	--	P
COMMERCIAL			
Retail stores, less than 15,000 square feet	P	--	P
Retail stores, greater than 15,000 square feet	--	--	P
Resale stores	P	--	P
Arts & crafts studios	P	--	P

P=Principal, A=Accessory, S=Special Land Use

USES	NC	CN-Mid	GC
Food stores, excluding sale of alcohol, less than 15,000 square feet	P	S	P
Food stores, with sale of alcohol, less than 15,000 square feet	S	--	P
Food stores greater than 15,000 square feet with or without sale of alcohol	--	--	P
Commercial Greenhouse	--	--	P
Farmers' market	P	S	P
Other open-air markets	P	--	P
Outdoor retail sales	S	--	S
Garage Sales	--	A	--
RESTAURANTS			
Carry-out and/or delivery restaurant	P	--	P
Café or coffee shop	P	--	P
Sit-down, with seating limit of 50 seats	P	--	P
Sit-down, no seating limit	--	--	P
Bar/Lounge	S	--	P
Tasting room and accessory to microbrewer/ small distiller/ small wine maker	S	--	P
Outdoor cafes	A	--	A
Fast Food	S	--	P
Drive through restaurant of any type	--	--	S
AUTO-ORIENTED			
Automobile Filling Station - no repair	S	S	S
Automobile Filling Station with repair	--	--	S
Parking lot	--	--	S
Parking Garage	--	--	S
Automobile Sales	--	--	S
Automobile Wash & Detailing	--	--	S
Automobile Repair	--	--	S
Automobile Share Parking	A	--	A
Automobile rental or share organization (parking, storage, wash & repair)	--	--	S
Vehicle, Recreational Vehicle, Storage and Towing	--	--	S
RESEARCH			
Laboratories	--	--	S
Research & Development	--	--	S
PRODUCTION, MANUFACTURING & DISTRIBUTION			
Craft production, clothing production or food production, less than 16,000 square feet	P	--	P

P=Principal, A=Accessory, S=Special Land Use

USES	NC	CN-Mid	GC
Craft production, clothing production or food production, 16,000 square feet or greater	--	--	S
Microbrewer/ small distiller /small wine maker, less than 16,000 square feet	P	--	P
Microbrewer/ small distiller /small wine maker, 16,000 square feet or greater	--	--	S
Wholesale or distribution facility with total gross floor area of less than 16,000 square feet	S	--	P
Wholesale or distribution facility with total gross floor area 16,000 square feet or greater	--	--	S
Medical Marijuana Growing/Manufacturing Facility	--	--	S
TEMPORARY USES			
Mobile Food Establishments	P	--	P
PERFORMANCE OR STRUCTURES REQUIRING SPECIAL LAND USE			
Operation between 2 a.m. and 6 a.m. during any 24-hour period	S	--	S
Drive through facilities	S	--	S
Ongoing outdoor retail sales or display	S	--	S
Outdoor storage	S	--	S
GARDENS/COMMUNITY GARDENS			
Community gardens	A	P	A
Passive solar building	A	A	A
Toolhouses, sheds, and other similar buildings for the storage of domestic supplies	--	A	--

Figure 7: Area Regulations

BUILDING TYPE		CN-MID	NC	GC
MA	Mansion	L	--	--
ES	Estate	P	P	--
HS	House	P	P	--
CO	Cottage	P	--	--
TH	Townhouse	P	P	--
AH	Apartment House	P	P	--
CA	Courtyard Apartment	--	P	P
AB	Apartment Building	--	P	P

BUILDING TYPE		CN-MID	NC	GC
CS	Commercial/Mixed-Use Small	--	P	P
CM	Commercial/Mixed Use Medium	--	P	P
CL	Commercial/Mixed Use Large	--	--	P
SC	Single Story Commercial Building	L	P	P
LS	Large Single Story Commercial Building	--	--	P
MB	Multiple Story	--	--	P
IT	Institutional	P	P	P

REZONING CONSIDERATIONS**122-362(b)**

*(b) **Zoning Map Amendment.** For a change in the Zoning Map, the Planning Commission shall consider and the City Council may consider, whether the proposed rezoning meets the following standards (with staff responses to each):*

(1) The rezoning is consistent with the policies, guiding values and City Framework (Future Land Use Map) of the Master Plan, including any subarea or corridor studies. If conditions have changed since the current Master Plan was adopted, the consistency with recent development trends in the area.

The rezoning is consistent with the guiding value of "Ypsilanti is a great place to do business, especially the green and creative kind" as this rezoning helps to foster a locally grown business. The future land use map indicates that for the outlying neighborhoods "Any non-residential uses, other than schools or parks, are located at the edges, not embedded within the neighborhood," as the River St properties are on the very edge of the outlying neighborhood this is consistent. On the other hand, all of the properties proposed to be rezoned are indicated as neighborhoods on the future land use map not corridor, the closest corridor is to the west on the other side of the river.

(2) The rezoning sustains the site's physical, geological, hydrological and other environmental features with the potential uses allowed in the proposed zoning district.

Storm water is a concern with this development however engineering will be reviewed as part of the site plan and special use application.

(3) The property proposed to be re-zoned can accommodate the requirements of the proposed zoning district.

The current use at 720 Norris is aligned with the zoning classification proposed. The depth of the River St parcels as surveyed range from 164.85' on the south end to 165' at the north end. If the applicant takes exactly 65' then these parcels would be under 100' in depth thus limiting the building types to on these sites to cottage or townhouse. **The use for the vacant parcels to the northeast may accommodate the requirements of the zoning if the eastern portions of the parcels that are to remain CN-Mid are maintained at 100' or more.**

(4) All the potential uses and building types allowed in the proposed zoning district are compatible with surrounding uses, buildings, and zoning in terms of land suitability, impacts on the environment, impacts on the transportation network, density, nature of use, aesthetics, infrastructure and potential influence on property values.

The current use at 720 Norris is aligned with the proposed zoning classification and is compatible with some of the surrounding uses. The change to GC for all of 720 Norris and the west 65' of the River St parcels limits building types to courtyard apartment, apartment buildings and commercial and increases the possibility for more intense commercial uses in the future. There should be little to no impact on the transportation network and infrastructure however there may be impacts on the property values, density and nature of use.

(5) The capacity of City infrastructure and services sufficient to accommodate the uses permitted in the requested district without compromising the health, safety, sustainability and welfare of the City.
The capacity is sufficient.

(6) The rezoning will not be detrimental to the financial stability and economic welfare of the City.
It will not be detrimental.

(7) The rezoning would not negatively impact the condition of any nearby parcels considering existing vacancy rates, current per-square-foot lease or sale rates, and other impacts.

It is unclear as to the impact on the two residential properties to the north of 720 Norris as well as the residences to the east, it may negatively impact these properties. However, historically the City has always had residences interspersed in its commercial areas. It should not have any effect on the commercial property at 730 Norris nor the industrial property to the west at 715 Norris.

(8) The rezoning is consistent with the trend of development in the neighborhood or surrounding area.

The rezoning allows for the expansion of an existing business in the area however the surrounding area directly to the north and east is primarily residential. The rezoning is consistent with the historical development in the neighborhood and surrounding area.

(9) The property in question was improperly zoned or classified when this Chapter was adopted or amended.

The property was zoned properly at the time as it allows for review of the special use by the planning commission with the possibility for conditions to be placed on the special use in order to ensure compatibility with the surrounding neighborhood. If rezoned as proposed a bar and a craft production under 16,000 sf would be permitted by right. Only a larger than 16,000 sf craft production would require the special use. However as zoned, the site is limited to 16,000 sf or less as a craft production facility.

(10) Where a rezoning is reasonable given the above criteria, a determination shall be made that the requested zoning district is more appropriate than another district or than amending the list of permitted or special land uses within a district.

The proposed rezoning is not the only option, the list of permitted uses for NC could be changed to add a special use for craft production of 16,000 sf or more and some limit could be placed on the size a parcel must be before a larger craft facility could be placed on the site however a rezoning may still be preferred for the N River St parcels. Another option is for a

Planned Unit Development. Another option is to rezone all of the parcels on the 700 block of Norris and the rear 65' of the N River St parcels to GC, however that option would make the two single family residences to the north nonconforming.

STAFF RECOMMENDATION

Staff recommends that the Planning Commission recommend ***approval*** of the rezoning for 720 Norris and the west 65' of 715-725 N River to General Corridor to City Council with the following condition and findings:

Condition

1. That the eastern portion of the parcels at 715-725 N River that are to remain CN-Mid be maintained at a 100' lot depth or more as anything less than that will limit the building types permitted on these parcels.

Findings

1. The rezoning is consistent with the guiding value of "Ypsilanti is a great place to do business, especially the green and creative kind" as this rezoning helps to foster a locally grown business.
2. The capacity of City infrastructure and services is sufficient to accommodate the uses permitted in the requested district without compromising the health, safety, sustainability and welfare of the City.
3. The rezoning will not be detrimental to the financial stability and economic welfare of the City.

Cynthia Kochanek
Preservation Planner, Community & Economic Development Division

c.c. File
 Applicant

ARBOR BREWING COMPANY - CORNER BREWERY
EXPANSION: LOT ACQUISITION & REZONING
- *MAP AMENDMENT (REZONING) APPLICATION* -





City of Ypsilanti
Planning & Development Department

Non-refundable fee:
\$1000

One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646 • Fax: (734) 483-7260
www.cityofypsilanti.com

MAP AMENDMENT (REZONING) APPLICATION

Applicant*

Name Wes Marchal		
Address 20446 Harper Ave		
City Harper Woods	State MI	Zip 48225
Phone / Fax 810-343-0075		E-Mail wmarchal@proteuscre.com

*If applicant is not owner of property, a written, notarized statement from the owner authorizing this application must be included.

Property

Name of project ABC - Corner Brewery Expansion: Lot Acquisition & Rezoning	
Address 720 Norris St., 725 / 723 / 721 / 719 / 717 / 715 N River St.	
List all parcel identification numbers included in request: "11-11-04-426": 004, 011, 012, 013, 014, 015, 016	
Current Zoning: Corner Brewery (NC) / N River St Lot (CN-Mid)	Proposed Zoning: GC - General Corridor
Circumstances, factors, and other relevant information (may continue on a separate sheet): Please refer to attached Supporting Document.	

Signature

I hereby attest that the above information is accurate. I am authorized to and grant permission to the City of Ypsilanti staff to be on the subject property for the purposes of preparing staff reports and/or evaluating this application.	
Signature:	Date:
Print Name: Wes Marchal	



**APPLICATION FOR MAP AMENDMENT / REZONING
SUPPORTING DOCUMENT**

Submitted to: City of Ypsilanti
Planning & Development Department
One South Huron
Ypsilanti, MI 48197

Applicant: Arbor Brewing Company – Corner Brewery
720 Norris St.
Ypsilanti, MI 48197
Wes Marchal – representative for Corner Brewery

Project: Corner Brewery Expansion: Lot Acquisition & Rezoning

Location: 720 Norris St & 715 - 725 River Street

Action: Variance from Zoning Ordinance for 720 Norris and Section of N River St Parcels

PROJECT AND SITE DESCRIPTION

The ownership of Arbor Brewing Company – Corner Brewery (“Corner Brewery”) is appealing to the Planning Commission for a variance from the zoning ordinance on select parcels to accommodate the expansion of Corner Brewery’s existing microbrewery and brewpub operation located at 720 Norris St. The proposed rezoning will impact 720 Norris (11-11-04-426-004)) and approximately 65’ of the adjoining properties targeted for acquisition, consisting of the vacant land at 715 – 725 N River St (“N River Street Lots”) (Parcels: 11-11-04-426-011 through -016) and the existing alley (“Subject Properties”). The building modifications will result in an improved footprint greater than 16,000 square feet, requiring additional application and approval for Special Land Use under *Zoning Ordinance: Article IV / Subdivision III: Sec. 122-451*.

SUMMARY OF PETITION and PROPERTY LOCATION

The ownership of the Corner Brewery is under contract to acquire the N River Street Lots, which are adjacent to the north-eastern property line of 720 Norris St. The Subject Properties are located on the north-east corner of Forest Ave. & Norris St (720 Norris St) and the south-west corner of Norris St. & N River St (N River Street Lots). The business case for the acquisition is to provide space for the reconfiguration and expansion of Corner Brewery’s existing facility, including increasing brewery operations & storage capacity and renovation of the kitchen. Arbor Brewing Company’s recent rebranding and conversion from bottles-to-cans has significantly improved customer demand, placing an even greater emphasis on the importance of increasing the production capacity at the Corner Brewery expeditiously. The project is an integral component of Arbor Brewing Company’s strategic growth initiative and will allow Ypsilanti to continue as the cornerstone of operations into the future.

The acquisition is contingent on obtaining the following for the Subject Properties:

- (i) Zoning Variance,
- (ii) Special Land Use, and
- (iii) Site Plan Approval.



The Subject Properties for rezoning encompasses the 720 Norris parcel and an approximately 65' section of the N River Street parcels running north-south along the adjoining property line, which includes the existing alley. The Subject Properties would be rezoned from their current districts (NC and CN-Mid, respectively) to GC – General Corridor. The balance of each vacant parcel with frontage along N River Street will remain under the existing district classification of CN-Mid for potential residential development in the future. Any increase in traffic will be insignificant as the expansion area will be primarily production space and storage. Corner Brewery's acquisition of the N River Street Lots also allows for a significant increase in parking capacity.

AERIAL PHOTOGRAPHS

The attached aerial details the N River Street land for acquisition and the areas impacted by the proposed rezoning.



The owner of the N River Street lots, Riverstreet Properties, LLC ("Seller"), is aware of these contingencies and is in support of the application for rezoning and future use of the Subject Properties. The attached letter from the Seller provides a statement of understanding and support for Arbor Brewing Company's plan (Exhibit I).



SUBJECT PROPERTIES FOR REZONING

Address	Parcel ID
720 Norris St	11-11-04-426-004

725 N River St	11-11-04-426-011
723 N River St	11-11-04-426-012
721 N River St	11-11-04-426-013
719 N River St	11-11-04-426-014
717 N River St	11-11-04-426-015
715 N River St	11-11-04-426-016

CURRENT & PROPOSED ZONING DESIGNATIONS

	Current		Proposed Rezoning*		No Change
Address	District	Use	District	Use	District / Use
720 Norris St	NC	Microbrewer, <16,000sf	GC	Microbrewer, >16,000sf	

					≈65'	≈100'
725 N River St	CN	Land		GC	Microbrewer, >16,000sf	CN / Land
723 N River St	CN	Land		GC	Microbrewer, >16,000sf	CN / Land
721 N River St	CN	Land		GC	Microbrewer, >16,000sf	CN / Land
719 N River St	CN	Land		GC	Microbrewer, >16,000sf	CN / Land
717 N River St	CN	Land		GC	Microbrewer, >16,000sf	CN / Land
715 N River St	CN	Land		GC	Microbrewer, >16,000sf	CN / Land

*The Proposed District for the River Street lots only impacts approximately 65' along the western property line (comprised of the vacated alley and a portion of the River Street lots).



Exhibit I:
Seller Letter of Support

March 19, 2018

Kenneth Schwartz
2474 Hickman Road
Ann Arbor, MI 48105

RE: Parcels (A-F) River Street
Ypsilanti, MI 48198

Dear Mr. Collins,

Please use this letter to demonstrate that you have my permission to rezone the above parcels located on River Street between Norris and Forest. Please let me know if I can be of further assistance.

Yours truly,

A solid black rectangular box used to redact the signature of Ken Schwartz.

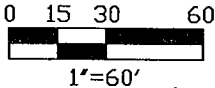
Ken Schwartz,
Manager, Riverstreet Properties LLC



Exhibit II:
Property Surveys
(Corner Brewery & N River Street Lots)

CERTIFICATE. We hereby certify that we have surveyed the above-described property in accordance with the descriptions furnished for the purpose of a mortgage loan to be made by the Government National Bank of New York, and that the same is in accordance with the said descriptions, except an arithem. This survey is not to be used for the purpose of establishing property interest upon the property heretofore described, nor for the purpose of determining the boundaries of the same, nor for holding same out of any of the boundary sections.

CERTIFIED SURVEY



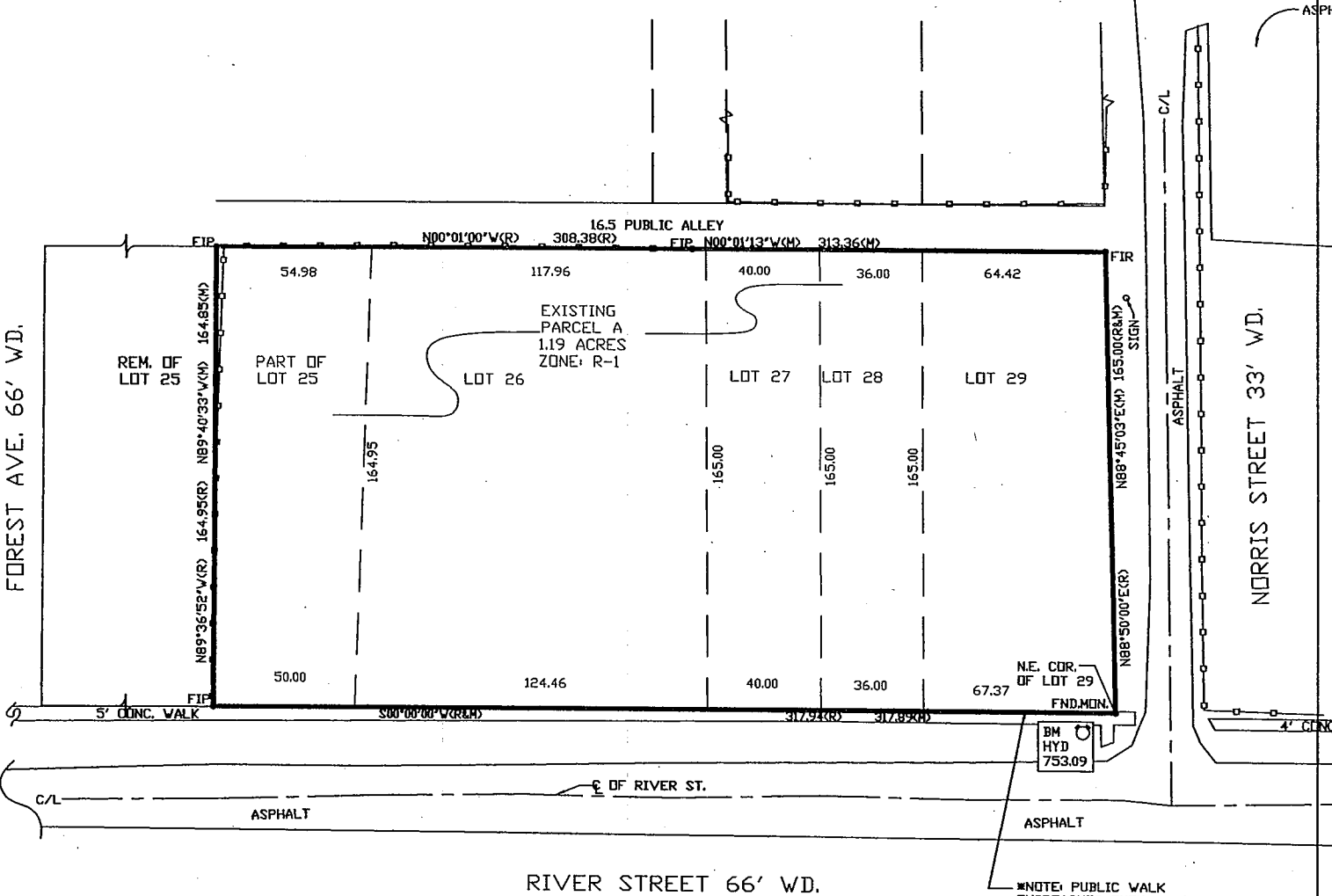
LEGAL DESCRIPTION:

PARCEL A

A PARCEL OF LAND BEING PART OF LOT 25, AND ALL OF LOTS 26, 27, 28, AND 29 OF 'ASSESSOR'S PLAT #7', CITY OF YPSILANTI, WASHTENAW COUNTY, MICHIGAN, AS RECORDED IN LIBER 9 OF PLATS, PAGE 33, WASHTENAW COUNTY RECORDS, AND FURTHER DESCRIBED AS: BEGINNING AT A CONCRETE MONUMENT FOUND AT THE NORTHEAST CORNER OF LOT 29 'ASSESSOR'S PLAT #7', THENCE S00°00'00"W (REC. & MEAS.), 317.94 FEET (RECORDED), 317.89 FEET (MEASURED) TO AN IRON PIPE FOUND ALONG THE WEST RIGHT-OF-WAY OF RIVER STREET; THENCE N89°36'52"W (RECORDED), N89°40'28"W (MEASURED), 165.06 FEET (RECORDED), 164.85 FEET (MEASURED) TO AN IRON PIPE FOUND ALONG THE EAST LINE OF PUBLIC ALLEY; THENCE N00°01'00"W (RECORDED), N00°01'13"W (MEASURED), 313.17 FEET (RECORDED), 313.36 FEET (MEASURED) TO AN IRON PIPE FOUND AT THE NORTHWEST CORNER OF LOT 29; THENCE N88°50'00"E (RECORDED), N88°45'03"E (MEASURED), 165.00 FEET (REC. & MEAS.) TO THE POINT OF BEGINNING.

CONTAINING 1.19 ACRES OF LAND.

SUBJECT TO ANY EASEMENTS, RIGHT OF WAYS, AND/OR RESTRICTIONS OF RECORD.



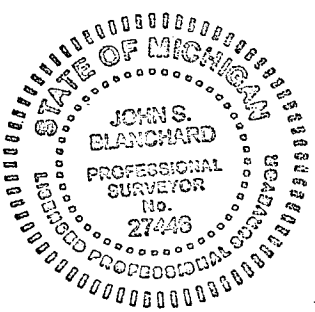
SURVEYOR'S CERTIFICATE - I HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED BY ME, OR UNDER MY DIRECT SUPERVISION, THAT I AM A PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF MICHIGAN, THAT THIS SURVEY COMPLIES WITH THE REQUIREMENTS OF SECTION 3,P.A. 132 OF 1970 AS AMENDED BY P.A. 280 OF 1972, AND THAT THE ERROR OF CLOSURE IS NO GREATER THAN 1 TO 5000.

LEGEND

- = FI = Found Iron
- = SCI = Set Capped Iron
- ⊙ = FCI = Fnd. Capped Iron
- (R) = RECORDED
- (M) = MEASURED

John S. Blanchard
JOHN S. BLANCHARD PS #27446

CLIENT: RIVER STREET PROPERTIES, L.L.C.



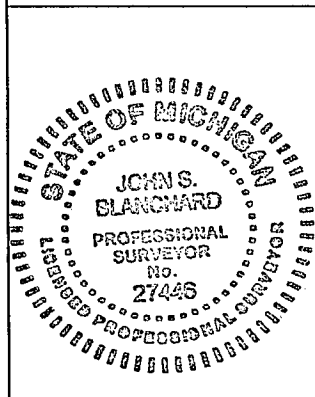
E.P. KUBISKE & ASSOCIATES, INC.
1430 E. MICHIGAN AVE.
YPSILANTI, MICHIGAN 48198-5906
(734) 481-1322
FAX (734) 481-2215

JOB # 04058	SCALE 1"=60'
DATE 8-15-06	DWG. BY NW BK PG
SHEET 1 OF 4	



— *NOTE: PUBLIC WALK
ENCROACHES ONTO
SUBJECT PROPERTY
BY 0.65± AS SHOWN.

SURVEYOR'S CERTIFICATE - I HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED BY ME, OR UNDER MY DIRECT SUPERVISION, THAT I AM A PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF MICHIGAN, THAT THIS SURVEY COMPLIES WITH THE REQUIREMENTS OF SECTION 3,P.A. 132 OF 1970 AS AMENDED BY P.A. 280 OF 1972, AND THAT THE ERROR OF CLOSURE IS NO GREATER THAN 1 TO 5000.



○ = FI = Found Iron
 ● = SCI = Set Capped Iron
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 (R) = RECORDED
 (M) = MEASURED

JOHN S. BLANCHARD PS #27446

CLIENT: RIVER STREET PROPERTIES, L.L.C.

E.P. KUBISKE & ASSOCIATES, INC.
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(734) 481-1322
FAX (734) 481-2215

JOB # 04058	SCALE 1"=60'
DATE 8-15-06	
DWG. BY NW	BK PG

SHEET 2 OF 4

LEGAL DESCRIPTION

PARCEL A

A PARCEL OF LAND BEING PART OF LOT 25, OF 'ASSESSOR'S PLAT #7 ' CITY OF YPSILANTI, WASHTENAW COUNTY, MICHIGAN, AS RECORDED IN LIBER 9 OF PLATS, WASHTENAW COUNTY RECORDS; MORE PARTICULARLY DESCRIBED AS:
BEGINNING AT A POINT ON THE WEST LINE OF RIVER STREET, 66 FEET WIDE, THAT IS S00° 00' 00"W, 267.89 FEET FROM THE FOUND MONUMENT AT THE S.W. CORNER OF LOT 29 OF SAID ASSESSOR'S PLAT # 7, WHICH IS ALSO THE S.W. CORNER OF RIVER STREET AND MORRIS STREET, 33 FEET WIDE;
THENCE CONTINUING S00° 00' 00"W, ALONG SAID WEST LINE, 50.00 FEET, TO A FOUND IRON PIPE;
THENCE N89° 40' 33"W, 164.85 FEET, TO THE EAST LINE OF A 16.5 FOOT PUBLIC ALLEY;
THENCE N00° 01' 13"W, 50.00 FEET ALONG SAID EAST LINE;
THENCE 89° 40' 33"E, 164.87 FEET, TO THE PLACE OF BEGINNING.

CONTAINING AN AREA OF 0.189 ACRES (82.43 SQ. FT.)

SUBJECT TO EASEMENTS AND RIGHTS OF WAY OF RECORD.

PARCEL B

A PARCEL OF LAND BEING PART OF LOT 25 AND LOT 26 OF 'ASSESSOR'S PLAT #7' CITY OF YPSILANTI, WASHTENAW COUNTY, MICHIGAN, AS RECORDED IN LIBER 9 OF PLATS, WASHTENAW COUNTY RECORDS; MORE PARTICULARLY DESCRIBED AS:
BEGINNING AT A POINT ON THE WEST LINE OF RIVER STREET, 66 FEET WIDE, THAT IS S00° 00' 00"W, 217.87 FEET FROM THE FOUND MONUMENT AT THE S.W. CORNER OF LOT 29 OF SAID 'ASSESSOR'S PLAT #7, WHICH IS ALSO THE S.W. CORNER OF RIVER STREET AND MORRIS STREET, 33 FEET WIDE;
THENCE CONTINUING S00° 00' 00"W, ALONG SAID WEST LINE, 50.00 FEET;
THENCE N89° 40' 33"W, 164.87 FEET, TO THE EAST LINE OF A 16.5 FOOT PUBLIC ALLEY;
THENCE N00° 01' 13"W, 50.00 FEET ALONG SAID EAST LINE;
THENCE N89° 40' 33"E, 164.89 FEET TO THE PLACE OF BEGINNING.

CONTAINING AN AREA OF 0.189 ACRES (82.44 SQ. FT.)

SUBJECT TO EASEMENTS AND RIGHTS OF WAY OF RECORD.

PARCEL C

A PARCEL OF LAND BEING PART OF LOT 26 OF 'ASSESSOR'S PLAT #7 'CITY OF YPSILANTI, WASHTENAW COUNTY, MICHIGAN, AS RECORDED IN LIBER 9 OF PLATS, WASHTENAW COUNTY RECORDS; MORE PARTICULARLY DESCRIBED AS;
BEGINNING AT A POINT ON THE WEST LINE OF RIVER STREET, 66 FEET WIDE, THAT IS S00° 00' 00"W, 167.87 FEET FROM THE FOUND MONUMENT AT THE S.W. CORNER OF LOT 29 OF SAID 'ASSESSOR'S PLAT #7, WHICH IS ALSO THE S.W. CORNER OF RIVER STREET AND MORRIS STREET, 33 FEET WIDE;
THENCE CONTINUING S00° 00' 00"W, ALONG SAID WEST LINE, 50.00 FEET;
THENCE N89° 40' 33"W, 164.89 FEET TO THE EAST LINE OF A 16. 5 FOOT PUBLIC ALLEY;
THENCE N00° 01' 13"W, 50.00 FEET ALONG SAID EAST LINE;
THENCE N89° 40' 33"E, 164.91 FEET, TO THE PLACE OF BEGINNING.

CONTAINING AN AREA OF 0.189 ACRES (82.45 SQ. FT.)

SUBJECT TO EASEMENTS AND RIGHTS OF WAY OF RECORD.

CLIENT: RIVER STREET PROPERTIES, L.L.C.

E.P. KUBISKE & ASSOCIATES, INC.
1430 E. MICHIGAN AVE.
YPSILANTI, MICHIGAN 48198-5906
(734) 481-1322
FAX (734) 481-2215

JOB # 04058		
DATE 8-15-06		
DWG. BY NW	BK	PG
SHEET 3 OF 4		

LEGAL DESCRIPTION

PARCEL D

A PARCEL OF LAND BEING PART OF LOT 26 AND LOT 27 OF 'ASSESSOR'S PLAT # 7 'CITY OF YPSILANTI, WASHTENAW COUNTY, MICHIGAN, AS RECORDED IN LIBER 9 OF PLATS, WASHTENAW COUNTY RECORDS; MORE PARTICULARLY DESCRIBED AS; BEGINNING AT A POINT ON THE WEST LINE OF RIVER STREET, 66 FEET WIDE, THAT IS S00° 00' 00"W, 117.89 FEET FROM THE FOUND MONUMENT AT THE S.W. CORNER OF LOT 29 OF SAID 'ASSESSOR'S PLAT/# 7', WHICH IS ALSO THE S.W. CORNER OF RIVER STREET AND MORRIS STREET, 33 FEET WIDE; THENCE CONTINUING S00° 00' 00"W, ALONG SAID WEST LINE, 50.00 FEET; THENCE N89° 40' 33"W, 164.91 FEET TO THE EAST LINE OF A 16.5 FOOT PUBLIC ALLEY; THENCE N00° 01' 13"W, 50.00 FEET ALONG SAID EAST LINE; THENCE N89° 40' 33"E, 164.92 FEET TO THE PLACE OF BEGINNING.

CONTAINING AN AREA OF 0.189 ACRES (82.46 SQ. FT.)

SUBJECT TO EASEMENTS AND RIGHTS OF WAY OF RECORD.

PARCEL E

A PARCEL OF LAND BEING PART OF LOT 27 AND LOT 28 OF 'ASSESSOR'S PLAT # 7' CITY OF YPSILANTI, WASHTENAW COUNTY, MICHIGAN, AS RECORDED IN LIBER 9 OF PLATS, WASHTENAW COUNTY RECORDS; MORE PARTICULARLY DESCRIBED AS; BEGINNING AT A POINT ON THE WEST LINE OF RIVER STREET, 66 FEET WIDE, THAT IS S00° 00' 00"W, 67.89 FEET FROM THE FOUND MONUMENT AT THE S.W. CORNER OF LOT 29 OF SAID 'ASSESSOR'S PLAT # 7, WHICH IS ALSO THE S.W. CORNER OF RIVER STREET AND MORRIS STREET, 33 FEET WIDE; THENCE CONTINUING S00° 00' 00"W, ALONG SAID WEST LINE, 50.00 FEET; THENCE N89° 40' 33"W, 164.92 FEET TO THE EAST LINE OF A 16.5 FOOT PUBLIC ALLEY; THENCE N00° 01' 13"W, 50.00 FEET ALONG SAID EAST LINE; THENCE N89° 40' 33"E, 165.00 FEET TO THE PLACE OF BEGINNING.

CONTAINING AN AREA OF 0.189 ACRES (82.47 SQ. FT.)

SUBJECT TO EASEMENTS AND RIGHTS OF WAY OF RECORD.

PARCEL F

A PARCEL OF LAND BEING PART OF LOT 28 AND 29 OF 'ASSESSOR'S PLAT # 7 CITY OF YPSILANTI, WASHTENAW COUNTY, MICHIGAN, AS RECORDED IN LIBER 9 OF PLATS, WASHTENAW COUNTY, RECORDS MORE PARTICULARLY DESCRIBED AS; BEGINNING AT THE FOUND MONUMENT AT THE S.W. CORNER OF LOT 29 OF SAID ASSESSOR'S PLAT #7, WHICH IS ALSO THE S.W. CORNER OF RIVER AND MORRIS STREET, 33 FEET WIDE; THENCE ALONG THE WEST LINE OF RIVER STREET, 66 FEET WIDE S00° 00' 00"W, 67.37 FEET; THENCE N89° 40' 33"W, 165.00 FEET, TO THE EAST LINE OF A 16.5 FOOT PUBLIC ALLEY; THENCE N00° 01' 13"W, 64.42 FEET ALONG SAID EAST LINE TO A FOUND IRON ROD AT THE SOUTH LINE OF MORRIS STREET; THENCE N89° 40' 33"E, 164.87 FEET ALONG SAID SOUTH LINE TO THE PLACE OF BEGINNING.

CONTAINING AN AREA OF 0.249 ACRES (108.25 SQ. FT.)

SUBJECT TO EASEMENTS AND RIGHTS OF WAY OF RECORD.

CLIENT: RIVER STREET PROPERTIES, L.L.C.

E.P. KUBISKE & ASSOCIATES, INC.
1430 E. MICHIGAN AVE.
YPSILANTI, MICHIGAN 48198-5906
(734) 481-1322
FAX (734) 481-2215

JOB #04058	
DATE 8-15-06	
DWG. BY NW	BK PG
SHEET 4 OF 4	



Owner's Representative:

Wesley Marchal

wmarchal@proteuscre.com

810.343.0075

Agenda
Planning Commission
Wednesday, 13 April 2018 – 7:00 P.M.
City Hall-Council Chambers, 1 S Huron St
Ypsilanti, MI 48197

Presentations and Public Hearing Items

- **534 N Huron**
Public Hearing: Special Use & Site Plan



April 11, 2018

**Staff Review of Site Plan & Special Use Application
Party Store Expansion
528-534 N Huron**

GENERAL INFORMATION

Applicant: Tom Tamou
3102 Farmdale Dr.
Sterling Heights, MI 48314

Project: Party Store Expansion-534 N Huron

Application Date: March 21, 2018

Location: Southeast corner of N Huron and W Forest

Zoning: NC-Neighborhood Corridor

Action Requested: Approval of site plan and special use for the expansion of a food store with the sale of alcohol, less than 15,000 sf

Staff Recommendation: Conditional approval

PROJECT AND SITE DESCRIPTION

The total for the three parcels is 0.434 acres; this includes 528 N Huron, 530 N Huron and 534 N Huron St addresses, parcels # 11-11-40-105-022, 11-11-40-105-021 and 11-11-40-105-029 with frontage on N Huron and W Forest. There is an existing ~1,200 square foot commercial building at 530 N Huron that partially encroaches on the 528 N Huron parcel and a ~2,700 square foot commercial building on the 534 N Huron parcel. The parking lot is to the south of 534 N Huron with approximately 19 spaces. There are three curb cuts for access, two on N Huron and one on W Forest. No special use permits or variances have been granted for these properties.

Zoned **NC- Neighborhood Corridor**, which only allows for a food store with the sale of alcohol, less than 15,000 square feet after approval as a special land use. The plans submitted propose a 3,520 square foot addition to the existing 2,774 square foot building for a total of 6,294 square feet at the northwest corner of the parcels with a demolition of the existing structure at 530 N Huron. Parking is proposed to the south of the structure with 20 parking spaces, 1 of which indicated as an accessible parking space. The existing structure is nonconforming in regards to street setbacks on the N Huron and W Forest street sides. The existing northern curb cut on N Huron St will be eliminated and the existing southern curb cut on N Huron St will be moved. The three parcels will need to be combined in

order to accommodate the proposed use as a parking lot cannot be a primary use in Neighborhood Corridor.

Figure 1: Subject Site Location



Figure 2: Site Aerial (2015)



Figure 3: Google image of site-looking southeast



Figure 4: Google image of site-looking north east from N Huron



Figure 5: Land Use and Zoning of Surrounding Area

	LAND USE	ZONING
NORTH	DPS Yard Multi-family residential	GC- General Corridor CN-Core Neighborhood
EAST	Single Family residential Rehab Center	NC-Neighborhood Corridor NC-Neighborhood Corridor
SOUTH	Single & Multi-family residential	CN-Core Neighborhood
WEST	Single Family residential	NC-Neighborhood Corridor

SPECIAL USE: CRITERIA AND REVIEW

§122-324(b)

- (1) *The proposed use conforms with all the provisions and requirements of this chapter, including site plan or sketch plan review standards, as applicable, and the applicable site development standards for the specific use, as well as the spirit and intent of this chapter and the Master Plan. The location, scale, and intensity of the proposed use shall be compatible with adjacent uses and the zoning of the land. Height, location and size of buildings shall be compatible with uses and buildings on adjacent properties. The intensity of the proposed use, such as volume, frequency and times of operation, and its compatibility shall be considered. If nonconformities are present, all reasonable effort has been made to eliminate them.*

COMMENTS: The location, scale, and intensity of the proposed use is compatible with adjacent uses as these uses already exist on the property, the only difference is that they are now to be combined and expanded by about 2,200 sf. The height, location of the buildings will not drastically change. The intensity of

the proposed special use will increase. The times of operation have not been discussed, but are not expected to change. The street setbacks on the existing building at 534 N Huron are existing nonconforming, no change is planned on the W Forest side however the nonconformity is proposed to be increased on the N Huron St side.

- (2) *The proposed use shall promote the use of land in a socially and economically sustainable manner and shall not be detrimental, hazardous, or disturbing to existing or future neighboring uses, persons, property or public welfare. Noise, odor, smoke and potential contamination of air, soil and water and its potential effect on neighboring uses, persons and property, as well as public welfare, shall be considered.*

COMMENTS: The proposed use is the same as what currently exists on the site it is just an expansion of the use and as such it is not expected to be detrimental, hazardous, or disturbing to existing or future neighboring uses, persons, and property or public welfare. Historically houses have always been surrounded by commercial properties in the City. Noise, odor, smoke and potential contamination of air, soil and water and its potential effect on neighboring uses, persons and property, as well as public welfare should not be affected. The applicant will need to address screening from the conflicting land uses as staff indicates in the site plan review.

- (3) *The proposed special land use shall be designed, constructed, operated and maintained to assure long-term compatibility with surrounding land uses. Consideration shall be given to the placement, bulk, and height of structures; materials used in construction; location and screening of parking areas, driveways, outdoor storage areas, outdoor activity areas, and mechanical equipment; nature of landscaping and fencing; and hours of operation.*

COMMENTS: 534 N Huron has been used as a store since prior to 1927 and the 530 N Huron was constructed back the mid to late 20th century. As mentioned before the height of the building at 534 N Huron will only be increased by 2" thus the height of the structure is similar and the placement on the site will not change for 534 N Huron but 530 N Huron is proposed to be removed and the massing of the structure at the northwest corner of the property will be different. Landscaping will need to be administratively reviewed by staff at a later time. The materials used in construction will be carefully reviewed by the Historic District Commission to ensure compatibility to the area.

- (4) *The proposed special land use shall not present unreasonable adverse impacts on the transportation system. Consideration shall be given to the estimated pedestrian, bicycle and vehicular traffic generated by such use, access to transit, proximity to major thoroughfares, proximity to intersections, required vehicular turning movements, and provisions for pedestrian and bicycle traffic.*

COMMENTS: The proposed use is a potential employer, and is conveniently located to bus transit as well as local roads. Employee traffic can be reasonably expected to be minimal however retail/restaurant traffic may increase and it is unclear as to how often the proposed use will utilize long-wheelbase vehicles, such as box trucks or semi-trucks. The property has a walk score of 78 (very walkable) and a transit score of 41 (some transit).

- (5) *The proposed use shall not create additional requirements at public cost for public facilities and services that will be detrimental to the economic sustainability of the community.*

COMMENTS: None are anticipated at this time.

CONDITIONS OF APPROVAL

§122-326

"Reasonable conditions may be required in conjunction with an approval. The conditions may include conditions necessary to ensure that public services and facilities affected by a proposed land use or activity will be capable of accommodating increased service and facility loads caused by the land use or activity, to conserve natural resources and energy, to ensure compatibility with adjacent uses of land, and to promote the use of land in a socially and economically desirable manner. Conditions imposed must do all of the following:

- (1) *Be designed to protect natural resources, the health, safety, and welfare, as well as the social and economic well-being.*
- (2) *Be related to the valid exercise of police power and purposes which are affected by the proposed use or activity.*
- (3) *Be necessary to meet the intent and purposes of this chapter, be related to standards established in this chapter, and be necessary to ensure compliance with those standards."*

Items to be addressed:

1. Special use approval shall be subject to approval of the site plan.

SITE PLAN: CRITERIA AND REVIEW

§122-311

STANDING

§122-311(a)

The applicant is legally eligible to apply for site plan review, and all required information has been provided.

REQUIREMENTS

§122-311(b)

"The proposed site plan conforms with all the provisions and requirements, as well as the spirit and intent of this chapter and the Master Plan. The proposed development will meet all the regulations of the zoning district in which it is located."

Figure 6: Requirements

Note: Staff has reviewed this project under the assumption that all three parcels will be combined. The figures below reflect that.

ORDINANCE REFERENCE	REQUIRED		EXISTING CONDITIONS	PROPOSED
NC: BUILDING TYPE §122-466	Determined by lot size		Single story commercial	Unchanged
LOT REQUIREMENTS				
Width ft	Min 50	Max 300	169.75'	Unchanged
Depth ft	Min 100	Max 300	101.31' at north side 148' at southern 46.9'	Unchanged
Area sf	Min 7,500	Max 90,000	~18,945.7	Unchanged
Coverage %	Min -	Max 60%	~33%	Meets
BUILDING ENVELOPE AND HEIGHT				

ORDINANCE REFERENCE	REQUIRED		EXISTING CONDITIONS	PROPOSED
Street setback (front or side) ft	Min 5	Max 15	W Forest: ~1' N Huron: ~0'	Does not meet, existing nonconforming on W. Forest and an extension of the nonconformity on the N Huron St side, <i>variance required</i>
Side setback ft	Min 0	Max -	31' – 35'	Meets
Rear setback ft	Min 15 (25 if adjacent to existing SF)	Max -	~73'	Meets
Frontage buildout %	Min 50	Max 100	~70%	Meets
Height stories	Min 1	Max 1	1 (@17.6')	Meets
PARKING PROVISIONS	Location: Side, street side and rear yard		Street side and rear yards	Meets
PRIVATE FRONTAGES	Required: Commercial		W Forest: none N Huron: partial	Entrance is on the south/parking lot side of the building
Distance between openings (ft)	Min -	Max 2	N Huron: 2.5' to 24.5'	Does not meet
Door recess (ft)	Min -	Max 5	not indicated on plans	Unknown
Ground floor transparency (%)	Min 60	Max -	W Forest: 0% N Huron: 56/1728=3%	Does not meet
Height to bottom of window (ft)	Min -	Max 2.5	6'	Does not meet
Setback from curb (optional awning/gallery) ft	Min 2	Max -	Optional	N/A
Clear depth – awning (ft)	Min 4	Max 10	Optional	N/A
Clear depth – gallery (ft)	Min 8	Max 10	Optional	N/A

ORDINANCE REFERENCE	REQUIRED		EXISTING CONDITIONS	PROPOSED
Clear height (ft)	Min 8	Max -	Optional	N/A
Yard requirements	Must be landscaped/pervious, with a path at least 6' wide connecting the building entrance to the sidewalk			~4.5' clear path with the bollards, does not meet <i>Staff note: this will be less of an issue if the building entrance is on the N Huron St side.</i>

Items to be Addressed:

1. Applicant to pursue a variance for the street side setback on N Huron St.
2. Applicant is to comply with the commercial private frontage requirements for the N Huron and W Forest frontages, including transparency.
3. Applicant to provide a path at least 6' wide connecting the building entrance to the public sidewalk.

BUILDING LOCATION AND SITE ARRANGEMENT**§122-311(c)**

"All elements of the site plan shall be harmoniously and efficiently organized in relation to the character of the proposed use, the size and type of lot, the size and type of buildings, and the character of the adjoining property. The site shall be so developed as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter."

The applicant is planning an addition to the existing building at the northwest corner of the parcels and is proposing the demolition of the existing structure at 530 N Huron. Building frontage is on N Huron and W Forest. The building is currently set up with an entrance at the southwest corner of the building. The applicant has proposed to move the entrance several feet to the east so that it is now completely in the rear/south side of the building. The parking lot is to the south of the structure in the street side and rear yards with 20 parking spaces indicated as well as bike parking and a dumpster enclosure at the east side of the parking lot. A generator will be to the east of the building along with a truck loading area. There is an existing split rail fence and a 6' wood privacy fence running the length of 15 W Forest on the east side of the property. The split rail fence appears to be on the applicant's side of the property and the 6' privacy fence on the 15 W Forest side, the privacy fence appears to have some stability issues back in 2016. The area also seems to have some vegetation overgrowth on the applicant's side of the fence at that time. There is no existing or proposed fencing on the south side of the project area.

Items to be Addressed:

1. Applicant to provide screening between the conflicting land uses to the east and south of the site. Screens must be a wall, fence, or landscape buffer at least six (6) feet in height and at least 80% opacity.

SITE ACCESS, TRAFFIC, AND PARKING**§122-311(d)**

"With respect to vehicular and pedestrian circulation on the site, including walkways, interior drives, and parking; circulation shall to the extent possible create potential cross-and joint-access to adjacent parcels and the existing block layout. Special attention shall be given to the location, number and spacing of ingress and egress points; general interior circulation including turnaround areas; adequate provisions for delivery of services (trash

removal, school buses, mail and parcel delivery); separation of pedestrian and vehicular traffic; avoidance of building corners next to access drives; identification of addresses; storage of plowed snow; and arrangement of parking areas that are safe and convenient, and insofar as practicable, do not detract from the design of the proposed buildings and structures, neighboring properties, pedestrian and bicyclist safety, access to transit and flow of traffic on adjacent streets. All buildings or groups of buildings shall be so arranged as to permit adequate access by emergency vehicles as required by the city building code."

Access points for vehicles are at the southern end of the parcels on N Huron and the eastern end of the W Forest side. The existing drive on the east side of the site appears to be in poor condition and the existing striping and pavement for the parking lot are in poor/fair condition. Bikes and pedestrians can also access the site via the curb cuts and the sidewalks on W Forest and N Huron, the sidewalks surrounding the structure appear to be in good condition. The proposed internal walkway to the south of the building is approximately 4.5' due to the proposed installation of the bollards within the walkway. The walkway to the east of the building does not run the full length of the building. This appears to be due to the shape of the existing building on W Forest and the clearance for the access drive. However there is 24' available for the access drive, a 4' pathway may still be possible or this access drive could be signed for loading and emergency access and possibly reduced to accommodate the required walkway. A bus stop for AAATA route 3 stops just to the northwest in front of 202 W Forest. Bike parking is indicated at the southeast section of the lot near the dumpster enclosure and will probably see little use in this area as it is about 125' from the entrance.

Figure 7: Site access, traffic and parking

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
§122-607 Building entrances	No principal building can be placed on a lot unless the building is situated in such a manner that the front entry into the building faces the street to which the property is addressed.		The entrance does not face the street to which it is addressed.
NC: §122-670 CIRCULATION STANDARDS	CN, C, HC, NC, GC, HHS: Sites <3 acres: circulation plan to ID potential cross and joint access to adjacent parcels Sites >3 acres: block plan		None included with plans, not required by staff due to site limitations.
§122-685 PARKING Dimensions	• 9'x18' minimum, exceptions if adjacent to wall or overhang provided • May have 20% small car (8'x16', signed) • May have 10% motorcycle (5x8', signed)		• 9'x18' parking dimensions proposed, meets
§122-685 BARRIER FREE	Barrier free parking spaces must be provided in accordance with the state barrier free design requirements.		Shall provide a van-accessible barrier free space.

§122-683	Access	5' walkway from parking lot to parks, commercial, transit, walkways, institutions; raised/marked crosswalks within parking lot		A full walkway is not proposed for east side of the building and only a 4.5' clearance on the south walkway, does not meet
	Ingress & Egress	• Aligned across ROW, or offset by 25' • >50' from intersection • 20'-30' driveway		• Meets • N Huron: 125' and W Forest: 70', meets • N Huron: 25' and W Forest: 24', meets
	Internal Maneuvering	Minimum of 10' in width		24' – 28', meets
	Surfacing	durable bonded material in accordance with accepted engineering standards, or alternative surfacing materials to minimize impervious surface and stormwater runoff		No indication that surfacing was an issue on the engineering review, meets
	Drainage	graded and drained to public storm sewers		Insufficient data provided, see engineering letter
	Setback from adjacent lot	Parking areas are required to be 10' from any adjacent lot		~2' from the lot to the south, does not meet
	Striping	outlined with three-inch wide strips of white or yellow paint, except that barrier-free spaces shall be blue, with a symbol of compliance in blue, and signed in accordance with the State Barrier-Free Code		Meets
	Wheel Stops	Wheels stops or curbing must be provided		Curbing provided, meets
	Lighting	parking and loading facilities utilized during night-time hours shall be artificially illuminated and meet requirements in 122-609		Photometric and lighting plan provided, see below for more detail
§122-684	Screening & Landscaping (internal)	1 tree per 8 spaces		Landscaping plans not included, applicant to provide
		1 landscape island for each 16 spaces		N/A

	Screening & Landscaping (perimeter)	Islands w trees: 9' wide min and 160' sf Islands w 5' min walkway: 11' wide min Islands: curbed or used for stormwater		No trees indicated
		All aisle-ends & corners protected w curbed island		Meets
		3' between curb and planting (5' if vehicle overhang)		No plantings indicated
		Screened in accordance with 634 if abutting R1, MD, CN, CN-Mid, CN-SF		Applicant to provide screening for the parking at the south lot line
		3'-4' screen 80% opacity where visible from ROW		Does not meet
		Landscaped areas, walls, structures, walks- must be protected by curbing		Meets, no landscaping indicated on plans
§122-691	Motor spaces	Other retail uses: 1/250 gross floor area Restaurant: 1 for each 50 square feet of customer waiting and eating areas, plus 1 for each employee in the largest employment shift	Note: Staff figures for the retail and restaurant space and the applicant's figures differ. Applicant to provide proof of figures.	Retail: $4642/250=19$ spaces Restaurant: $122.5/50=3$ spaces 2 employees on largest shift= 2 spaces Total required: 24 spaces, 20 proposed including on accessible space, does not meet, engineering has concerns about the location and access to the accessible parking space
§122-693	Bicycle spaces	1 per 5 motor spaces, minimum of 2		4 required, 8 proposed, no indication of type or if they are covered on the plans, also over 100' away from entrance
§122-692	Parking discounts	Transit		115' to closest bus stop, n/a
		Alternative Vehicles		None proposed

		Bicycle		Shower provided, but no indication of covered bike parking in addition to the 4 required spaces. Applicant to provide covered bike parking for 8 bike spaces in addition to the 4 required spaces for a parking discount of 2 spaces.
		PC discretion, special circumstances not listed above		A waiver is requested for an additional 2 parking spaces (8%) due to site constraints
§122-672	SIDEWALKS	provide a sidewalk or shared-use path		5' sidewalks already exist in the ROW and appear in good condition
§122-675	TRAFFIC VISIBILITY	Maintain shrubs/other obstructions lower than 30" and trees/other obstructions higher than 8': At driveway: within a 10'x10' triangle formed by the street ROW line and the edge of the driveway At intersection: within a 25' x 25' triangle formed by an extension of the property lines, as measured from the pavement edges.		No landscaping plan provided, cannot determine.
§122-695	Off-street loading	Commercial-5,000 – 19,999=1 space at 10' x 50'		What appears to be a loading space is provided on the east side of the property at about 10' x 50', engineering requested that it be labeled.

Items to be Addressed:

1. Applicant to move the entrance of the building to the N Huron St side so that it faces the street to which it is addressed.
2. Applicant to provide a van-accessible barrier free space.
3. Applicant to provide a 5' wide or greater walkway from the parking lot to the right-of-way.
4. Applicant to address all conditions as listed in the engineering letter from OHM dated April 10, 2018.

5. Applicant to move the parking area at the south of the lot so that it is the required 10' from the adjacent lot to the south.
6. Applicant to provide screening for the parking at the south lot line
7. Applicant to provide a 3'-4' screen at 80% opacity where the parking lot is visible from ROW.
8. Applicant to provide covered bike parking for 8 bike spaces in addition to the 4 required bike spaces for a parking discount of 2 spaces.
9. An 8% wavier is requested from §122-691 for two parking spaces, due to site constraints.

ENGINEERING & STORMWATER

§122-311(f), §122-311(g)

(6) Adequate services and utilities including sanitary sewers shall be available or provided, with sufficient capacity to properly serve the development. Appropriate measures will be taken to ensure that site drainage will not adversely affect adjoining properties or the capacity of the public storm drainage system, or nearby bodies of water. Provisions shall be made to accommodate stormwater and prevent soil erosion. All stormwater management facilities, including but not limited to storm sewers and detention/retention facilities, shall be designed in accordance with the "Rules of the Washtenaw County Water Resources Commissioner," together with any special provisions established by the city.

(7) Natural resources will be protected to the maximum feasible extent. The proposed development will not cause soil erosion or sedimentation problems, and will respect floodways or floodplains on or in the vicinity of the subject property.

Engineering is required due to an increase in impervious surface area on site.

Items to be Addressed: See engineering review for details and changes requested on storm water, the accessible parking space, turning radius, landscaping and loading space.

SCREENING

§122-311(h)

"The site plan shall provide reasonable visual and sound privacy for all dwelling units on or adjacent to the property. Fences, walks, barriers, and landscaping shall be used, as appropriate, for protection and enhancement of the property. All outdoor storage of materials, loading and unloading areas, and refuse containers shall be screened or located so as not to be a nuisance. Outdoor lighting shall be shielded so as to not adversely affect neighboring properties or traffic on adjacent streets."

Figure 8: Screening

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
§122-609 Lighting	• Dark Sky compliant; may be full cutoff where affecting residential uses • not >0.5 fc @ lot line • not >16'in height • not < 0.3 fc		• Meets • Greater than 0.5 fc at all lot lines • photometric does not indicate the figures all the way to the lot line on the east side of site. • Applicant to ensure that the 3 pole lights on the south are 16' in height or less

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
§122-608 Refuse Containers	masonry enclosure 1' taller than dumpster (no less than 6'), in rear yard, 80% opaque swing door, on a concrete pad		No indication of any issue on the engineering review, meets
§122-631 Landscape plan			Applicant to provide a landscape plan for staff review
§122-634 Screening Between Land Uses <i>if conflicting use</i>	visual buffer of at least 80% opacity and 6' height		Does not meet, applicant to provide
§122-636 Street Trees	1 tree per 30' of lineal frontage, centered between sidewalk and back of curb: N Huron: $170'/30' = 6$ trees		No street trees are provided on W Forest frontage due to space constraints. Waiver requested. 3 street trees may be possible on N Huron, waiver for the remaining 3 due to space constraints.
§122-638 Site Landscaping	10%		Applicant to provide a landscape plan for staff review
§122-640 Exterior Electrical	Screen when visible from any primary visual exposure area		Screened by building
§122-632 Landscape Elements	Quality, composition, berms, spacing, species		Applicant to provide a landscape plan for staff review
	Credit for existing vegetation		None
§122-633 (d)(e) Maintenance	Readily available and acceptable water supply; may install underground sprinkler system		Applicant to indicate maintenance plan on the landscape plan
§122-635 Fencing, hedges, walls, berms	NC front and street side yard- no more than 6' in height side and rear yards – max 10'		None proposed in the front or street side yard

Items to be Addressed:

1. Applicant to provide a clearer photometric that indicates the measurements all the way to the lot line on the east side of the site for administrative review.
2. Applicant to shield lights or otherwise ensure lights do not exceed 0.5 fc at all lot lines and to ensure that the 3 pole lights on the south side of the lot are 16' in height or less at final finished height.
3. Applicant to provide a visual buffer of at least 80% opacity and 6' height between the conflicting land uses to the east and south of the site.
4. Waiver requested from 122-636, Street Trees, due to lack of available space on W Forest and for 3 trees on N Huron.
5. Applicant to provide three street trees on the N Huron St side of the property.
6. Applicant to provide a landscaping plan.

PHASING

§122-311(i)

"Separate phases of development shall be in logical sequence, and each phase shall stand alone so that no one phase will depend upon a subsequent phase for adequate access, public utility services, drainage, or other improvements."

Phasing is not indicated on the plans.

OTHER DEPARTMENT AND AGENCY APPROVALS

§122-311(j)

"Site plans shall conform to all applicable requirements of state and federal statutes, including health and pollution laws, fire or explosion hazards, toxic and hazardous materials, and barrier-free requirements. Site plan approval may be conditioned on the applicant receiving necessary county, state, or federal permits before a local building permit or occupancy permit is granted."

HISTORIC DISTRICT

All three properties are within the Ypsilanti Historic District. The demolition of the existing building at 530 N Huron will need to be approved by the Historic District Commission as well as the plans for site and building prior to the start of work on this project.

DEPARTMENT OF PUBLIC SERVICES

The applicant is responsible for obtaining permits from the Department of Public Services before beginning work on any portion of the City right-of-way, including sidewalks, curbs, and driveways on N Huron and W Forest.

FIRE DEPARTMENT

As applicant is requesting a curbcut closure and changes to parking area circulation, Fire Department review is required. Fire Department has no objection to the proposed changes but would like to ensure that the dumpster remains more than 10' from the structure. The proposed dumpster location is approximately 80' from the structure.

MASTER PLAN CONSIDERATIONS

§122-311(k)

"An objective of site plan review shall be to protect and promote public health, safety, sustainability and general welfare. It is also the intent of site plan review to improve the quality of existing developments as they are expanded, contracted, or redeveloped in keeping with sound site development standards of this chapter and city master plan."

Easily walk, bike, drive or take transit from anywhere. This action brings a larger convenience store/retail space to the City that is a short walk from the bus stop across the street and is walkable.

Great place to do business, especially green and creative. This action may retain existing businesses.

STAFF RECOMMENDATIONS: SPECIAL USE

Staff recommends the Planning Commission *table* the Special Use Permit for the Party Store Expansion at 534 N Huron as it's subject to approval of the site plan.

STAFF RECOMMENDATIONS: SITE PLAN

Staff recommends the Planning Commission *table* the Site Plan for Party Store Expansion at 534 N Huron subject to the ZBA review of the variance from the street side setback on the N Huron frontage and HDC review of the demolition of 530 N Huron.

Cynthia Kochanek
Preservation Planner, Community & Economic Development Department

CC File
 Applicant
 Architect: JSN AIA



April 10, 2018

City of Ypsilanti Planning and Development Department
534 North Huron Street
Ypsilanti, Michigan 48197

Attention: Ms. Bonnie Wessler

Regarding: 534 N Huron St
Site Plan Review No. 1
OHM Job No. 0094-18-1020

Dear Ms. Wessler:

The applicant is requesting site plan approval for the expansion of an existing commercial store. An existing restaurant will be demolished and added on to the existing commercial store.

We have completed the first site plan review of the plans dated March 3, 2018 for compliance with local ordinances and general engineering standards.

At this time, the plans are not recommended for approval. The following comments shall be addressed prior to resubmitting plans for approval. Preliminary detailed engineering comments have also been provided for the applicant's benefit to aid in the preparation of the detailed engineering drawings, but do not significantly affect the overall site plan layout.

SITE PLAN REVIEW COMMENTS:

1. The applicant shall provide a preliminary stormwater narrative on the plans that includes an explanation of how the additional impervious surface area will be treated. The narrative shall include a description of the proposed Best Management Practices (BMPs), if any. All BMPs shall be clearly shown and labeled on the plans. The applicant shall also provide preliminary stormwater calculations in accordance with the Washtenaw County Water Resources Commissioner's (WCWRC) Standards.
2. The applicant shall relocate the proposed handicapped parking space to be as close to the main entrance as possible. The applicant shall also dimension the proposed accessible parking space to indicate ADA compliance. In addition, the applicant shall also provide a minimum of one (1) ADA "van-accessible" parking space with a 90-inch wide access aisle to comply with ADA standards.
3. The applicant shall provide spot grades at all four corners of proposed ADA parking spaces, sidewalks, and level landings as well as at 50-foot intervals along the proposed sidewalks to ensure ADA compliance.
4. The applicant shall provide ADA compliant sidewalk ramp details on the plans (i.e. MDOT R-28 series, etc.).
5. The applicant shall provide the bollard detail on the plans. The applicant shall also note that there shall be a minimum of 36-inches between the bollard and the side of the building per ADA standards.
6. The applicant shall provide dimensioned truck turning templates on the plans to ensure site circulation can adequately accommodate a standard fire apparatus or the largest truck anticipated to traverse the site.



7. The applicant shall provide a landscape plan. The applicant shall also overlay the existing and proposed utilities on the landscape plan to ensure that there are no trees directly on any utility lines.
8. The applicant shall label the loading space on the plans.

PRELIMINARY DETAILED ENGINEERING REVIEW COMMENTS:

1. The applicant shall clarify the location of the proposed building downspouts and how they tie-in to the proposed stormwater management system.
2. Any improvements to the water or sanitary sewer systems will require review and approval from YCUA.
3. Review and approval from the Fire Department is required. Building fire suppression and hydrant location requirements will be determined by the Fire Department.

The applicant is advised that review and approval of detailed engineering plans is required prior to start of construction.

If you have any questions, please contact us at (734) 522-6711.

Sincerely,
OHM Advisors



Jessica Katers, P.E.



Jessica Howard

CC: Stan Kirton, Department of Public Works
Scott Westover, YCUA
File

P:\0000_0100\SITE_YpsilantiCity\2018\0094181020_534_N_Huron\N Huron_SP #1_2018-4-10.docx

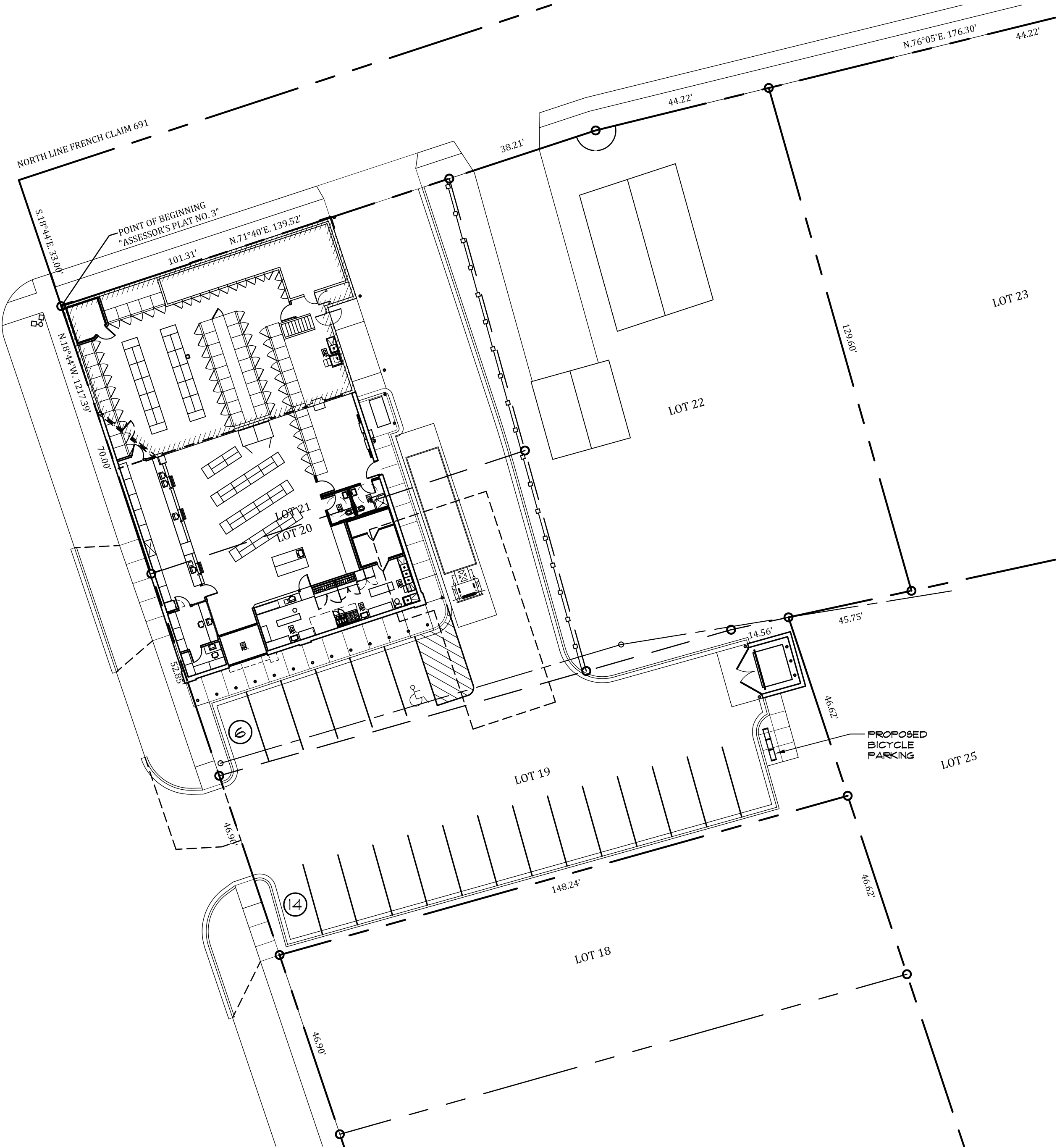
GENERAL NOTES MBC 2015

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE M.B.C. 2015 BASIC BUILDING CODE AND ALL THE CITY AND LOCAL ORDINANCES AS ADOPTED BY THE STATE OF MICHIGAN.
2. THESE NOTES ARE FOR GENERAL REFERENCE. WHERE CONFLICTS EXIST BETWEEN THESE NOTES AND CURRENT CODE(S), THE MORE STRINGENT REQUIREMENTS SHALL PREVAIL.
3. MATERIALS OR CONSTRUCTION PROCEDURES WHICH ARE PROHIBITED BY LAW OR SHALL CAUSE A HARMFUL EFFECT TO THE NATURAL ENVIRONMENT OR TO THE HEALTH OF ANY PERSON ON THE SITE DURING CONSTRUCTION AND/ OR DURING OCCUPANCY SHALL NOT BE USED ON THIS PROJECT.
4. ALL TRADES SHALL CONFORM WITH ALL APPLICABLE FEDERAL, STATE, LOCAL, AND OSHA CODES, RULES AND REGULATIONS. IN CASE OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
5. ANY DISCREPANCIES, ERRORS, AND/OR OMISSIONS IN THE DRAWINGS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/DESIGNER. FAILURE TO DO SO MAY RESULT IN FUTURE CHANGES, THE COST OF WHICH WILL BE BORNE BY THE APPROPRIATE TRADE.
6. DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS!
7. PROVIDE TEMPORARY BRACING AS REQUIRED, TO INSURE THE STABILITY OF THE STRUCTURE UNTIL THE PERMANENT FRAMING IS IN PLACE.
8. PROVIDE SAFETY GLAZING IN CONFORMANCE WITH CODE.
9. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE IBC BASIC BUILDING CODE AND ALL THE CITY AND LOCAL ORDINANCES AS ADOPTED BY THE STATE OF MICHIGAN.
10. CONTRACTOR SHALL EXERCISE EXTREME CARE IN SETTING GRADES FOR NEW CONSTRUCTION AS THESE GRADES ARE CRITICAL.
11. FOUNDATIONS SHALL BE CARRIED DOWN (MIN. 3'-6" DEEP) TO NATURAL UNDISTURBED SOILS CAPABLE OF SUPPORTING A 3000 P.S.F. BEARING CAPACITY, OR ENGINEERED FILL. IF POORLY CONSOLIDATED SOILS ARE ENCOUNTERED AT THE DEPTHS SHOWN, THE ARCHITECT /DESIGNER SHALL BE NOTIFIED AND THE FOUNDATIONS WILL BE MODIFIED ACCORDINGLY.
12. SAND FILL UNDER SLABS SHALL BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
13. CONCRETE SHALL HAVE COMPRESSIVE STRENGTH OF 3000 P.S.I. FOR FOUNDATION WORK AND FLOOR SLABS WITH 4000 P.S.I. FOR WALKS AND STEPS. REINFORCING STEEL = 40KS1, ASTM 40.
14. STRUCTURAL STEEL = 36 KS1 ASTM GRADE 36.
15. THE OWNER IS NOT RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION, NOR FOR THE SAFETY ON THE JOBSITE, AND THAT THESE RESPONSIBILITIES ARE INTENDED TO BE AND TO REMAIN SOLELY THOSE OF THE GENERAL CONTRACTOR.
16. THE INTENT IS TO UTILIZE ALL EXISTING UTILITIES: 16: PHONE, ELEC, GAS, WATER, AND SEWER.
17. LIGHT GAUGE STEEL FRAMING TO CONFORM TO ASTM STANDARDS SPECIFIED.
18. SUPPORT ALL ELECTRICAL EQUIPMENT & WIRING, INCLUDING LOW VOLTAGE WIRING, IN ACCORDANCE WITH ARTICLE 300-II AND ARTICLES 125 THROUGH 230 OF THE NEC.

CODE ANALYSIS (I.B.C./ M.B.C. 2015)

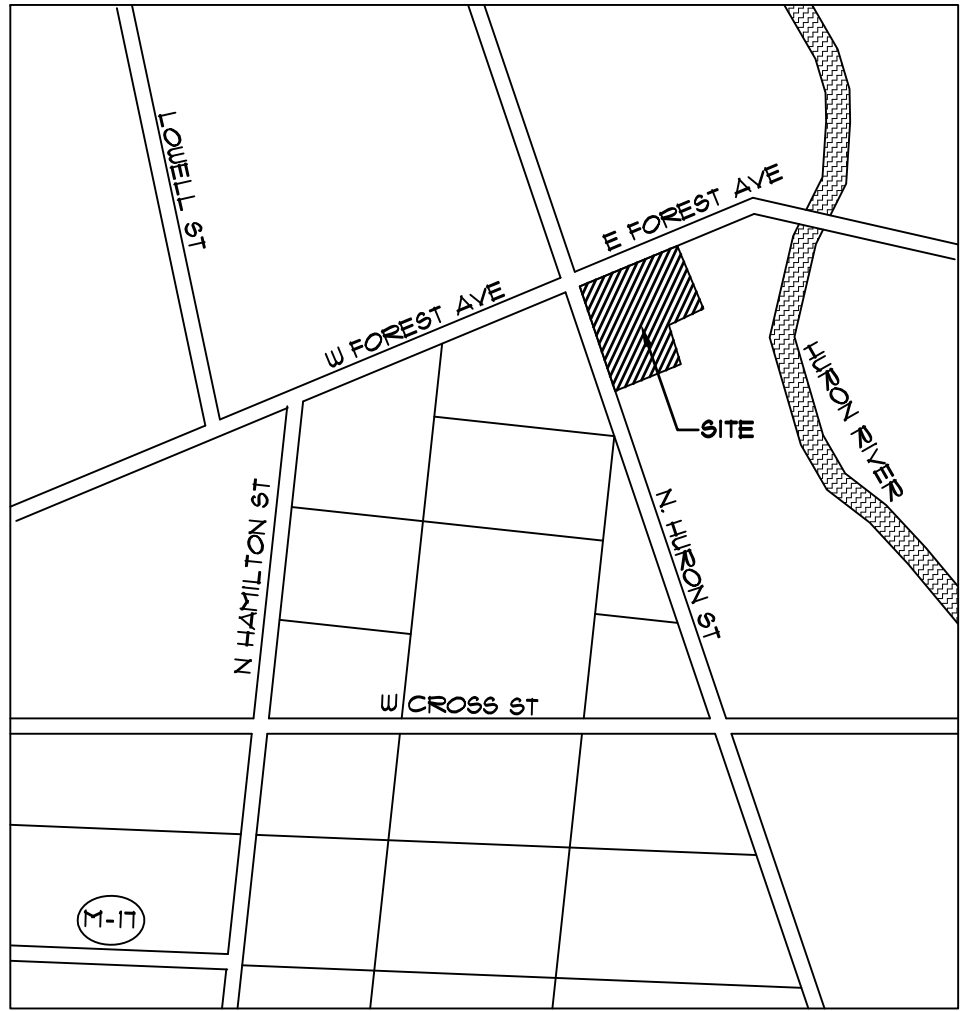
CHAPTER - 3	USE AND OCCUPANCY CLASSIFICATION 3021 CLASSIFICATION USE GROUP(S): M (MERCANTILE)
CHAPTER - 5	GENERAL BUILDING HEIGHTS AND AREAS SCOPE OF WORK AS PROPOSED DOES NOT INCREASE EXISTING BUILDING HEIGHT OR AREA. GENERAL AREA AND HEIGHT LIMITATIONS FOR THE EXISTING FACILITY HAVE BEEN REVIEWED AND APPROVED AS PART OF THE ORIGINAL BUILDING PERMIT.
CHAPTER - 6	TYPE(S) OF CONSTRUCTION TYPE V-B (5-B), SPRINKLERED
CHAPTER - 7	FIRE AND SMOKE PROTECTIVE FEATURES FIRE RESISTIVE RATING(S) FOR NEW CONSTRUCTION SHALL MEET THE REQUIREMENTS OF CHAPTER 7.
CHAPTER - 8	INTERIOR FINISHES ROOM FINISHES SHALL MEET THE REQUIREMENTS OF SECTION 803 AND TABLE 803.3. CLASS 'C' FOR INTERIOR ROOMS & CLASS 'B' FOR CORRIDORS & GENERAL AREAS. INTERIOR FLOORS SHALL MEET THE REQUIREMENTS OF SECTION 804. CLASS II IN CORRIDORS AND OPEN AREAS AND TYPE DOC FF-1 IN ENCLOSED ROOMS.
CHAPTER - 10	MEANS OF EGRESS SECTION 1004 OCCUPANT LOAD FOR PROPOSED USE(S) (TABLE 1004.1.2) M' USE: 2,422 SF. STORAGE/ STOCK AREA * 1/300 GROSS * 8 OCCUPANT(S) 3,812 SF. RETAIL AREA * 1/60 GROSS * 63 OCCUPANT(S) TOTAL = 73 OCCUPANT(S) DOOR(S) PROVIDED ARE AT LEAST 36 INCHES WIDE WHICH MEET EGRESS AND ALSO BARRIER FREE REQUIREMENTS. MEANS OF EGRESS REQUIREMENTS FOR THE EXISTING BUILDING TO REMAIN HAVE BEEN MET BOTH WITHIN THE EXISTING SPACE(S) AND HAVE BEEN DETERMINED TO BE ADEQUATE AS PART OF THE ORIGINAL PERMIT APPROVAL.
CHAPTER - 11	ACCESSIBILITY ALL NEW CONSTRUCTION SHALL COMPLY WITH CHAPTER 11 REQUIREMENTS.
CHAPTER - 12	INTERIOR ENVIRONMENT
SECTION 1205	THE LIGHTING AND NATURAL LIGHT REQUIREMENTS HAVE BEEN DESIGNED TO MEET OR EXCEED THE MINIMUM REQUIRED LIGHTING LEVELS FOR BOTH DAY AND NIGHT FOR THE PROPOSED LEASE SPACE.
SECTION 1203	EXISTING MECHANICAL VENTILATION TO BE DESIGNED AND MODIFIED TO CORRESPOND WITH THESE PLANS AND OWNER REQUIREMENTS. THE MECHANICAL CONTRACTOR SHALL SUBMIT AIR DISTRIBUTION DRAWINGS, IF APPLICABLE, FOR REVIEW BY THE ARCHITECT AND THE CITY.
A.D.A.	APPLICABLE PARTS OF THE AMERICANS WITH DISABILITIES ACT SHALL APPLY TO THIS PROPOSED ADDITION. ALL DOORS WIDTHS, ELECTRICAL DEVICES, PLUMBING DEVICES, CORRIDORS, SIGNAGE AND ALARM DEVICES SHALL MEET A.D.A. FOR THE PHYSICALLY, VISUALLY AND HEARING IMPAIRED.

THE AMERICANS WITH DISABILITIES ACT PROVIDES THAT IT IS A VIOLATION OF THE ADA TO CONSTRUCT A FACILITY FOR FIRST OCCUPANCY LATER THAN JANUARY 26, 1993, THAT DOES NOT MEET THE ACCESSIBILITY AND USABILITY REQUIREMENTS OF THE ADA, EXCEPT WHERE AN ENTITY CAN DEMONSTRATE THAT IT IS STRUCTURALLY IMPRACTICAL TO MEET SUCH REQUIREMENTS. TENANT AND LANDLORD ACKNOWLEDGE THAT THESE REQUIREMENTS OF THE ADA WILL BE SUBJECT TO VARIOUS AND POSSIBLY CONTRADICTORY INTERPRETATIONS. THE ARCHITECT, THEREFORE, WILL USE ITS BEST PROFESSIONAL EFFORT TO INTERPRET APPLICABLE ADA REQUIREMENTS AND OTHER FEDERAL, STATE AND LOCAL CODES, LAWS AND ORDINANCES AS THEY APPLY TO THE PROJECT. THE ARCHITECT, HOWEVER, CANNOT AND DOES NOT WARRANT YOU GUARANTEE THAT THE TENANT LEASED SPACE COMPLY WITH ALL INTERPRETATIONS OF THE ADA REQUIREMENTS AS THEY APPLY TO THIS PROJECT. THE ARCHITECT DOES NOT WARRANT OR GUARANTEE THAT THE DESIGN OF ANY COMPONENT IN THE TENANT LEASED SPACE WILL MEET THE REQUIREMENTS OF THE ADA IF THEY HAVE NOT BEEN SUBMITTED TO THE ARCHITECT FOR REVIEW.



PROPOSED SITE PLAN

SCALE: 1"=20'-0"



LOCATION MAP

SCALE: N.T.S.

CURRENT ZONING

ZONED: NC (NEIGHBORHOOD CORRIDOR)

CODE ANALYSIS

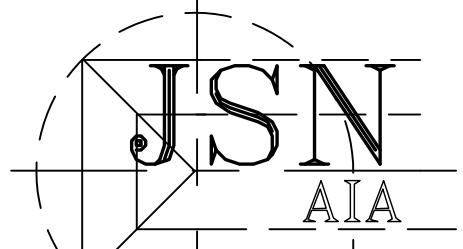
CODE(S): M.B.C. 2015
CONST. TYPE: V-B (5-B)
STORIES OF BUILDING: ONE (1)
USE GROUP(S): 'M'
BUILDING AREA: 6,294 SQ. FT.
OCCUPANCY: 73

PARKING ANALYSIS

TOTAL GROSS AREA (FOOTPRINT) = 6,294 SQ. FT.
CONVENIENCE STORE: 6,294 SQ. FT. (GROSS AREA)
CONVENIENCE STORE W/ CARRY-OUT PIZZA
RETAIL * 1 SP. PER 250 SF.
3,812 SF. / 250 = 15.48, THEREFORE 16 SPACES
STAFF * 1 SP. PER EMPLOYEE (LARGEST SHIFT)
CONV. STORE: 2 EMPLOYEES = 2 SPACES
CARRY-OUT (PIZZA): 2 EMPLOYEES = 2 SPACES
TOTAL = 20 SPACES REQUIRED

PARKING REDUCTION(S):
BICYCLE(S) * 1 SPACE FOR EVERY 4 BICYCLE SPACES
8 BIKE SPACES / 4 = 2 SPACE REDUCTION
BICYCLE(S) * 4 SPACE(S) FOR PROVISION OF EMPLOYEE SHOWER
EMPLOYEE SHOWER = 4 SPACE REDUCTION
TOTAL = 6 SPACE REDUCTION

PARKING TOTAL(S):
20 (CONV. STORE) - 6 (REDUCTIONS)
TOTAL = 14 SPACES REQUIRED
TOTAL (PROVIDED) = 20 SPACES (PROPOSED)



Joseph S. Novitsky
Architecture
3856 12 Mile Road
Berkley, MI 48072
(248) 433-2030

Seal:

Revisions:

DATE	DESCRIPTION
08/21/17	REVIEW
02/28/18	REVIEW
03/16/18	REVIEW
03/21/18	P.C. REVIEW

Project Name: STORE-- 534 N. HURON STREET

534 N. HURON STREET
TAYLANT, MI 48187

OWNER: TOM TAMOU

Sheet Title:

PROPOSED
SITE PLAN,
LOCATION
MAP, NOTE(S)
& ANALYSIS

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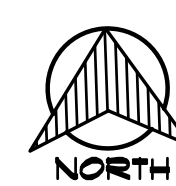
Date: 08/21/17
Drawn by: LDN, MLC

Project Number:

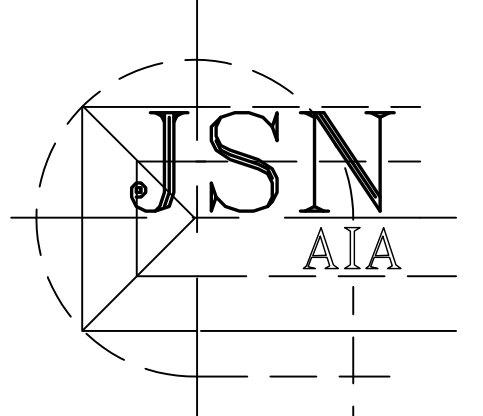
17054

Sheet Number:

S-1



EXISTING/ CONTEXTUAL SITE PLAN
NEIGHBORHOOD/ CONTEXT
SCALE: 1" = 40'-0"



Joseph S. Novitsky
Architecture
3856 12 Mile Road
Berkley, MI 48072
(248) 433-2030

Seal:

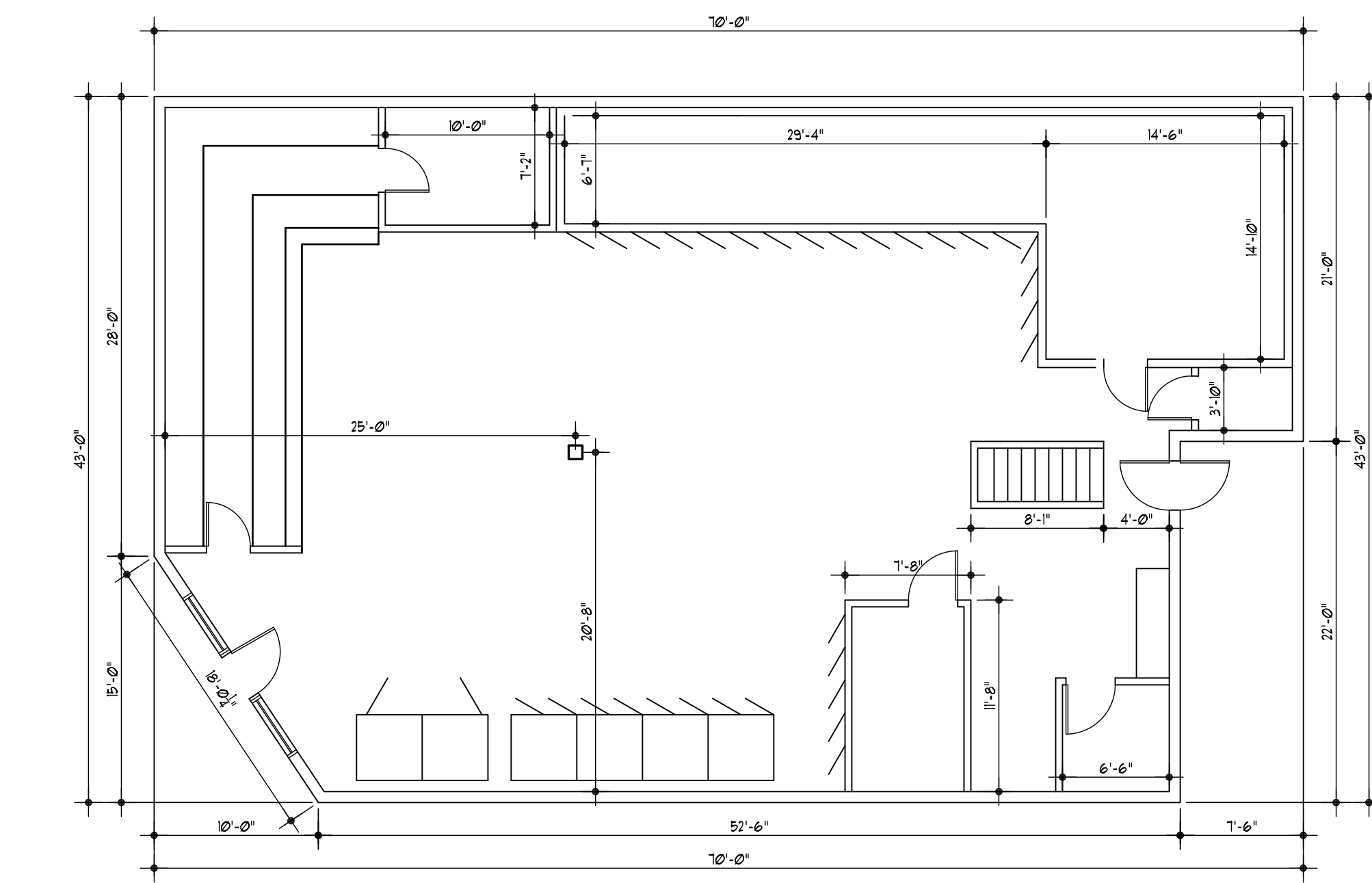
Revisions:	
DATE	DESCRIPTION
08/21/17	REVIEW
03/21/18	P.C. REVIEW

Project Name: **STORE- 534 N. HURON STREET**
534 N. HURON STREET
TAYSLANT, MI 48187
OWNER: **TOM TAMOU**

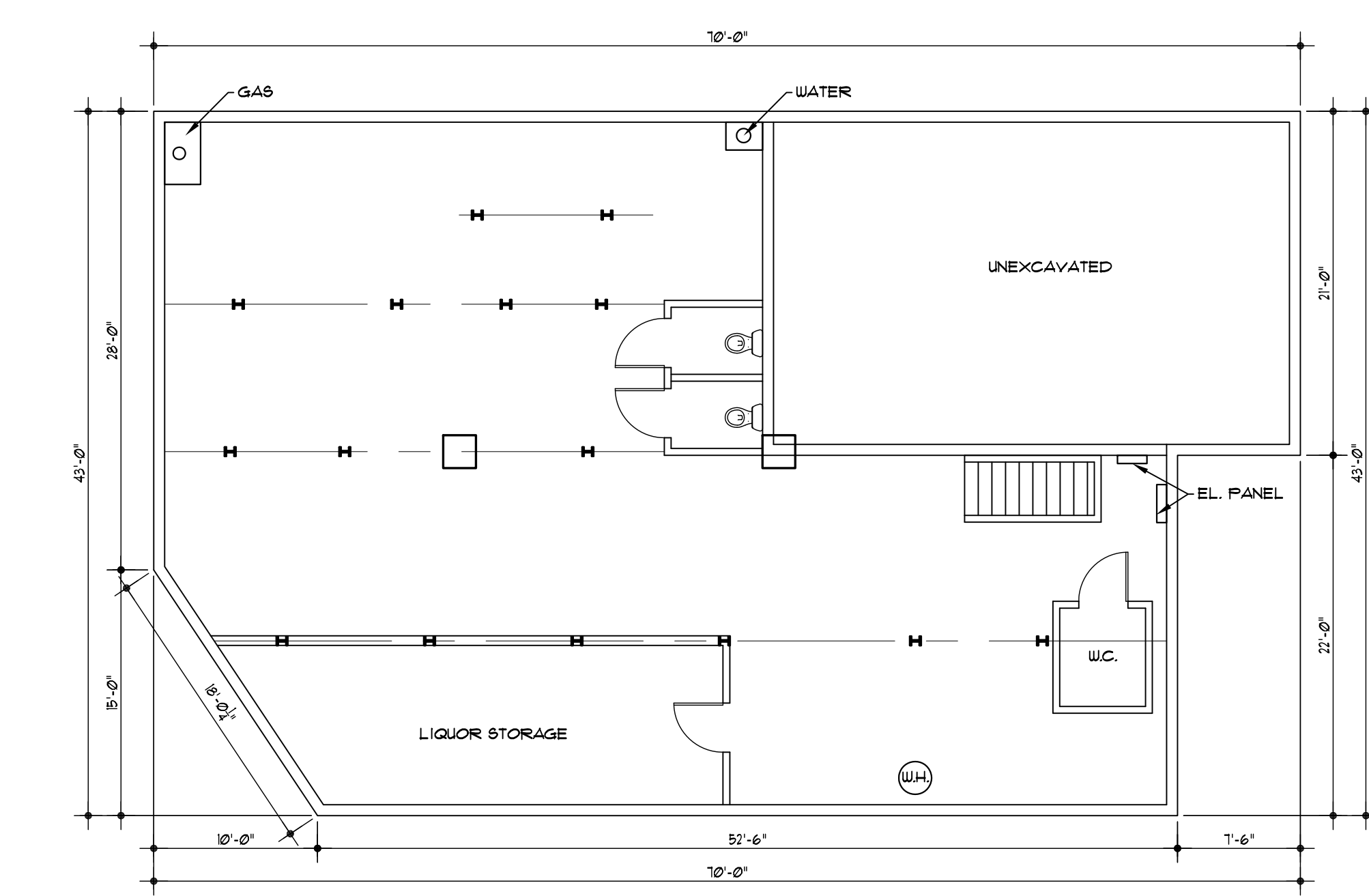
Sheet Title:
**EXISTING /
CONTEXTUAL
SITE PLAN**

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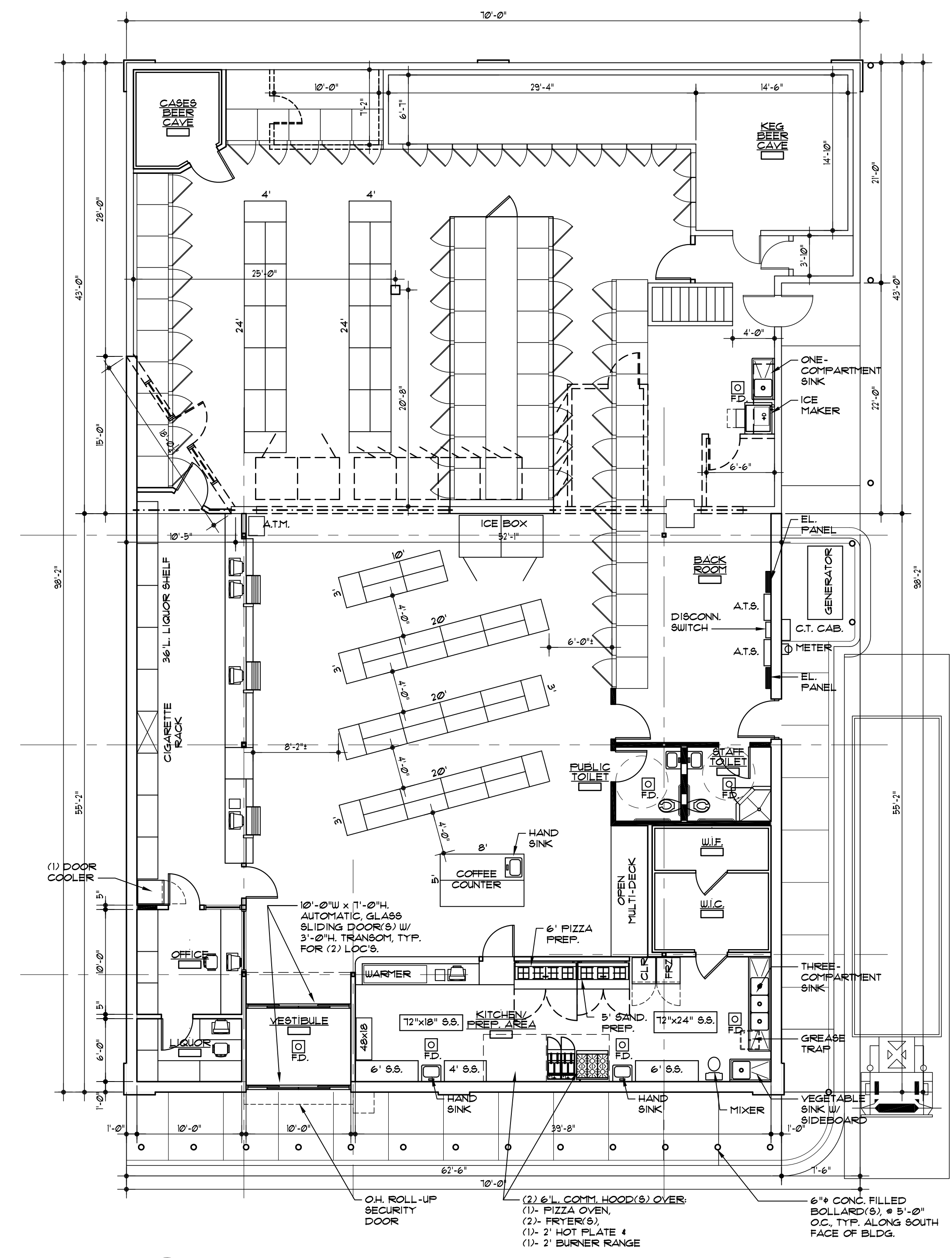
Date: 08/21/17
Drawn by: LDN, MLC
Project Number:
17054
Sheet Number:
S-2



EXISTING FLOOR PLAN
SCALE: 1/8" = 1'-0"



EXISTING BASEMENT PLAN
SCALE: 1/8" = 1'-0"



PROPOSED FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

BUILDING AREA ANALYSIS	
EXISTING BUILDING:	2,114 S.F.
PROPOSED ADDITION:	3,520 S.F.
NEW BUILDING TOTAL:	6,294 S.F.
RESTAURANT:	135 S.F.
STORE:	5,559 S.F.

JSN

AIA

Joseph S. Novitsky
Architecture
3856 12 Mile Road
Berkley, MI 48072
(248) 433-2030

Seal:

Revisions:

DATE	DESCRIPTION
02/19/18	REVIEW
02/21/18	REVIEW
02/28/18	REVIEW
03/16/18	REVIEW
03/21/18	P.C. REVIEW

Project Name:
STORE- 534 N. HURON STREET
534 N. HURON STREET
TAYLOR, MI 48187
OWNER: **TOM TAMOU**

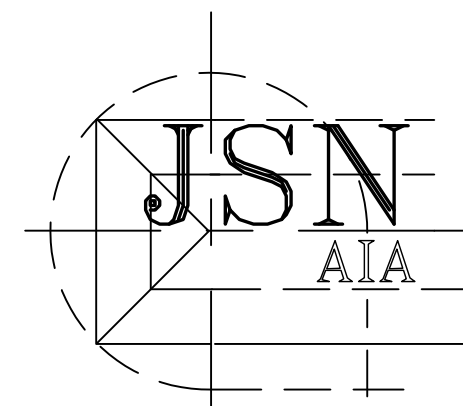
Sheet Title:
EXISTING & PROPOSED FLOOR PLAN(S)

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WRITTEN CONSENT OF JSN ARCHITECTURE

Date: 02/19/18
Drawn by: LDN, MLC

Project Number:
17054

Sheet Number:
A-1



Joseph S. Novitsky
Architecture
3856 12 Mile Road
Berkley, MI 48072
(248) 433-2030

Seal:

Revisions:

DATE	DESCRIPTION
08/21/17	REVIEW
02/28/18	REVIEW
03/16/18	REVIEW
03/21/18	P.C. REVIEW

Project Name: **STORE- 534 N. HURON STREET**

534 N. HURON STREET
TAYSLANT, MI 48187

OWNER: **TOM TAMOU**

Sheet Title:

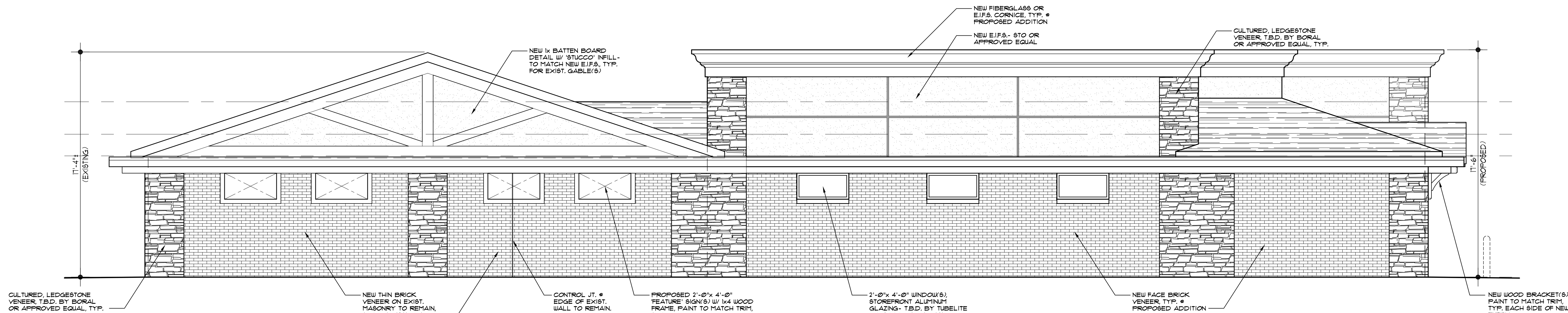
**PROPOSED
ELEVATIONS**

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Date: 03/12/18
Drawn by: CH, MLC

Project Number:
17054

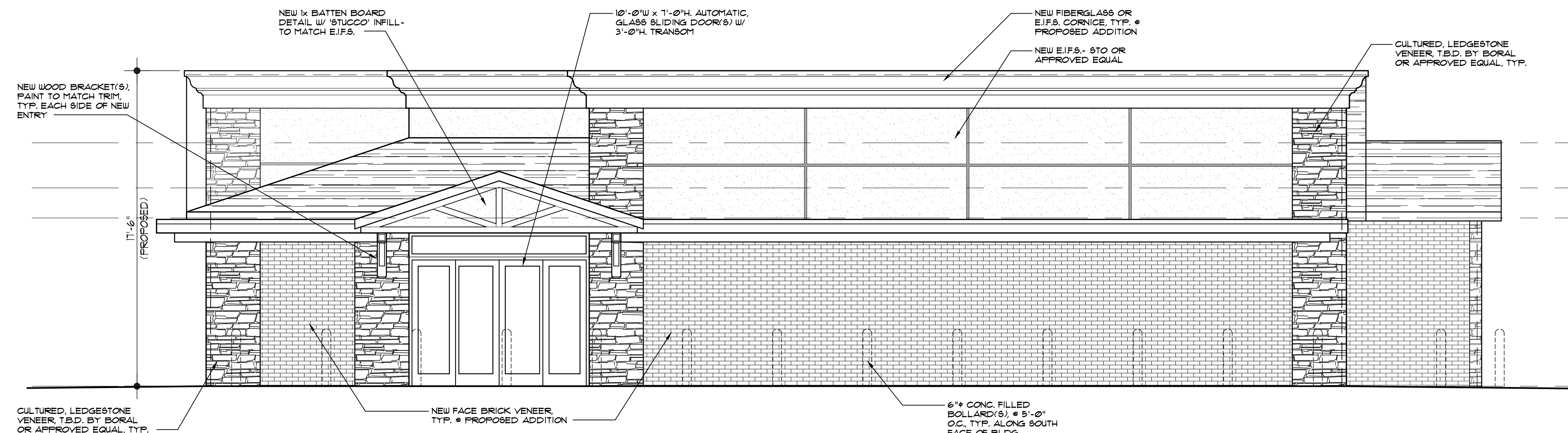
Sheet Number:
A-3



WEST ('FRONT') ELEVATION

N. HURON STREET-SIDE ELEV.

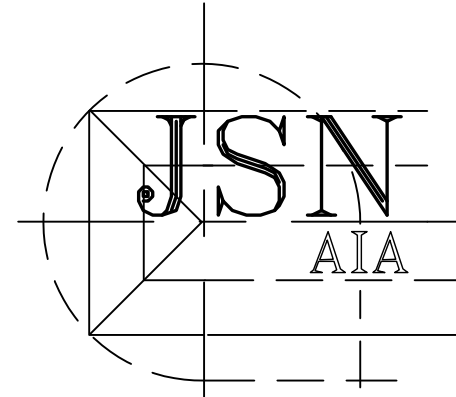
SCALE: 1/4"=1'-0"



SOUTH ('SIDE') ELEVATION

PARKING SIDE ELEV.

SCALE: 1/4"=1'-0"



Joseph S. Novitsky
Architecture
3856 12 Mile Road
Berkley, MI 48072
(248) 433-2030

Seal:

Revisions:

DATE	DESCRIPTION
03/16/18	REVIEW
03/21/18	P.C. REVIEW

Project Name: **STORE-- 534 N. HURON STREET**

534 N. HURON STREET
TAYSLANT, MI 48187

OWNER: **TOM TAMOU**

Sheet Title:

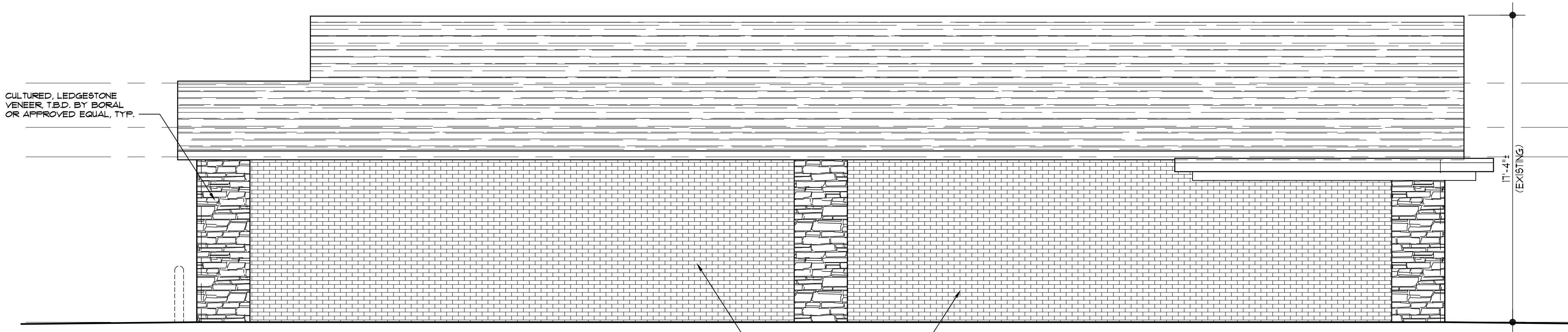
**PROPOSED
ELEVATIONS**

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Date: 03/16/18
Drawn by: MLC

Project Number:
17054

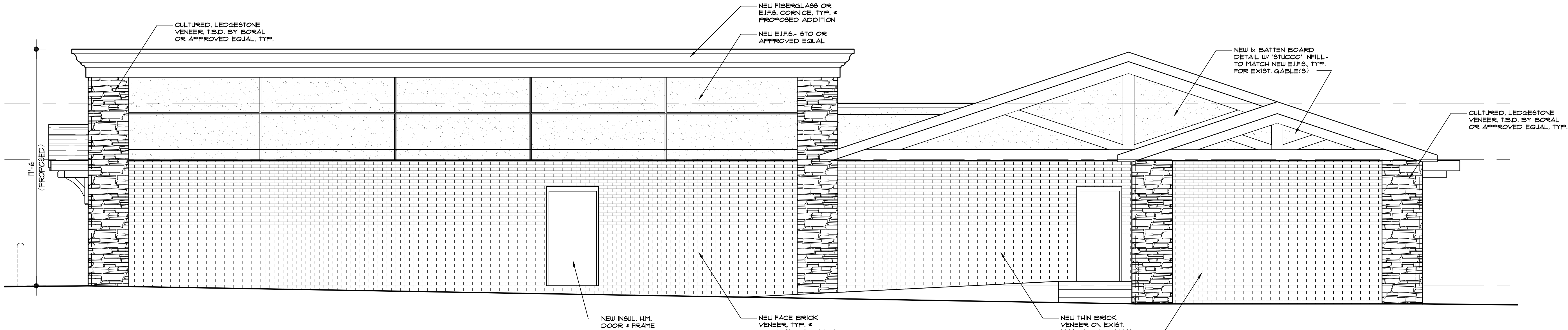
Sheet Number:
A-4



NORTH ('SIDE') ELEVATION

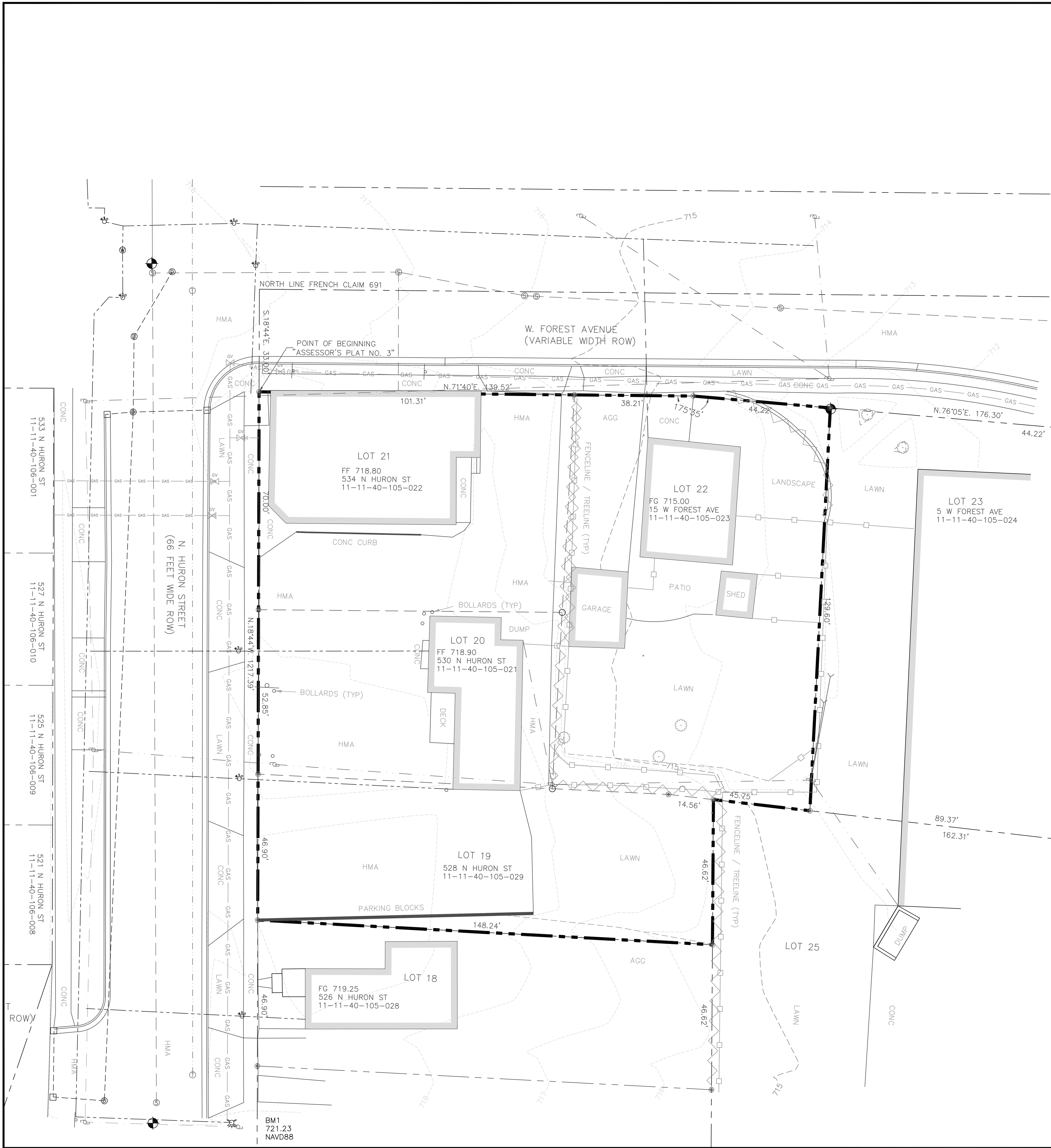
W. FOREST STREET-SIDE ELEV.

SCALE: 1/4"=1'-0"



EAST ('REAR') ELEVATION

SCALE: 1/4"=1'-0"



FLOODPLAIN STATEMENT

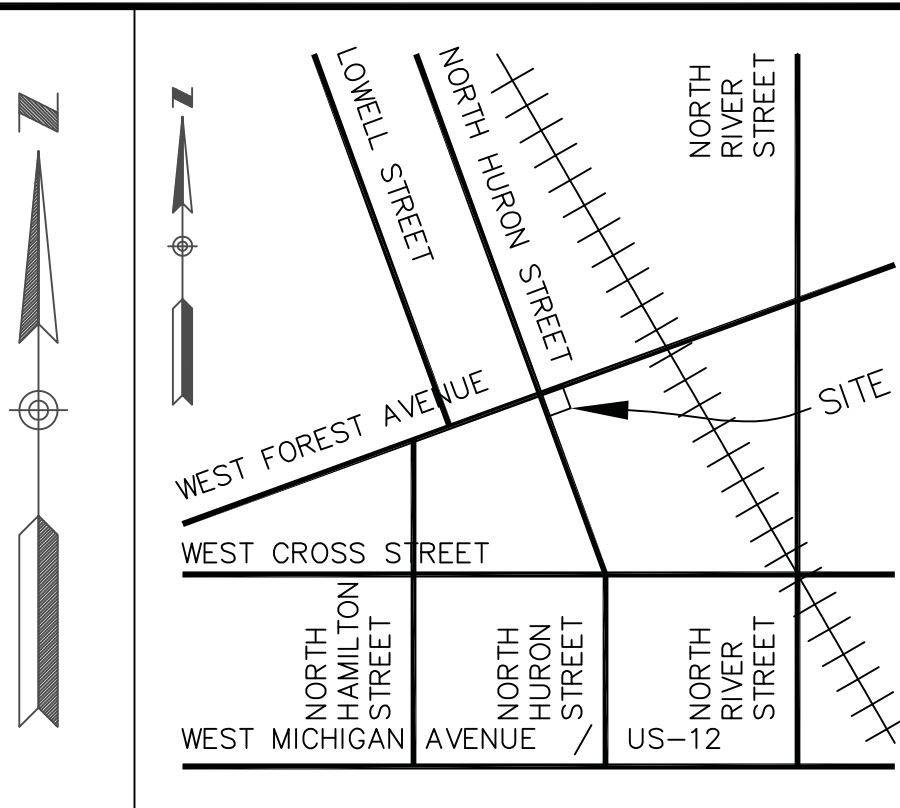
FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA)
NATIONAL FLOOD INSURANCE PROGRAM (NFIP)
FLOOD INSURANCE RATE MAP (FIRM)
MAP NUMBER 26161C0426E
EFFECTIVE DATE APRIL 3, 2012
INDICATES THE SUBJECT PROPERTY IS NOT
WITHIN DESIGNATED FLOOD HAZARD AREAS.

SOIL CONDITIONS

NATURAL RESOURCES CONSERVATION SERVICE
WWW.NCRS.USDA.GOV WEB SOIL SURVEY
100% STB, ST. CLAIR CLAY LOAM, 2 TO 6 PERCENT SLOPES

WETLANDS STATEMENT

NATIONAL WETLANDS INVENTORY
WWW.FWS.GOV/WETLANDS/DATA/MAPPER.HTML
DOES NOT INDICATE WETLANDS ON THE SUBJECT PROPERTY.
HURON CONSULTANTS FOUND NO ONSITE INDICATION OF WETLANDS.



LOCATION MAP
SCALE 1" = 1/4 MILE

BENCHMARK

721.23 NAVD88
ARROW ON HYDRANT, NEAR THE
SOUTHWEST PROPERTY CORNER
OF HOUSE

LEGAL DESCRIPTION

TAX PARCEL IDS:
11-11-40-105-029 LOT 19
11-11-40-105-021 LOT 20
11-11-40-105-022 LOT 21
11-11-40-105-023 LOT 22

LOTS 19-22 OF "ASSESSOR'S PLAT
NO. 3" - CITY OF YPSILANTI BEING
PART OF FRENCH CLAIM NO. 691

Know what's below.
Call before you dig.

PRIOR TO CONSTRUCTION, ALL EXISTING
UTILITIES LOCATION AND DEPTH WITHIN
THE PROJECT AREA SHALL BE FIELD
VERIFIED. CALL MISS DIG SYSTEM 3
WORKING DAYS PRIOR TO
CONSTRUCTION.

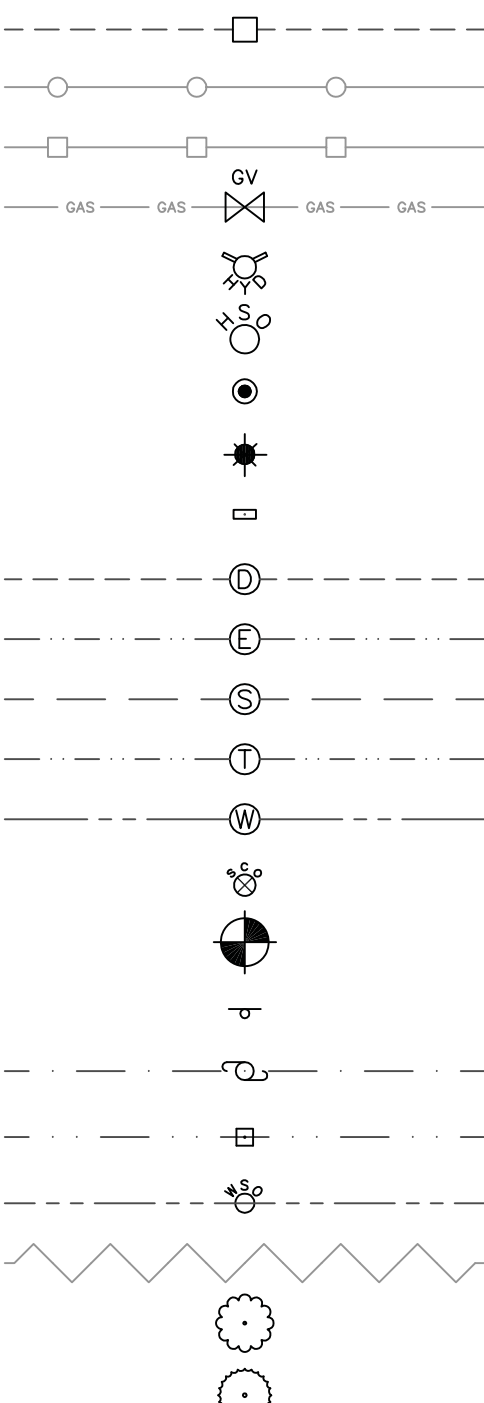
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LEGEND

- CATCH BASIN - DRAIN
- FENCE - CHAIN LINK
- FENCE - WOOD
- GAS VALVE - PIPELINE
- HYDRANT
- HYDRANT SHUTOFF
- IRON/PROPERTY CORNER
- LIGHT POLE
- MAILBOX
- MANHOLE - DRAIN
- MANHOLE - ELECTRIC
- MANHOLE - SEWER
- MANHOLE - TELEPHONE
- MANHOLE - WATER
- SANITARY CLEANOUT
- SECTION CORNER/MONUMENT
- SIGN
- UTILITY POLE/O.H.UTIL
- UTILITY BOX/U.G.UTIL
- WATER - SHUT-OFF
- TREELINE
- TREE - DECIDUOUS
- TREE - PINE



PROJECT NAME:
YPSILANTI
SITE PLAN
LOTS 19-22 OF
"ASSESSOR'S PLAT NO 3"

TOPOGRAPHIC
SURVEY

PROJECT LOCATION:
PART OF FRENCH CLAIM 691
T. 3 S., R. 7 E.
CITY OF YPSILANTI
WASHTENAW COUNTY

Drawn By: EJO
Checked By: DSM
Approved By: EJO

REVISIONS:
2018-03-15 TOPO SURVEY

SCALE VERIFICATION:
0 0.5 1
BAR IS ONE-INCH
ADJUST SCALES ACCORDINGLY IF NOT

SCALE:
1/16" = 1'

HC PROJECT NO:
17-12027

HC DRAWING NO:
17-12027TP

SHEET: 1



3811 24th Ave. Suite A
Fort Gratiot, MI 48059
TEL: (810) 966-0680
FAX: (810) 966-0681

www.huronconsultants.com

CLIENT NAME:

TAMOU'S
ELECTRICAL
CONTRACTORS

8541 KENWOOD
OAK PARK, MI 48237
TEL: (810) 560-9665
FAX: (586) 803-9700

3 WORKING DAYS
800-482-7171

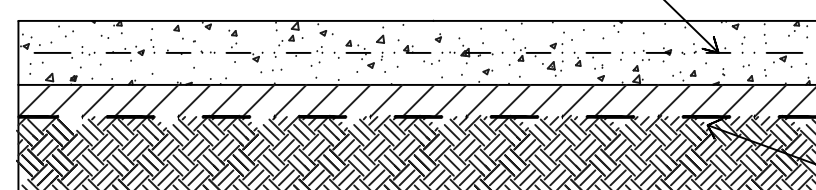
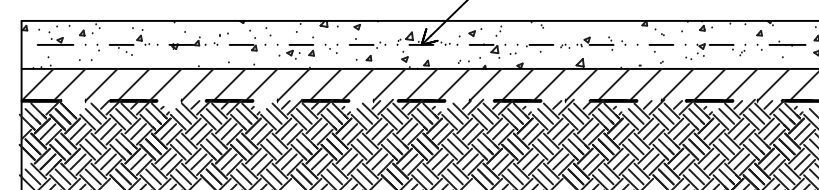
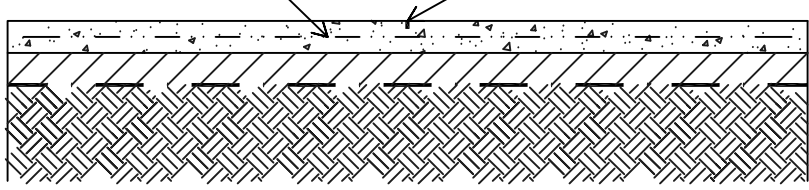


Know what's below.
Call before you dig.

W2.9 (NOMINAL DIAMETER 0.192")
WIRE MESH, 4" CENTER TO CENTER
LONGITUDINAL AND TRANSVERSE

1" SAWCUT FOR AESTHETIC JOINT PATTERNS
TYPICAL FOR ALL CONCRETE SIDEWALK PAVEMENTS
NOT APPLICABLE TO PARKING LOT PAVEMENTS

W2.9 (NOMINAL DIAMETER 0.192") WIRE MESH 4" CENTER TO
CENTER LONGITUDINAL AND TRANSVERSE WIRE SPACING



28 DAY 3500 PSI CONCRETE (TYP)
9"
4"
HMA CRUSHED & SHAPED AGGREGATE
OR MDOT 21AA CRUSHED LIMESTONE
OR MDOT 22A CRUSHED LIMESTONE (TYP)
NONWOVEN GEOTEXTILE SEPARATOR
(TYP ALL PAVEMENT SECTIONS)
COMPACTED UNDISTURBED EARTH OR FILL (TYP)

4" Concrete Pavement Detail
(Ex and Pr Sidewalks, No Scale)

6" Concrete Pavement Detail
(Dumpster Pad, Onsite Concrete, No Scale)

9" Concrete Pavement Detail
(Right-of-way Approaches, No Scale)

FLOODPLAIN STATEMENT

FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA)
NATIONAL FLOOD INSURANCE PROGRAM (NFIP)
FLOOD INSURANCE RATE MAP (FIRM)
MAP NUMBER 26161C0426E
EFFECTIVE DATE APRIL 3, 2012
INDICATES THE SUBJECT PROPERTY IS NOT
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WWW.NCRS.USDA.GOV WEB SOIL SURVEY
100% STB, ST. CLAIR CLAY LOAM, 2 TO 6 PERCENT SLOPES

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BENCHMARKS

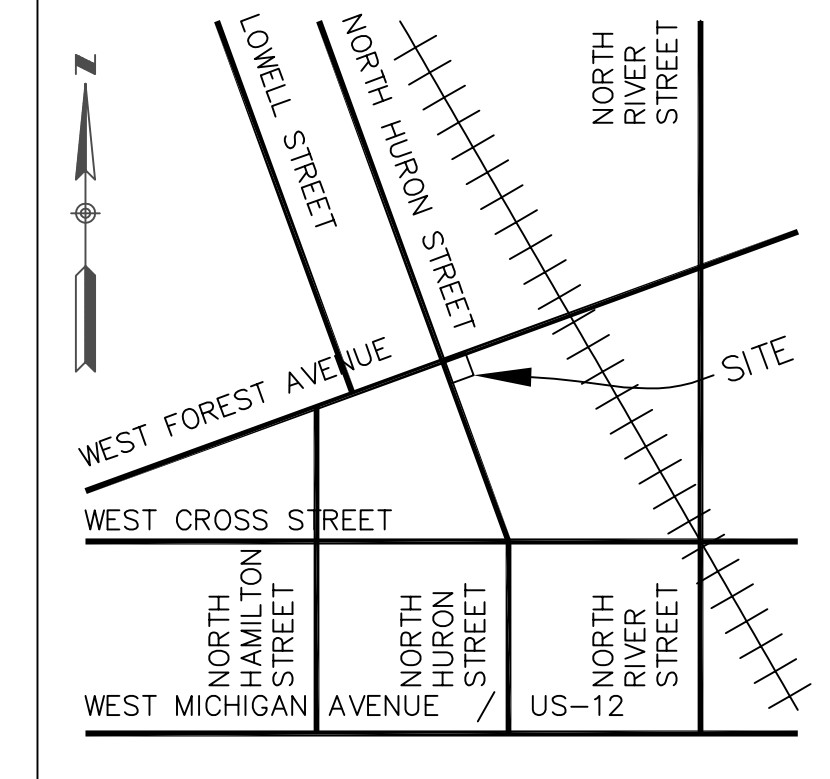
BENCHMARKS AND TOPO SURVEY ARE NAVD88 DATUM
CONVERT FROM NAVD88 TO NGVD29 AT NOAA WEBSITE:
https://www.ngs.noaa.gov/cgi-bin/VERTCON/vert_con.pl
CONVERSION +0.41' TO NGVD29 DATUM

BM1

FOUND IRON AT THE INTERSECTION OF THE CENTERLINES
OF N. HURON STREET AND W. FOREST AVENUE
718.98 NAVD88 CONVERSION +0.41'
719.39 NGVD29

BM2

ARROW ON HYDRANT, NEAR THE SOUTHWEST PROPERTY
CORNER OF HOUSE 526 N. HURON STREET
721.23 NAVD88 CONVERSION +0.41'
721.64 NGVD29



LOCATION MAP
SCALE 1" = 1/4 MILE

LEGAL DESCRIPTION

TAX PARCEL IDS:
11-11-40-105-029 LOT 19
11-11-40-105-021 LOT 20
11-11-40-105-022 LOT 21

LOTS 19-21 OF "ASSESSOR'S PLAT
NO. 3" - CITY OF YPSILANTI BEING
PART OF FRENCH CLAIM NO. 691

PRELIMINARY STORM DRAINAGE CALCULATIONS

LOTS 19, 20 AND 21
NET LOT AREA 19,125 SFT (0.439 AC)
EXISTING IMPERVIOUS AREA 15,700 SFT (0.360 AC)
PROPOSED IMPERVIOUS AREA 17,785 SFT (0.408 AC)
INCREASED IMPERVIOUS AREA 17,785 - 15,700 = 2,085 / 15,700 = 13.28%
EXISTING CONDITIONS: SURFACE DRAINAGE TO RIGHT-OF-WAYS
PROPOSED CONDITIONS: UNDERGROUND STORM CONVEYANCE 12"RCP:
10-YEAR STORM RATIONAL METHOD Q=CIA
C = 0.90 COMMERCIAL
I = 3.89 IN/HR
A = 0.439 AC
Q = 0.90 * 3.89 * 0.439 = 1.54 CFS
12"RCP @ 0.32% MINIMUM CONVEYS 2.02 CFS



HURON
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ENGINEERS & SCIENTISTS

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PROJECT NAME:

YPSILANTI
SITE PLAN

LOTS 19-22 OF
"ASSESSOR'S PLAT NO 3"
PRELIMINARY
ENGINEERED
SITE PLAN

PROJECT LOCATION:
PART OF FRENCH CLAIM 691
T. 3 S., R. 7 E.
CITY OF YPSILANTI
WASHTENAW COUNTY

Drawn By: EJO
Checked By: DSM
Approved By: EJO

REVISIONS:

2018-03-15 TOPO SURVEY
2018-03-22 SITE PLAN

SCALE VERIFICATION:

0 0.5 1
BAR IS ONE-INCH
ADJUST SCALES ACCORDINGLY IF NOT

SCALE:

1/16" = 1'

HC PROJECT NO:

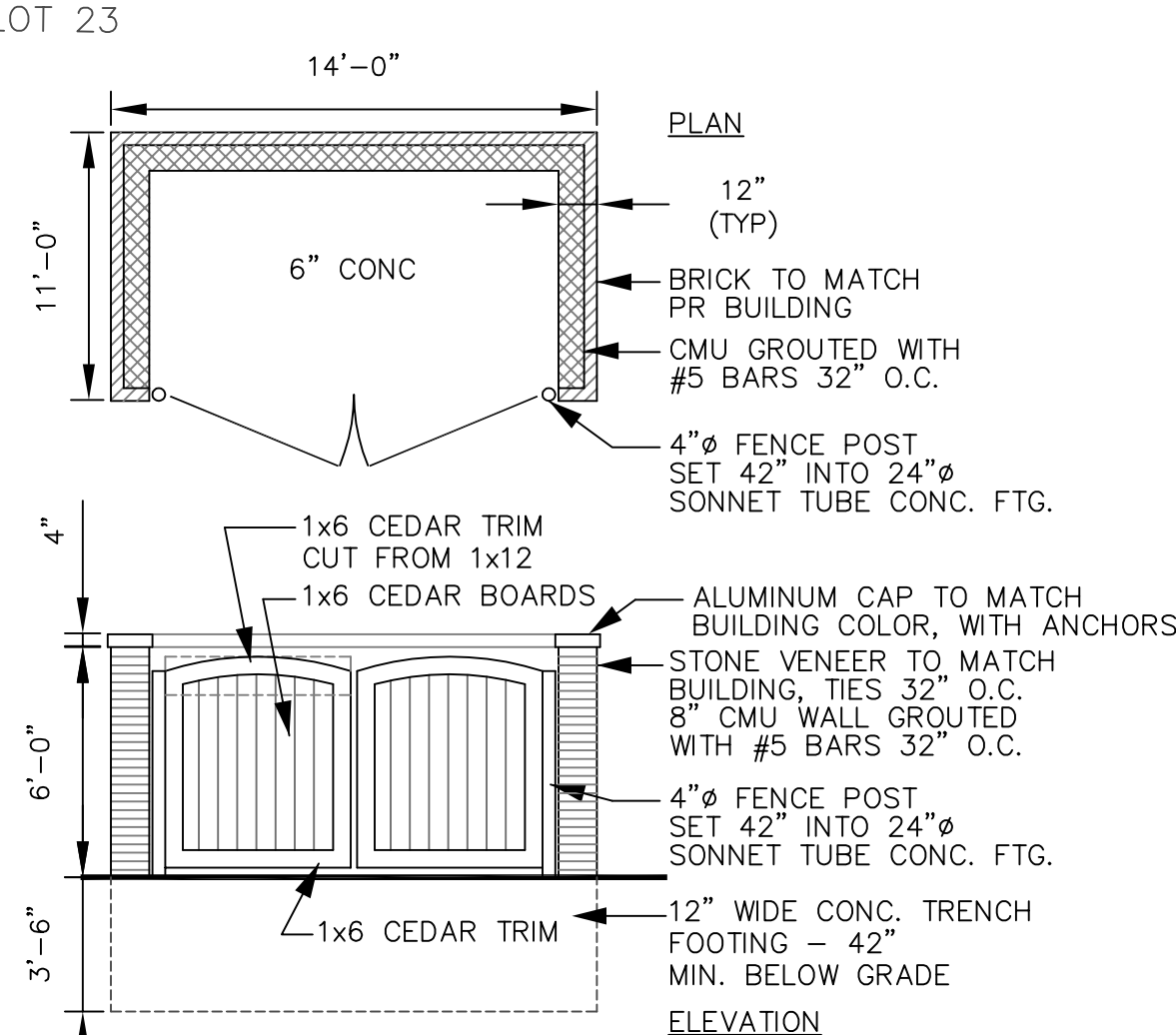
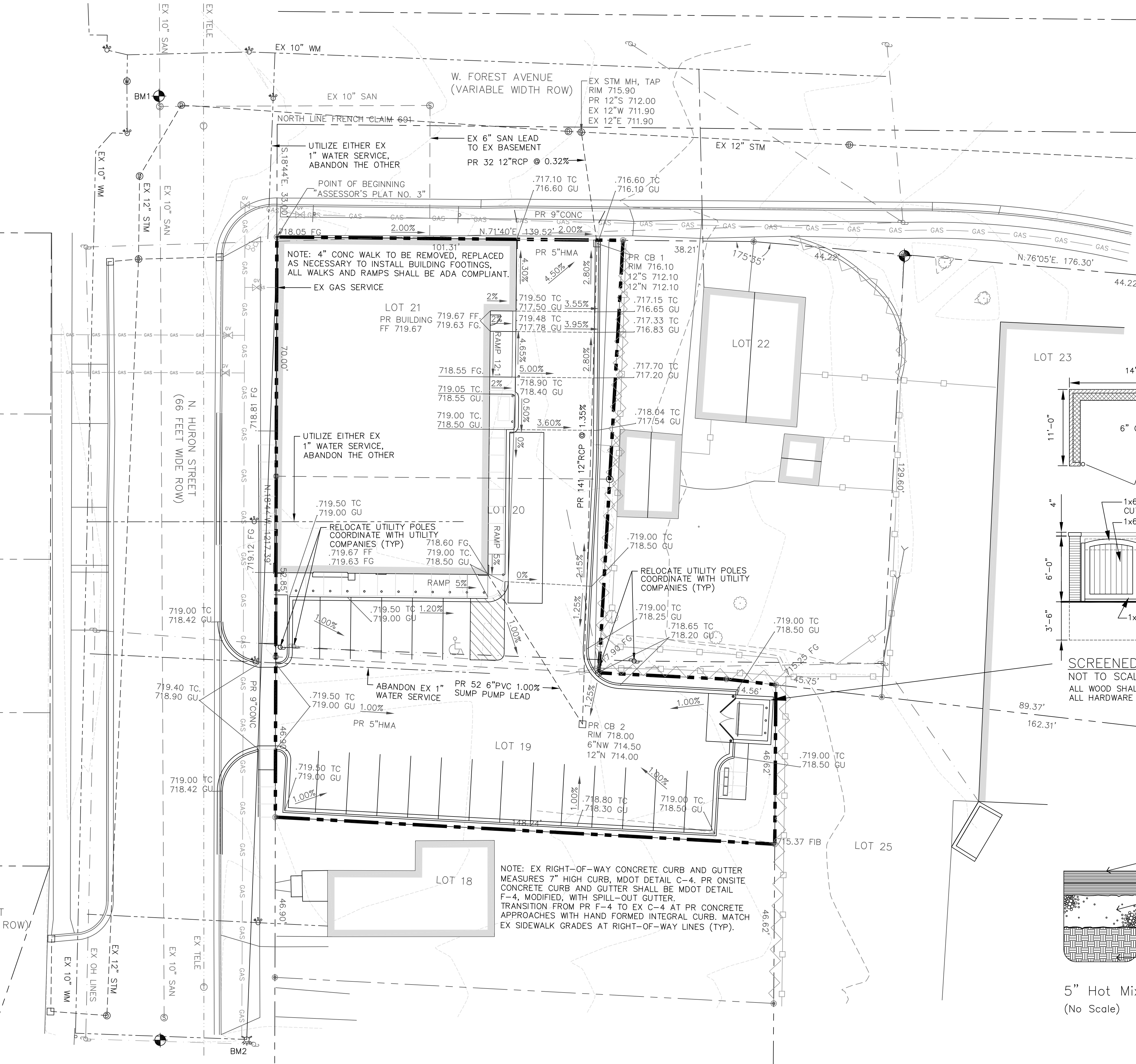
17-12027

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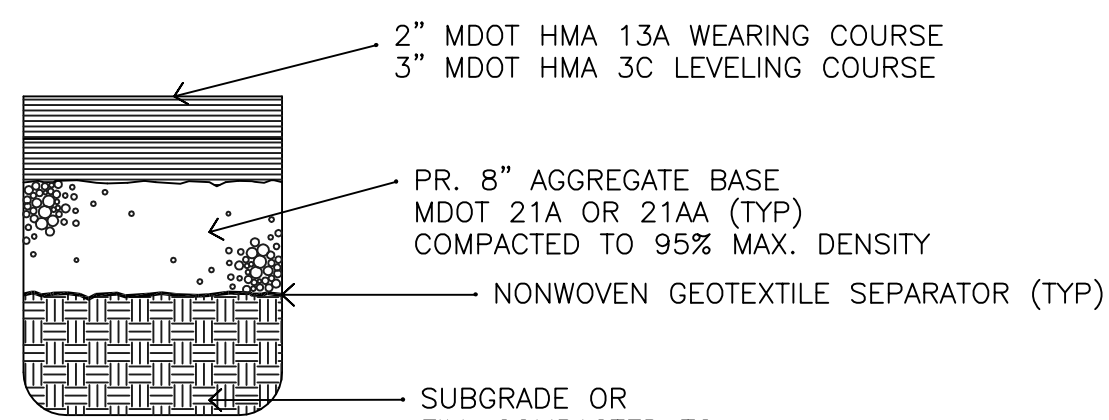
17-12027TP

SHEET:

2



SCREENED DUMPSTER ENCLOSURE DETAIL
NOT TO SCALE
ALL WOOD SHALL BE TREATED, SANDED & POLYURETHANED.
ALL HARDWARE SHALL BE ZINC TEMPERED STEEL.



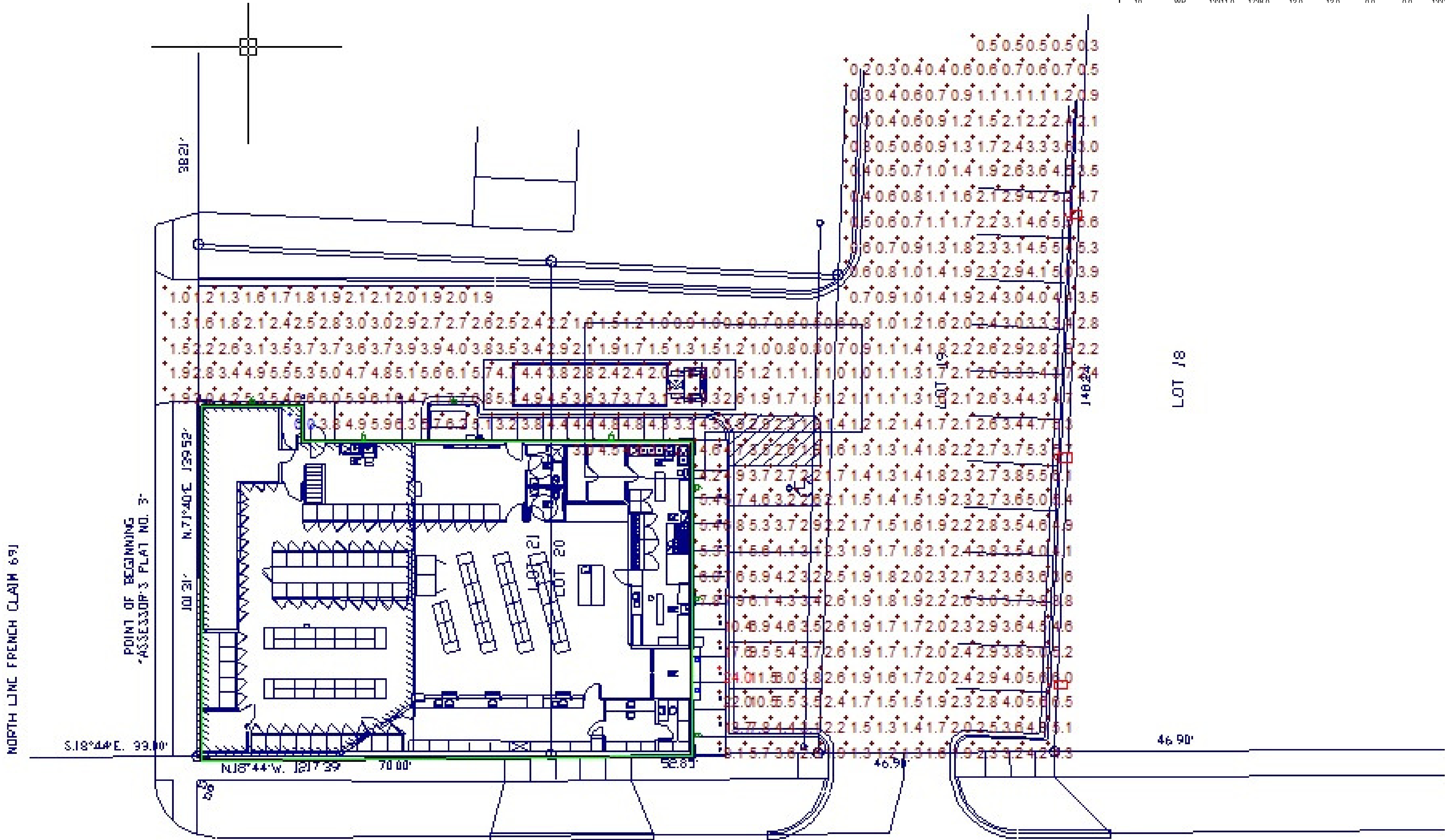
5" Hot Mix Asphalt (HMA) Detail
(No Scale)

LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
	PM	3	D824-LED-60-40-UNV-LP-T4	15"L X 13 3/8"W X 3 5/8"H. LED FIXTURE 6 LED MODULES WITH 4 LEDS EACH WITH T4 OPTICS		D824-LED-60-40-UNV-LP-T4.ies	Absolute	1.00	56.25
	WP	7	DECO LIGHTING D444-LED-40-40-T3/4	TRAPEZOIDAL WALLPACK MOUNTED AT 12'		D444-LED-40-40-UNV-T4.ies	Absolute	1.00	40
	CNPY	2	D533-LED-36-40-UNV	12"L X 12"W X 2.75"H. LED Low Glare Canopy		D533-LED-36-40-UNV.IES	Absolute	1.00	36.16

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	3.0 fc	24.0 fc	0.0 fc	N / A	N / A

SURFACE SCHEDULE						
Name	Reflectances		Normal			Area (ft²)
	Front	Back	X	Y	Z	
Structure	0%	0%				

LUMINAIRE LOCATIONS										
No.	Label	Location		Z	MH	Orientation	Tilt	Aim		
		X	Y					X	Y	Z
1	PM	13403.0	1782.0	14.0	14.0	-90.0	0.0	13403.0	1782.0	0.0
2	PM	13401.0	1734.0	14.0	14.0	-90.0	0.0	13401.0	1734.0	0.0
3	PM	13400.0	1689.0	14.0	14.0	-90.0	0.0	13400.0	1689.0	0.0
4	WP	13240.0	1745.0	12.0	12.0	0.0	0.0	13240.0	1745.0	0.0
5	WP	13262.0	1738.0	12.0	12.0	0.0	0.0	13262.0	1738.0	0.0
6	WP	13280.0	1745.0	12.0	12.0	0.0	0.0	13280.0	1745.0	0.0
7	WP	13328.0	1728.0	12.0	12.0	90.0	0.0	13328.0	1728.0	0.0
8	WP	13328.0	1706.0	12.0	12.0	90.0	0.0	13328.0	1706.0	0.0
9	WP	13328.0	1679.0	12.0	12.0	90.0	0.0	13328.0	1679.0	0.0
10	WP	13311.0	1738.0	12.0	12.0	0.0	0.0	13311.0	1738.0	0.0



534 N. Huron St. (T. Tamou); Ypsilanti, MI
PRO-TECH LIGHTING
LIGHT LEVEL LAYOUT

Designer
Marc Drouillard

Date
Mar 27 2018

Scale

Drawing No.



D444-LED

Medium Trapezoidal Wall Pack

Client: _____ Order #: _____
 Project Name: _____ Type: _____ Qty: _____

Performance Data

CRI

70+ (5000K);
80+ (4000K and lower)

CCT

3000K, 3500K, 4000K, 5000K

Projected Lifetime

L70 - 196,000 Hours;
L80 - 122,000 Hours

Dimming

0-10V dimming standard,
100% down to 10%

Operating Temperature

-40°C to +55°C Ambient

UL Listed

Suitable for dry, damp,
wet locations



DSKY

Dark Sky
Compliant

DLC

Listed

UL

Listed

10 Yr

Warranty
Including Labor

USA

Buy American
Act Compliant

Description

The D444-LED medium trapezoidal cutoff wall pack offers a sleek design and cutoff performance with a wide range of uses. It delivers the lighting needed for the exteriors of retail buildings, businesses, walkways, underpasses or door entrances. Delivering up to 141 lumens per watt of high efficacy performance, the D444-LED is also Dark Sky compliant when ordered at 3000K.

Features

- Heavy duty two piece, die-cast aluminium housing.
- Silicone gasketing provides protection against moisture.
- Mounts directly to 3.5" octagon, or 4" square outlet box.
- .5" NPS tapped holes provided in three locations for surface conduit entry for optional photocell control.
- Dark bronze powder coated finish for impact, corrosion and UV resistance.
- Integral cast-in aluminum hinges.
- Dark Sky compliant when ordered at 3000K
- DLC Premium listed for utility rebates (see Page 3 for more info)
- Can be used as an uplight for wall washing applications.
- Driver is fully accessible from below the ceiling or wall. Driver is wired for dimming or non-dimming.
- Precision-designed polycarbonate optical lenses control and deliver light only where it is needed

D444-LED

A

B

C

D

E

F

G

Ordering Information

A FIXTURE SERIES

D444-LED Medium Trapezoidal
Cutoff Wall Pack

B WATTAGE/LUMENS

20	20W/2534 ^{3,7}
30	30W/3799 ^{3,7}
40	40W/4863 ^{3,7}
60	60W/7670 ^{3,7}
80	80W/9766 ^{3,7}

C CCT

30	3000K
35	3500K
40	4000K
50	5000K ⁴

D VOLTAGE

UNV	120-277V
347	347V
480	480V
(Step-Down Transformer used for 480V Divider)	

E OPTICS

T2	Type 2
T3	Type 3
T4	Type 4

F FINISH

BZ	Bronze ¹
BL	Black
WH	White
CU	Custom ²

G OPTIONS

PC	Photocell
EM	Emergency Backup
MS	Motion Sensor w/ Dimming (FSP-211) ⁵

¹ Standard for fixture

² Contact factory for custom finish

³ Delivered Lumens (5000K Type III)

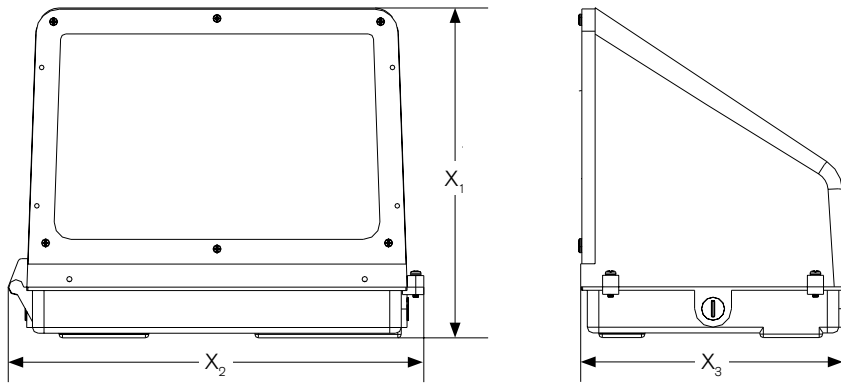
⁴ Standard Color Temp.

⁵ 5 8ft mounting height lens standard. Contact factory for higher mounting.

⁶ Only Available in 40W, 60W and 80W models.

⁷ DLC Listed wattage (see Page 4 for more information on models currently listed)

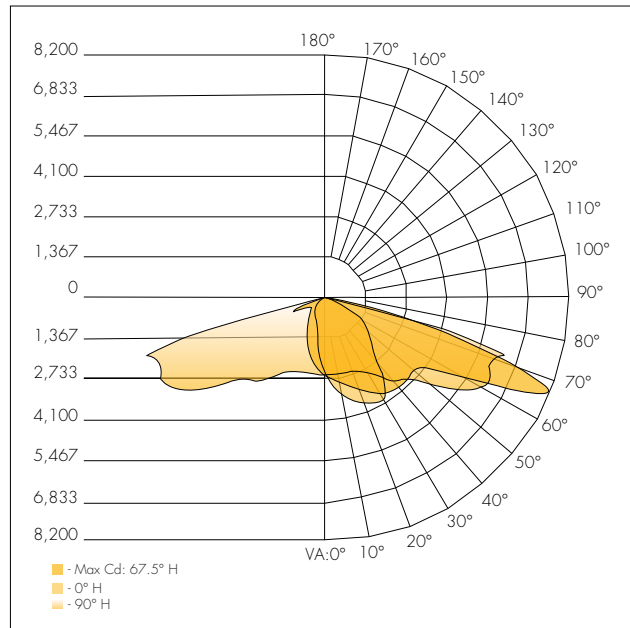
Dimensions



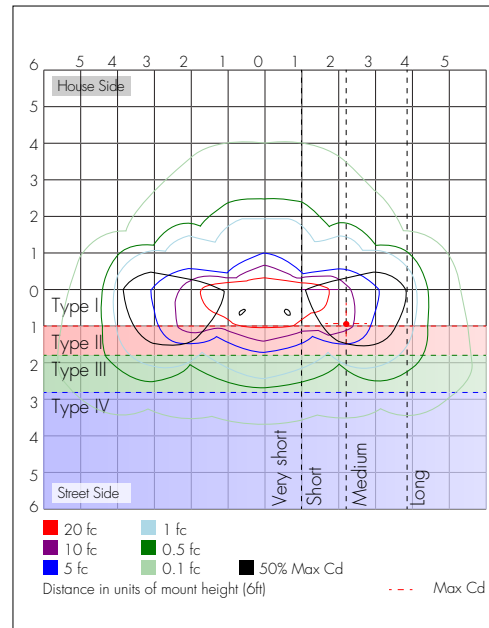
	Inches
X ₁	9.00
X ₂	12.875
X ₃	11.125

Photometrics

80W 5000K Type 2



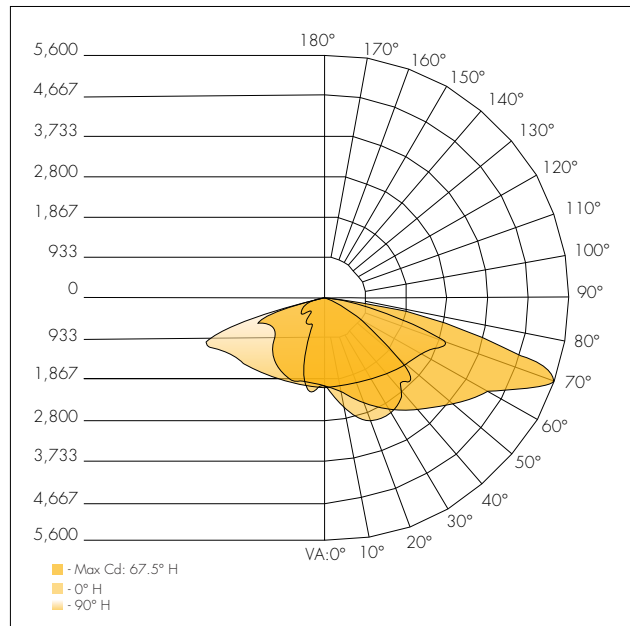
Isofootcandle



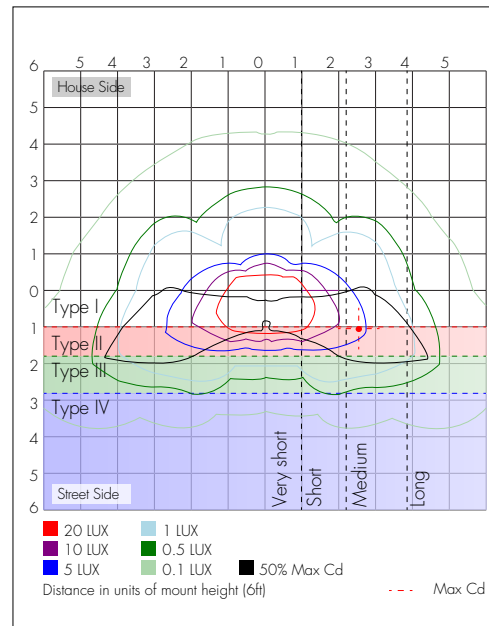
Zonal Lumen Summary

Zone	Lumens	%Luminaire
0-30	2,013.8	19.2%
0-40	3,504.8	33.4%
0-60	6,919.7	66%
60-90	3,555.8	33.9%
70-100	1,440.5	13.7%
90-120	9.2	0.1%
0-90	10,475.5	99.9%
90-180	9.2	0.1%
0-180	10,484.7	100%

80W 5000K Type 3



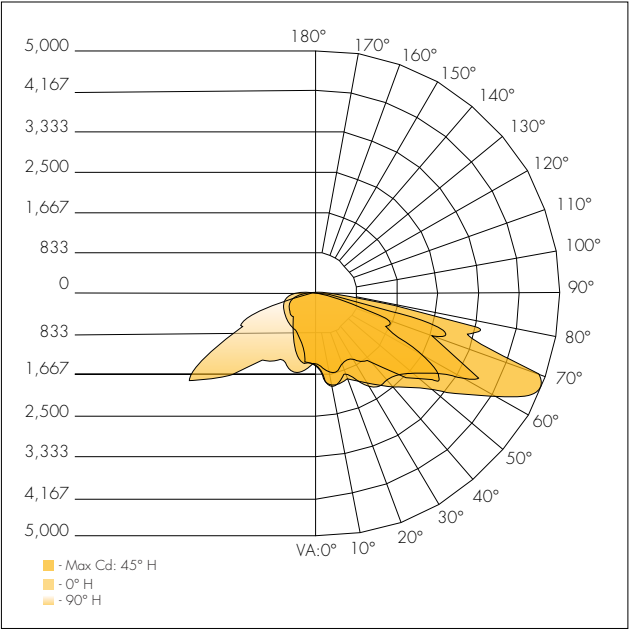
Isofootcandle



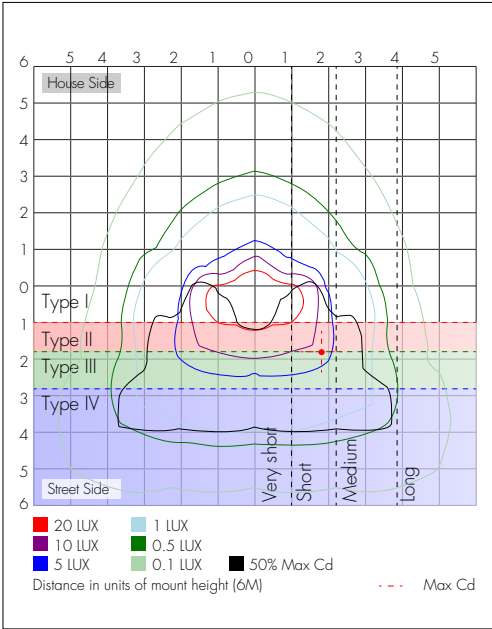
Zonal Lumen Summary

Zone	Lumens	%Luminaire
0-30	1,846.2	18.9%
0-40	3,183.5	32.6%
0-60	6,568.8	67.2%
60-90	3,188.4	32.6%
70-100	1,485.1	15.2%
90-120	10.9	0.1%
0-90	9,757.2	99.9%
90-180	10.9	0.1%
0-180	9,768.2	100%

80W 5000K Type 4



Isofootcandle



Zonal Lumen Summary

Zone	Lumens	% Luminaire
0-30	1,283.3	13.6%
0-40	2,278.4	24.1%
0-60	5,584.0	59%
60-90	3,863.5	40.8%
70-100	1,766.3	18.7%
90-120	14.4	0.2%
0-90	9,447.5	99.8%
90-180	14.4	0.2%
0-180	9,461.9	100%

Projected LED Maintenance

Operating Hours	0	25,000	50,000	75,000	100,000
Lumen Maintenance Factor	25°C (77°F) Ambient Outdoor Temp				
	1	0.95	0.91	0.87	0.83
	55°C (131°F) Ambient Outdoor Temp				
	1	0.93	0.87	0.81	0.76

Lumen Output

Lumen Chart (5000K)

Model Number	System Watts	T2	T3	T4
D444-LED-20-40-UNV	19	2721	2534	2455
D444-LED-30-40-UNV	28	4078	3799	3680
D444-LED-40-40-UNV	38	5222	4863	4711
D444-LED-60-40-UNV	57	8235	7670	7430
D444-LED-80-40-UNV	76	10486	9766	9461

*To scale to 4000K, multiply 5000K values by 0.92

DLC Listed

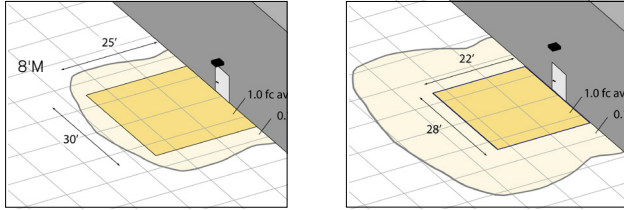
	20W			30W			40W			60W			80W		
	T2	T3	T4	T2	T3	T4	T2	T3	T4	T2	T3	T4	T2	T3	T4
4000K	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
5000K	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X

Emergency Battery Operation

The emergency battery backup (EM option) is integral to the luminaire - no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product.

The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time supply power is lost, per International Building Code Section 1006 and NFPA 101 Life Safety Code Section 7.9, provided luminaires are mounted at an appropriate height and illuminate an open space with no major obstructions.

The examples below show illuminance of 1 fc average and 0.1 fc minimum of the single-engine Type IV product in emergency mode.



Step Dimming & Bi-Level

FSP-211

The FSP-211 mounts in an outdoor lighting fixture and provides multi-level control based on motion. The sensor also includes a photocell to measure the ambient light level. It controls 0-10 VDC LED drivers or dimming ballasts, as well as non-dimming ballasts and, with an SFP-LX Lens, is rated for wet and cold locations. All control parameters are adjustable via a wireless configuration tool capable of storing and transmitting sensor profiles.

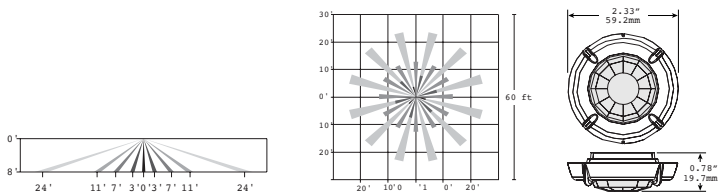
Key Factors

- Fully adjustable high and low dimmed light levels.
- Designed for LED fixtures; rated for extreme temperatures and up to 200,000 on/off cycles
- Hold off setpoint with automatic calibration option for convenience and added energy savings
- Adjustable via handheld wireless configuration tool
- IP66 rated with choice of lenses for wet and outdoor locations, and mounting heights from 8' to 40'
- Adjustable time delay and cut off delay



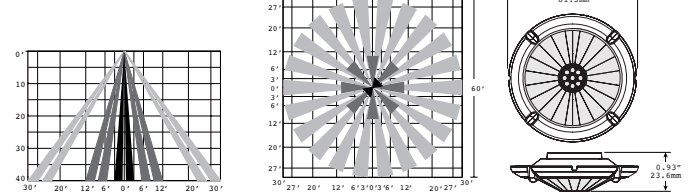
Coverage & Dimensions

The FS-Lx lenses work with FSP-211 motion sensors to provide multi-level lighting control based on motion and the ambient light level. Four lens choices provide flexibility for varying mounting heights.



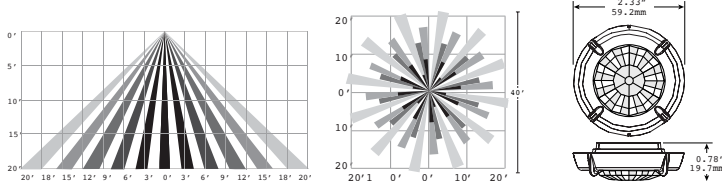
FSP-L2

360° lens, maximum coverage 48' diameter from 8' height



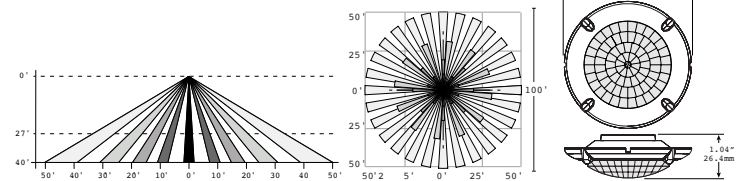
FSP-L4

360° lens, maximum coverage 60' diameter from 40' height



FSP-L3

360° lens, maximum coverage 40' diameter from 20' height



FSP-L7

360° lens, maximum coverage 100' diameter from 40' height

Motion Sensor Example



Quickship Model

Item #	Description
D444-LED4050UBZQ	40W 5000K • 120-277V • Bronze Glass Lens • No Optics or Options

- For additional information, refer to the Quickship spec sheet ([separate document](#))



D533-LED

LED Canopy Light

Client: _____
Project Name: _____

Order #: _____
Type: _____ Qty: _____

Performance Data

CRI

80+

CCT

4000K, 5000K

Projected Lifetime

190,000 Hours (L70)

Dimming

0-10V dimming standard
100% down to 10%

Operating Temperature

-40°C to +50°C Ambient

ETL Listed

Suitable for dry, damp, wet
locations



DLC

Listed

ETL

Listed

10 Yr

Warranty
Including Labor

USA

Buy American
Act Compliant

Description

The low profile D533-LED canopy light is perfect for security, entry ways, and perimeter lighting. Universal flush mount or pendant mount. Perfect as a low power utility or apartment garage light.

Features

- IP65 rated when used in under canopy application
- UV stabilized, one-piece polycarbonate lens
- Powder coated aluminum housing
- Robust design for superb durability
- Flush J-box mounting standard, available with Stem (shipped separately)

D533-LED

A

B

C

UNV

D

E

S

F

Ordering Information

A FIXTURE SERIES

D533-LED LED Canopy Light

B WATTAGE/LUMENS

36	36W/4282 ^{2,3}
50	50W/5590 ^{2,3}

C CCT

40	4000K
50	5000K ¹

D VOLTAGE

UNV	122-277V
-----	----------

E FINISH

WH	White ¹
SL	Sliver

F OPTION

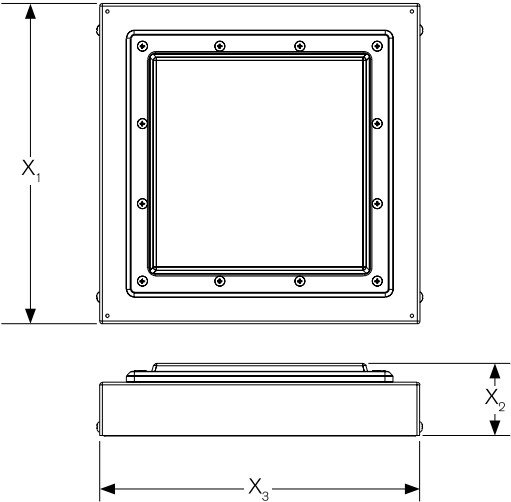
Sxx	Stem (Shipped Separately) (xx- inches, ceiling to top of fixture)
-----	--

¹ Standard for this fixture

² Delivered Lumens (5000K)

³ DLC-listed wattage (See DLC table for more info on models currently listed)

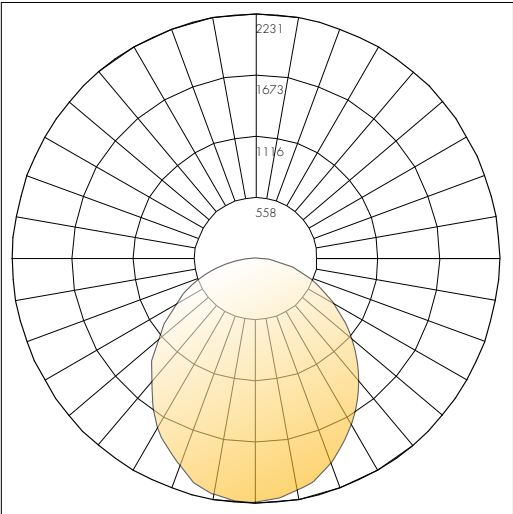
Dimensions



	Inches
X ₁	12.00
X ₂	2.71
X ₃	12.00

Photometrics

Model 50W 5000K



Delivered Lumens: 5590
CRI: 80+

Zonal Lumen Summary

Zone	Lumens
0-10	209.43
10-20	590.68
20-30	866.18
30-40	996.37
40-50	963.64
50-60	806.13
60-70	595.87
70-80	383.89
80-90	177.58
90-100	0.00
110-110	0.00
110-120	0.00
120-130	0.00
130-140	0.00
140-150	0.00
150-160	0.00
160-170	0.00
170-180	0.00

DLC Listed

Wattage	4000K	5000K
36W	X	X
50W	X	X

*Lumen outputs are based on 5000K performance data and then scaled down to the other temperatures.



SQUARE NON-TAPERED STEEL (SS)

POLE SHAFT

The pole shaft is one piece construction, being fabricated from a weldable grade carbon steel structural tubing which has a uniform wall thickness of 11 gauge (0.1196"). The pole shaft material shall conform to ASTM A-500 Grade C with a minimum yield strength of 50,000 psi. The pole shaft has a full length longitudinal resistance weld and is uniformly square in cross-section with flat sides, small corner radii and excellent torsional properties.

BASE PLATE

The anchor base is fabricated from structural quality hot rolled carbon steel plate that meets or exceeds a minimum yield strength of 36,000 psi. The anchor base telescopes the pole shaft and is circumferentially welded top and bottom. All welds are performed in accordance with the American Welding Society specification AWS D1.1, latest edition.

HANDHOLE

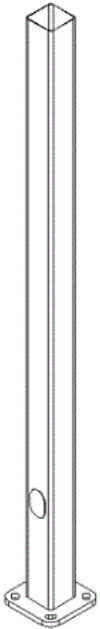
An oval reinforced gasketed handhole, having a nominal 3" x 5" inside opening, located 1'-6" above base, is standard on all poles. A grounding provision is located inside the handhole ring.

ANCHOR BOLT

Anchor bolts are fabricated from commercial quality hot rolled carbon steel bar that meets or exceeds a minimum yield strength of 55,000 psi. Four properly sized anchor bolts, each with two regular hex nuts and washers, are furnished and shipped with all poles unless otherwise specified. Anchor bolts shall have the threaded end galvanized a minimum of 8 inches in accordance with ASTM A-153. Fully galvanized anchor bolts are available upon request.

FINISH

Standard - All exterior metal surfaces are mechanically cleaned to remove all oxides and contaminants prior to coating. The standard finish is a polyester thermosetting powder coating applied to the surface of the substrate to a minimum of 3 mils for all color finishes. Galvanizing is available upon request.



SS4001114-BZ-DM10-BC					
CATALOG LOGIC		CODE	EXPLANATION		
Series:		SS	Square Non-Tapered Steel Poles		
Base Diameter:		400	4.0" Base Bottom Diameter		
Gauge:		11	11 gauge thickness		
Nominal Height:		14	14 feet tall		
Finish:		BZ	Bronze Finish Color		
Mounting Designation:		DM10	Drilled for 1 Luminaire		
Options:		BC	Base Cover		
HEIGHT (ft.)	POLE SHAFT (in.) x (ft.)	GAUGE	HANDHOLE SIZE (in.)	ANCHOR BOLT (in.) x (in.) x (in.)	BOLT CIRCLE (in.)
14	4.0 x 14.0	11	3" x 5"	0.75 x 17 x 3	8
EPA	80 MPH (ft. ²)	90 MPH (ft. ²)	100 MPH (ft. ²)	WEIGHT	SHIP WT. (lbs.)
	27	21	17		113

Bonnie Wessler

From: Joe Meyers
Sent: Tuesday, April 10, 2018 2:44 PM
To: Bonnie Wessler; Cynthia Kochanek
Subject: FW: Razing Five (5) star pizza to expand Keg Party Store

From: Beth Ernat
Sent: Tuesday, April 10, 2018 2:43 PM
To: Joe Meyers <jmeyers@cityofypsilanti.com>
Subject: FW: Razing Five (5) star pizza to expand Keg Party Store

From: William Teepen
Sent: Tuesday, April 10, 2018 2:43:21 PM (UTC-05:00) Eastern Time (US & Canada)
To: Beth Ernat
Subject: Razing Five (5) star pizza to expand Keg Party Store

William Teepen

718 Lowell street

Unit 4

Ypsilanti MI 48197

RE: Razing Five (5) star pizza to expand Keg Party Store

Dear Leaders in the city of Ypsilanti MI 48197:

Hi, I am Bill Teepen and I am an alcoholic and addict.

I am writing to you in protest of Keg Party Store of Ypsilanti Michigan, located at 534 N. Huron Ypsilanti ,Michigan 48197. The owner of the store (or property) wants to demolish Five (5) Star Pizza located at 530 N Huron St, Ypsilanti, MI 48197.

For me Five Star Pizza, is a vital business, not only because it is one of the few places that I can order GREAT pizza in the city of Ypsilanti, that is not inside a bar or part of a mega chain. This business is also minority owned (blacks).

This loss would not just cause for a minority owned business to shut down, but it greatly limits my choices, not just in where I can buy pizza, but how can I recover from drugs and alcoholism, if the city OK's razing one of the few places that is near me,that is a great support to the recovering community. In order to find pizza equal this Five (5) Star Pizza, I would have to enter a restaurant that has a bar in it.(like Tower Inn or Aubree's Pizzeria). For me this can be tough,especially during events (such as St Patrick's day and During Sports games. While some may argue that Five (5) star pizza is next to a liquor store, I can order online, pay in the store and take a route that allows me to not even know the store is there.

Lastly I did not find out about this,until I picked up my pizza, while I don't know how much the city (of Ypsilanti) is involved in this process. I do know that a commission of the city has a meeting on 4/18/2018 and have not received any notice about this meeting.

If the city of Ypsilanti is truly interested in what the city has to say and is truly interested in forming a Community Benefits Ordinance , we need a better plan of communicating with different minority and “special groups” such as the recovering community BEFORE it goes to any special commission to decide on if minority owned businesses gets razed .

Then its communicating with the commission members themselves, I would love to talk to each of the commission members involved in this process of deciding if Five Star Pizza stays in business, but I don't have any contact information.

Please tell city council NO to the razing of Five (5) Star Pizza.

Sincerely:

William(Bill) Teepen

4/9/18

Stop Demolition of Five Star Pizza

To whom it may concern,

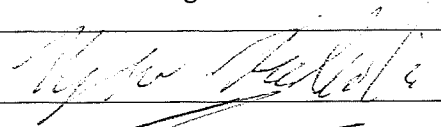
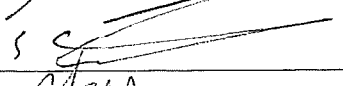
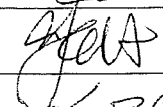
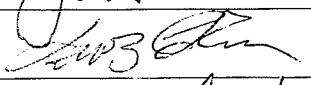
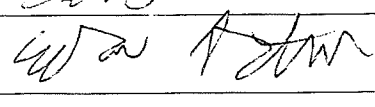
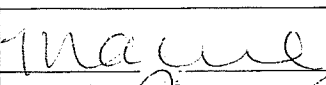
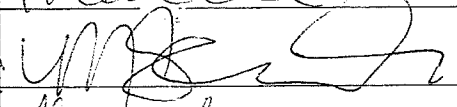
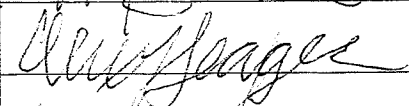
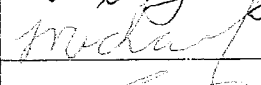
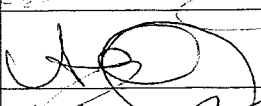
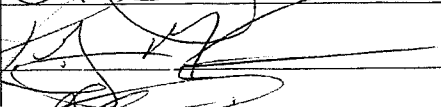
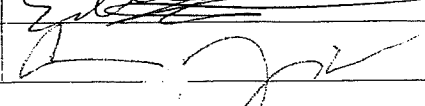
We the undersigned community of Ypsilanti would like to halt/ stop the demolition of 530 north Huron St due to expanding a already big liquor store. We feel that the remodeling is not only unneeded but not a necessary expansion that the city of Ypsilanti needs. Expanding this location will not help or bring any Benefit to the city along with bringing a family business that is slowly growing in the neighborhood to an abrupt halt, and put good hardworking individuals out of work, pay, and a small business and family out of commission to where they have no chance to rebuild and gather there loyal customers back again. We feel that this project has no value or Benefit to the liquor store due to nothing else changing in it except for its size, and also to the community which already has liquor on every other corner

Mohammad Al tawil
Five Star Pizza
530 N. Huron St
Ypsilanti, MI 48197
774-239-2204

Petition to stop Demolition of Five Star Pizza

TO: City of Ypsilanti Planning Commission

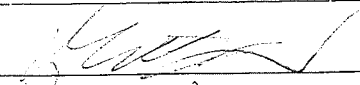
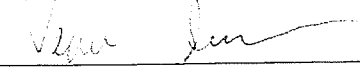
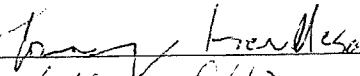
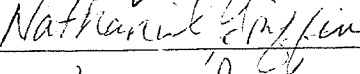
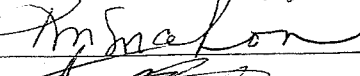
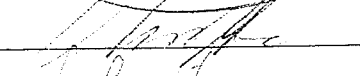
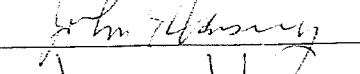
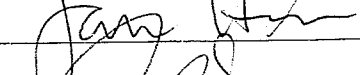
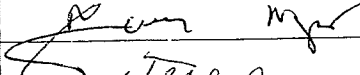
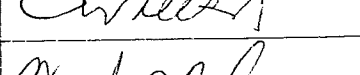
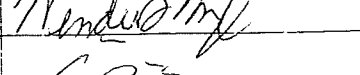
WE, are the citizens of Ypsilanti, we signed this to Stop Demolishing of Five Star Pizza (530 N. Huron Street) and change the image of downtown Ypsilanti. We need your support to stay in business; this is an individual a family business.

#	Names	addresses	signatures
	Ryan Powinski	35 west Willis Rd	
	Sam Tanel	715 grand - ypsi	
	YEN AZZANO	621 N ADAMS	
	LEWIS COLON	215 E. CROSS	
	Evan Norton	404 W Forest ^{11/3-7}	
	Maech Pami	950 railroad	
	Melieka Stewart	404 W Forest Ave	
	Alex Stager	902 Locust St	
	Michael Piers	725 Arbor Dr	
	Chris Lewis	2139 Forest	
	Amy Anderson	203 E Forest	
	Katelyn Palmer	75 Grove St.	
	Jesse Misha	950 Rail Road	
	Demetri DeGroot	545 Villard	
	Edward LaRue	506 N. Hamilton #6	
	ALAN JANVEJA	465 Westhawn	

Petition to stop Demolition of Five Star Pizza

TO: City of Ypsilanti Planning Commission

WE, are the citizens of Ypsilanti, we signed this to Stop Demolishing of Five Star Pizza (530 N. Huron Street) and change the image of downtown Ypsilanti. We need your support to stay in business; this is an individual a family business.

#	Names	addresses	signatures
	Matt Hegdahl	203 E. forest	
	Veda Anderson	203 E. forest	
	TRACY Henderson	463 Westlawn	
	NATHANIEL GRIFFIN	131 COLLEGE PL	
	Kathleen McMahon	2102 Roosevelt	
	Robert Bliss	701 Oak St	
	Kenyon Winston	613 Belmont Dr.	
	John Harvey	312 N River	
	James Harman	123 Cherry St	
	Zachary Schultz	21 E. CROSS	
	David Zellmer	520 Terrace Lane	
	Mariam Najjar	1604 Gregory St Yps	
	William TEPPEL	718 Lowell St	
	Wendee Wegack	330 E. Forest Ypsilanti	
	Cingoe Williams	335 Worden	

Agenda
Planning Commission
Wednesday, 13 April 2018 – 7:00 P.M.
City Hall-Council Chambers, 1 S Huron St
Ypsilanti, MI 48197

New Business

- Resolution from the Nonmotorized Committee regarding Capital Improvements



City of Ypsilanti

Community & Economic Development Department

Memo

To: Planning Commission

From: Bonnie Wessler, City Planner

Date: 13 April 2018

Subject: Non-motorized Committee resolution regarding West Cross capital improvements

The Non-motorized Committee has passed a resolution regarding desired improvements to West Cross, from Elbridge to the west boundary of the City. They note that the roadway is tentatively programmed for 2021, and state, essentially, that their desire is for a road diet of some sort in this area.

Planning Commission will review the Capital Improvements Plan (CIP) at the May Planning Commission meeting. This is after Council's first look at the CIP, but well before the final adoption, and long before any design work is planned. There is no separate or independent benefit of bringing this resolution to Council.

Staff recommends that Planning Commission receive this resolution, and take it into consideration when reviewing the proposed Capital Improvements Plan in May.

Resolution Of The City Of Ypsilanti Non-Motorized Advisory Committee On West Cross Street

Whereas, in 2021, repaving is expected to take place on West Cross Street from approximately Wallace Street west to the western City limit, and

Whereas, a four lane traffic configuration in the vicinity of Estabrook School encourages motor vehicle speeding above the 25mph speed limit in that area, and

Whereas, the lack of a center turn lane on Cross Street at the intersection of Mansfield Street is a real safety factor, and

Whereas, westbound bicycle lanes on Cross Street currently end at Wallace Street, and

Whereas, Safe Routes To School program grants may be available for non-motorized improvements in the area of Estabrook School.

Therefore Be It Resolved the City of Ypsilanti supports, as part of a West Cross Street repaving project, a two-lane, plus center turn lane, configuration going as far west as practical that would include bicycle lanes on both sides of the road as well as vehicle parking on the south side of West Cross Street.

Agenda
Planning Commission
Wednesday, 13 April 2018 – 7:00 P.M.
City Hall-Council Chambers, 1 S Huron St
Ypsilanti, MI 48197

Old Business

- **Medical Marijuana Provisioning Centers: Increase in Buffer**
Tabled from 3/21/2018



15 March 2018

**Staff Review of Rezoning Application
Medical Marijuana Text Amendments
Provisioning Centers Buffer Increase**

GENERAL INFORMATION

Applicant: City of Ypsilanti

Action Requested: Recommendation to City Council to approve a Text Amendment to Medical Marijuana Dispensaries (recommended to become "Medical Marijuana Provisioning Centers"), 122-532(b)(3)

SUMMARY

State regulations regarding medical marijuana facilities have recently changed to allow for more commercial operations. This amendment would limit the number of provisioning centers throughout the City by doubling the required buffer between provisioning centers from 500 feet to 1,000 feet.

BACKGROUND

In 2008, the voters of the State of Michigan approved a ballot initiative to legalize medical marijuana, using a caregiver, person-to-person model; Ypsilanti voters supported this ballot measure by over 80%. In 2011, the City of Ypsilanti adopted zoning regulations reflective of that, allowing groups of caregivers to grow under one roof in the M1, M2, WS, and CI zoning districts with a Special Use Permit; and caregivers to connect with patients at dispensaries in the B2, B3, and B4 zoning districts by right.

In 2014, the zoning ordinance shifted to a hybrid form-and-use-based schema. In these new zoning districts, dispensaries were only permitted by-right in C, and not permitted in GC. The State adopted the Medical Marijuana Facilities Licensing Act in late 2016, which permitted fully commercialized medical marijuana facilities under one corporate owner, including grow facilities, provisioning centers (dispensaries), processors, transporters, and testing facilities. In November 2017, Council passed an ordinance opting-in to the MMFLA, allowing up to three grow/processors and seven provisioning centers (dispensaries). Two updates to the zoning code have already been proposed and recommended to Council; one, to permit provisioning centers (dispensaries) as a Special Use in the GC zoning district, and another, generally updating the specific standards and definitions for medical marijuana facilities.

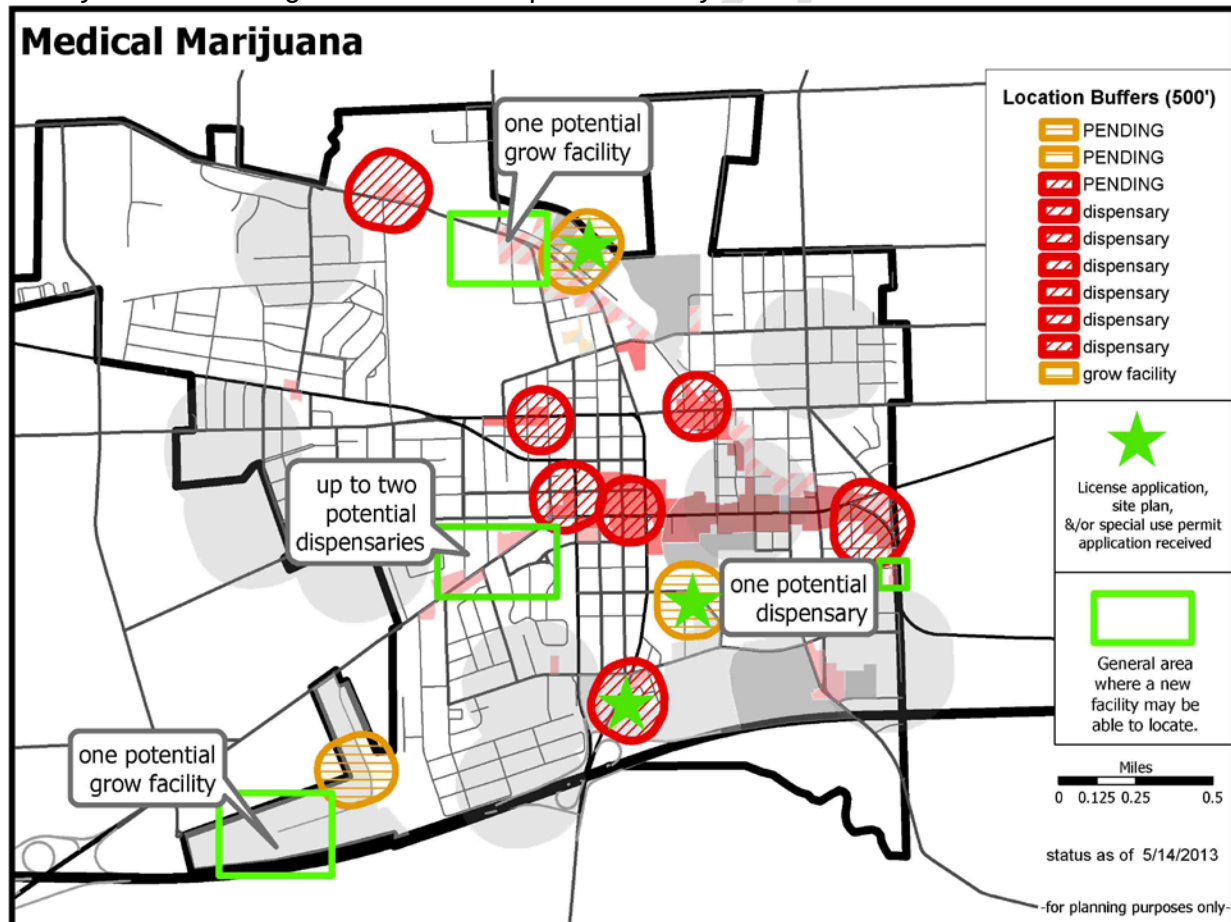
As a result of these changes at both the state and local level, it is possible that some existing provisioning centers could move; it is also possible that an existing provisioning center could go out of business and another provisioning center locate in the City. During the initial medical marijuana zoning

discussion in 2011, and during the more recent zoning discussions in 2017-18, both Planning Commission and City Council have expressed concern about marijuana business density, and the need to ensure a balanced mix of services and goods in our commercial areas. This amendment would reduce density significantly, generally allowing for only one provisioning center per commercial area, without creating significant nonconformities.

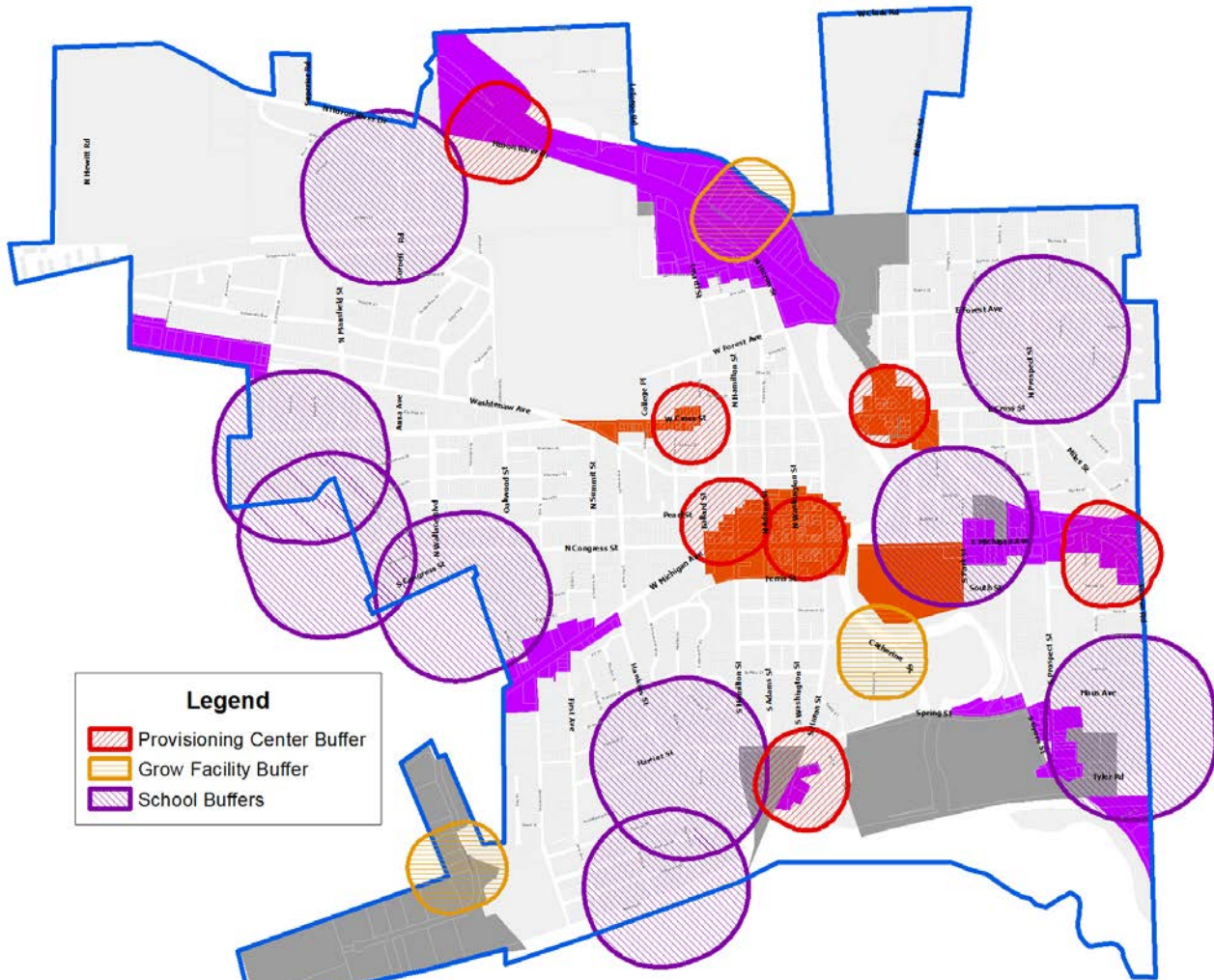
DISCUSSION

When the 2011 zoning amendments permitting dispensaries and grow facilities were adopted, there was no cap on the number of facilities, and the industry was untested and highly stigmatized. A cap on the number of facilities was introduced in 2013, as Council felt the local market was satisfied, and further increases in the number of facilities were unwise due to uncertainty in the State and Federal regulation. Many of these facilities have been operating since 2011; the newest opened in 2013. These facilities have, overall, been in compliance with local ordinances, including permitting on-demand inspections. The crime rate at these businesses is equivalent to other retail &/or industrial businesses.

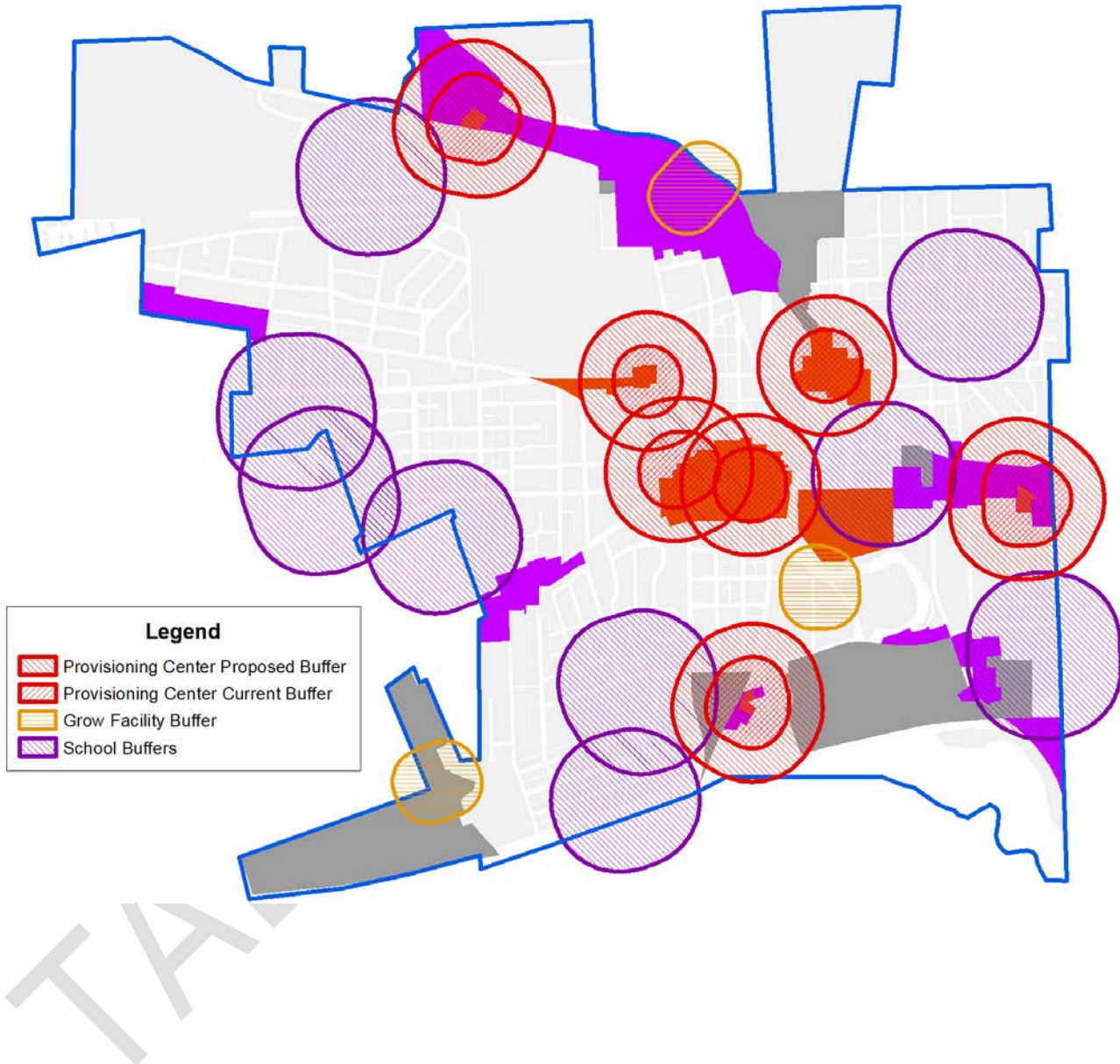
This map, as of 5/2013, shows potential locations for additional dispensaries/grow facilities; the potential distribution of facilities differed from current primarily around Washtenaw and West Michigan. The zoning around Huron River Drive has changed from the Commercial-Industrial District and a variety of other zoning classifications to predominantly GC.



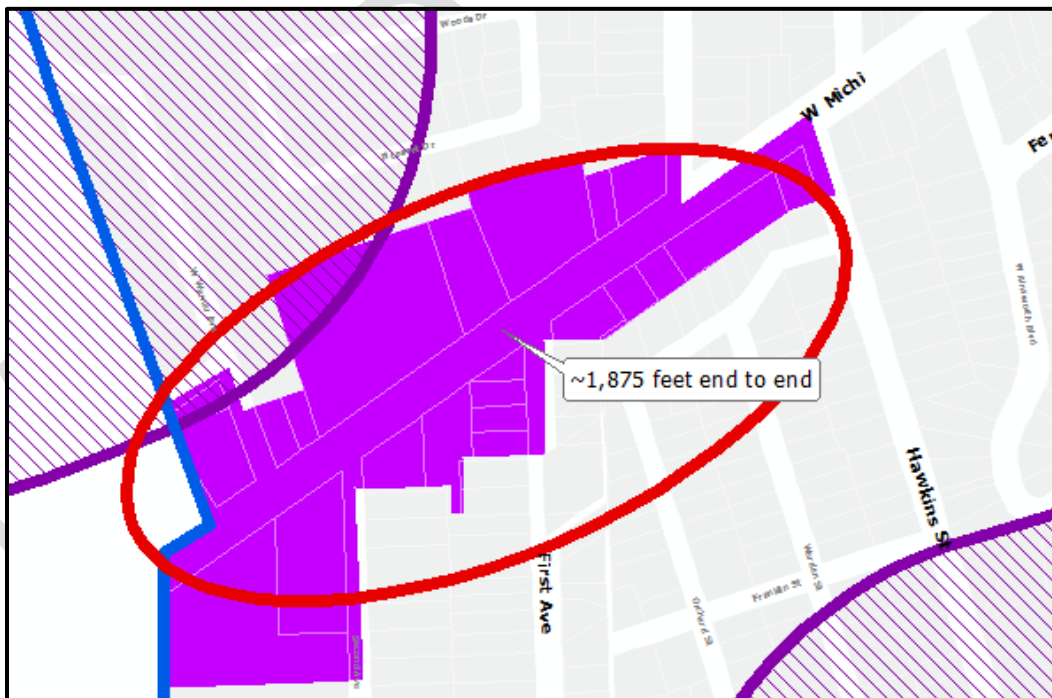
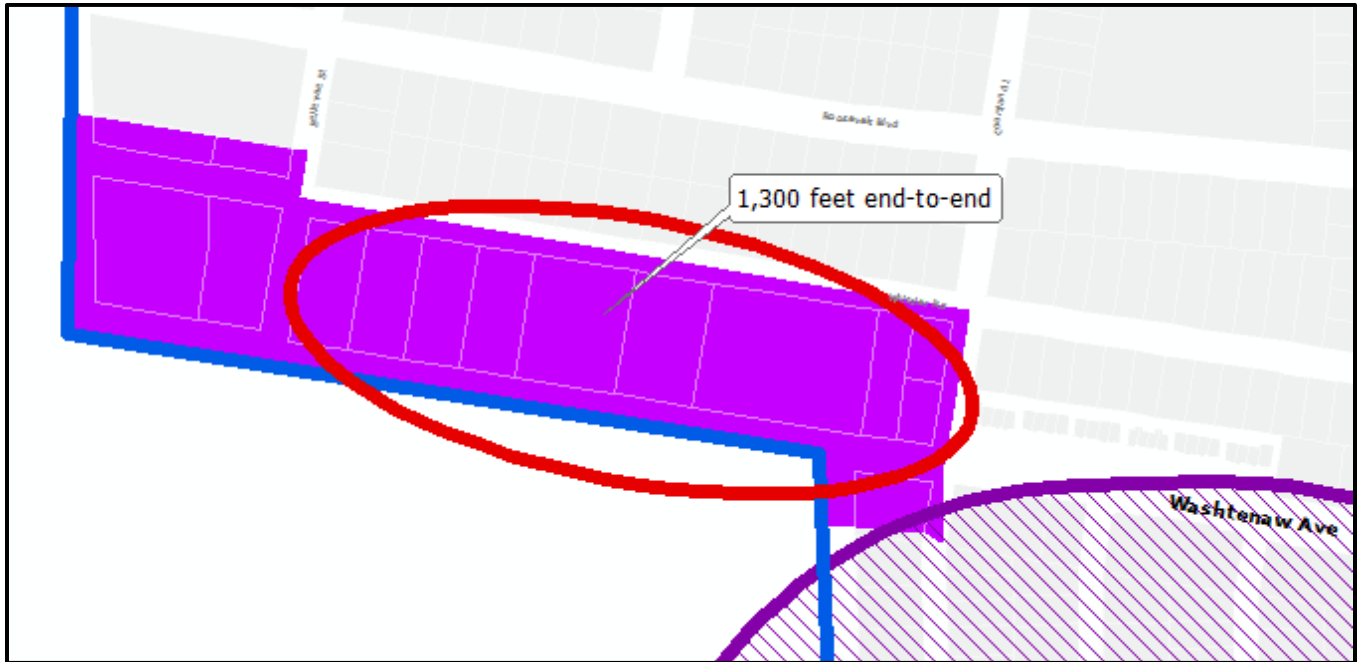
This map shows the *current* existing school buffers, facility buffers, and zoning districts. As a reminder, grow facilities are currently permitted only with a Special Use permit in GC and PMD; dispensaries are permitted by right in Center. The proposal on the table at Council would add dispensaries as a special use in the GC district. Recall also that Planning Commission has discretion in granting Special Use permits under §122-324.



Under the proposed increase in buffers between provisioning centers, the East Michigan/Ecorse corridor cannot bear a new provisioning center, nor can Depot Town or West Cross. The two existing provisioning centers in downtown Ypsilanti would exclude each other by approximately four feet; however, Herbal Solutions is planning to move eastward once rehabilitation is complete at the new location. Commercial locations on Huron River Drive/Railroad St are already fairly constrained due to the location of the railway and river, as well as the large redevelopment site at 800 Lowell, so the expansion would have minimal effect.



Looking more closely at specific areas, Washtenaw realistically could host two provisioning centers (one at each end), and West Michigan potentially two as well- fewer than the three and four, respectively, that would be able to locate there with the smaller buffer. West Michigan, it should be noted, has fewer commercial buildings that could presumably become available for such a venture; there do exist residential buildings that could be converted.



Medical Marijuana Dispensaries (recommended to become "Medical Marijuana Provisioning Centers"), 122-532(b)(3)	"Medical Marijuana Provisioning Centers," 122-532(b)(3) (changes proposed 2/21 presumed adopted)
The dispensary shall not be located within a five hundred (500) feet of a lawfully existing medical marijuana dispensary or growing/manufacturing facility as measured from the outermost boundaries of the lot or parcel on which the proposed dispensary and lawfully existing dispensary or growing/manufacturing facility is located;	The provisioning center shall not be located within a five hundred (500) feet of a lawfully existing medical marijuana <u>growing &/or processing facility nor within one thousand (1,000) feet of a lawfully existing medical marijuana provisioning center</u> as measured from the outermost boundaries of the lot or parcel on which the proposed medical marijuana facility and to the outermost boundaries of the lot or parcel on which the lawfully existing medical marijuana facility is located;

STANDARDS FOR AMENDMENTS**§122-362(a)**

(a) Text Amendment. For a change to the text of the Zoning Ordinance, the Planning Commission shall consider and the City Council may consider, whether the proposed amendment meets the following standards:

(1) The proposed amendment is consistent with the guiding values of the Master Plan; and
Applicable guiding values of the Master Plan include:

- Diversity is our strength: per the decision-making rubric. This maintains and potentially improves the diversity of the mix of businesses in Ypsilanti.
- Ypsilanti is sustainable: per the decision-making rubric, this action maintains, and has the potential to create, job opportunities for Ypsilantians, without over-investing into a volatile industry.

(2) The rezoning is consistent with description and purpose of the proposed district, and.
This would apply to all Provisioning Centers in all districts.

(3) The proposed amendment is consistent with the intent of this Zoning Ordinance; and
Per §122-100, the intent of the ordinance is to promote the public health, safety, and welfare. In particular, to:

- "create a safe, diverse, and sustainable city;
- meet the needs of the City's residents for food, fiber, energy, and other natural resources;
- guide the location of places of residence, recreation, industry, trade, service, and other uses of land;
- ensure that uses of the land shall be situated in appropriate locations and relationships;
- limit the inappropriate overcrowding of land and congestion of population and transportation systems and other public facilities;
- facilitate adequate and efficient provision for transportation systems, sewage disposal, water, energy, education, recreation, and other public service and facility needs;"

By increasing the distance between Provisioning Centers, it reserves space for other businesses to grow and thrive within the City, while still preserving access to medical marijuana.

(4) The proposed amendment will enhance the functionality, transportation network or character of the future development in the City; and

The change to the zoning ordinance has the long-term potential to do so. In the short-term, it will simply preserve the existing character of the City.

(5) The proposed amendment will preserve the historic nature of the surrounding area and of the City;
Staff does not anticipate that this amendment will negatively or positively affect the historic nature of the City.

(6) The proposed amendment will enhance the natural features and environmental sustainability of the City;
Staff does not anticipate that this amendment will negatively affect the natural features or environmental sustainability of the City.

(7) The proposed amendment will protect the health, safety, and general welfare of the public; or
The proposed change to the zoning ordinance will help maintain residents' access to medical marijuana, as prescribed by their doctor. The ordinance amendment will also help to reduce the potential that relatively volatile medical marijuana businesses might displace existing businesses in less-volatile industries.

(8) The proposed amendment is needed to correct an error or omission in the original text; or
This does not correct an error; it is an amendment due to a changing regulatory environment.

(9) The proposed amendment will address a community need in physical or economic conditions or development practices; and
Staff does not anticipate that this change will significantly impact a community need in physical or economic conditions. If the industry continues to grow, it is possible that medical marijuana businesses could reinvest significantly into their businesses. However, it is also possible that the businesses will face increasing regulatory hurdles at the federal level, and medical marijuana still carries some stigma. This amendment would decrease the potential impacts of both any stigma and the potential for an industry collapse due to regulatory issues.

(10) The proposed amendment will not result in the creation of significant nonconformities in the City.
The proposed amendment will make nonconforming the two dispensaries in downtown Ypsilanti. However, as noted, Herbal Solutions is in the process of preparing a space to the east that would conform under the new ordinance.

STAFF RECOMMENDATION

Staff recommends the Planning Commission recommend to City Council the ***approval*** of the proposed text amendment to 122-532(b)(3), "Medical Marijuana Dispensaries Provisioning Centers", with the following findings:

- (1) The proposed amendment is consistent with the guiding values of the Master Plan;
- (2) The proposed amendment is consistent with the intent of this Zoning Ordinance;
- (3) The proposed amendment will protect the health, safety, and general welfare of the public;
- (4) The proposed amendment will address a community need in physical or economic conditions or development practices.

Bonnie Wessler
City Planner, Community & Economic Development Division

Agenda
Planning Commission
Wednesday, 13 April 2018 – 7:00 P.M.
City Hall-Council Chambers, 1 S Huron St
Ypsilanti, MI 48197

Committee Reports

- Master Plan: Housing Affordability and Access subcommittee report

MINUTES
Planning Commission
Master Plan Housing Update Subcommittee
Wednesday, 07 February 2018 – 7:00 P.M.
Riverside Arts Center – Gallery, 76 N Huron St
Ypsilanti, MI 48197

I. Call to Order: 7:01PM

II. Roll Call

Heidi Jugenitz (PC)	P	
Toi Dennis (PC)	P	
Matt Dunwoodie (PC)	P	
Chris Madigan (PC)	P	
Amber Fellows (HRC)	P	
Tom McKee (SC)	P	
Zac Fosler (YHC)	P	
Dr Chiara Hensley (EMU)	A	
Nathanael Romero (DAY)	P	
Cheranissa Roach (AACIL)	P	
Jim Scarletta (AH)	P	
Krista Girty (OH)	P	(7:03)
Richard Murphy	A	
Tariq Hamad	P	
Roberta Andrews	P	
Desiraé Simmons	P	
Ashley Fox	P	
Alexis Ford	P	
Mike Auerbach	P	

III. Introductions

Each committee member present introduced themselves and gave a brief description of their personal and/or their organizational interest in housing.

IV. Master Plan overview

Bonnie Wessler, City Planner, gave a brief and broad overview of the master planning process.

V. Committee background & desired outcomes

H. Jugenitz explained the tight timeline of this process, with an October deadline, as well as the need to work using a set of operational definitions upon which all committee members can agree. Noted the need for robust data and in-depth analysis of existing conditions. Questions and suggestions were offered by committee members and addressed at the table; these included offering of additional resources/initiatives (OneWashtenaw, REDY), discussion of local and national history (upzoning and downzoning in Ypsilanti; racial exclusion/redlining); discussion of the need to perform outreach to traditionally underrepresented populations and to incorporate their input in a meaningful manner.

VI. Master Plan update process & proposed calendar

H. Jugenitz discussed future meetings, proposing 7pm on first Wednesdays, at rotating locations. Accessibility via bus was noted as important, as well as physical accessibility. A location was not determined.

VII. General discussion & input

All around the table were invited to give further input. A Fox, T Dennis, N Romero, A Fellows, and

D Simmons all offered additional input; there was discussion of goals, metrics, the relation of affordability to wages, the value or lack thereof of relating housing to income/wealth, and additional information regarding existing resources.

VIII. Preparations/background reading for March meeting

H. Jugenitz noted that she would put together a Google Drive, Dropbox, or similar for dissemination of materials. Members were invited to send suggestions.

IX. Audience Participation

H. Jugentiz noted that there was a large audience present, and although audience participation was not on the agenda, she would welcome it. There was general assent from the committee as a whole.

- Mark Hergott. Suggested that local businesses reinvest in the local community for a reduction in taxes. Noted that many of the issues discussed were intersectional, and expressed desire to bring everyone to the table.
- Anthony Morgan. Wanted to know if there was a way to cap how much real property an individual could own in the City.
- Rae. Leads the Ypsilanti Tenants Union. Notes that there are many renters in the City. Wanted more renters to know their rights, as the lack of such knowledge makes it easy for unscrupulous landlords to take advantage of them and provide unsafe housing.
- Kiera. EMU grad student; expressed belief in housing as a human right. Resident since 2005. Wants to see more universal design, more residents on the steering committee. Pointed out that the venue was not conducive to allowing people with hearing disabilities to participate.
- Carly. Resident of 6 years. Feels accessibility is an afterthought for many, and needs to be centered in the discussion more. Has had issues with landlords failing to provide reasonable accommodations in the past.
- Sheri. Volunteers with Ypsilanti Gathering Space, as well as the Ann Arbor day shelter. Pointed out that all of the County's resources for people experiencing homelessness were located in Ann Arbor.
- Liz. Has lived here a long time. Noted that many at the table and in the audience were not born Ypsilantians; in a sense, all were gentrifiers. Remember there was an Ypsilanti already here when we got here.
- Rae (again). Decried condition of rentals; specifically with regard to the lack of regulation regarding radon and mold. Noted that part of accessibility is simply being able to live healthily in a space.

X. Adjournment 8:47pm

MINUTES
Planning Commission
Master Plan Housing Update Subcommittee
Wednesday, 07 March 2018 – 7:00 P.M.
New Parkridge Homes Community Room – 831 Hilyard Robinson Way
Ypsilanti, MI 48197

I. Call to Order: 7:01PM

II. Roll Call

Heidi Jugenitz (PC)	P	
Toi Dennis / Liz Dahl MacGregor (PC)	P	(MacGregor)
Matt Dunwoodie (PC)	P	
Chris Madigan (PC)	A	
Amber Fellows (HRC)	P	
Tom McKee (SC)	P	
Zac Fosler (YHC)	P	
Dr Chiara Hensley (EMU)	A	
Nathanael Romero (DAY)	P	
Cheranissa Roach (AACIL)	P	
Jim Scarletta (AH)	P	
Krista Girty (OH)	P	(7:15)
Richard Murphy	P	
Tariq Hamad	P	
Roberta Andrews	P	(7:14)
Desiraé Simmons	P	
Ashley Fox	P	
Alexis Ford	P	
Mike Auerbach	P	
Shari Wander	P	

III. Minutes

The minutes of the February 7th meeting were approved unanimously.

IV. Funding Resolution

The agenda was amended to include discussion of a resolution to Planning Commission, with the intent to pass along to Council, requesting that budget be allocated for implementation of the housing plan in the 2018-19 budget year. A vote was taken and approved (12 for, 1 against, 2 abstentions, and 2 nonvoting due to lack of Ypsilanti City residency) to pass the below resolution to Planning Commission.

WHEREAS the City of Ypsilanti's 2013 Master Plan states a guiding value that "Anyone, no matter what age or income, can find a place to call home in Ypsilanti;" and,

WHEREAS the City of Ypsilanti Planning Commission has created a citizen committee to develop a housing plan that advances this value by addressing housing affordability, accessibility, and instability; and,

WHEREAS the citizen committee anticipates developing a plan by October 2018 that will include immediate and medium-term actions and investments; and,

WHEREAS The Ypsilanti City Council and staff are currently developing the budget for the fiscal year spanning July 1, 2018 to June 30, 2019;

THEREFORE BE IT RESOLVED that the Planning Commission recommends the City of Ypsilanti allocate funding annually to a housing trust fund, beginning with a minimum \$100,000 in Fiscal Year 2019; and,

BE IT FURTHER RESOLVED that the use of these funds be guided by the plan developed by the Citizen Committee on Housing Affordability and Accessibility and adopted by the Planning Commission.

V. Facilitation (8:25)

The agenda was amended to discuss the potential to utilize a facilitator to help guide the meeting process. There was general agreement that a facilitator would be useful.

VI. Background material: what we know and what we need to know (8:35)

A discussion was begun regarding background material. Discussion included home sales and rental prices, as well as the challenges in measuring the populations of people who are experiencing homelessness and those who require accessible accommodations (and the various types of accommodations that might be required).

VII. Public Comment (9:17)

One person spoke on the importance of the differences in homelessness in Ypsilanti vs Ann Arbor, as well as affordability issues when experiencing homelessness as well. Spoke of the high barriers to re-entering the housing market due to a variety of factors, including past financial issues or evictions.

VIII. Upcoming business (9:20)

April meeting will talk more about data and findings; staff will also provide more information about what public engagement tools have been used in the past.

IX. Adjournment (9:25)

Agenda
Planning Commission
Wednesday, 13 April 2018 – 7:00 P.M.
City Hall-Council Chambers, 1 S Huron St
Ypsilanti, MI 48197

Committee Reports

- Nonmotorized Committee report

Ypsilanti Non-Motorized Advisory Committee Meeting Minutes - March 13, 2018

1. Call to order - The meeting was brought to order at 7:02pm, Tuesday, March 13th, 2018 at the Ypsilanti District Library, 229 West Michigan Avenue. Committee members attending were Tony Bedogne, Martha Cleary, Bob Krzewinski and Sarah Walsh. Also attending was City Council member Pete Murdock.
2. Introductions
 - a. Audience participation/public input – None
3. General business
 - a. Agenda approval – A motion was made by Sarah, seconded by Tony, to accept the agenda, with no objections.
 - b. Approval of January meeting minutes - A motion was made by Sarah, seconded by Tony, to accept the January minutes (no meeting was held in February), with no objections.
 - c. Additional Committee member recruitment – Bob will contact the Mayor for any possible suggestions and send out more publicity asking for volunteers.
4. Old & continuing business
 - a. 2018 Committee priorities
 1. Bike lane projects
 - Harriet, Spring, Factory, Maus (First to Emerick) initial actions – Discussed as part of 2022 MDOT Huron/Hamilton project. Research needed to see if bike lanes/parking could be part of a road diet.
 - West Cross (Wallace to western City limit) – By unanimous consent, the following resolution was approved and will be forwarded to the Planning Commission...
Resolution Of The City Of Ypsilanti Non-Motorized Advisory Committee On West Cross Street

Whereas, in 2021, repaving is expected to take place on West Cross Street from approximately Wallace Street west to the western City limit, and

Whereas, a four lane traffic configuration in the vicinity of Estabrook School encourages motor vehicle speeding above the 25mph speed limit in that area, and

Whereas, the lack of a center turn lane on Cross Street at the intersection of Mansfield Street is a real safety factor, and

Whereas, westbound bicycle lanes on Cross Street currently end at Wallace Street, and

Whereas, Safe Routes To School program grants may be available for non-motorized improvements in the area of Estabrook School.

Therefore Be It Resolved the City of Ypsilanti supports, as part of a West Cross Street repaving project, a two-lane, plus center turn lane, configuration going as far west as practical that would include bicycle lanes on both sides of the road as well as vehicle parking on the south side of West Cross Street.
 2. Sidewalk projects
 - Relmagine Washtenaw - Nathan Vought, of the Washtenaw County Office of Community & Economic Development, will attend our April 5th meeting to give an update.

(Over)

3. General projects

- Non-Motorized Plan update completion – Tony gave an update on the Plan and after discussion, the following Committee members will work on Plan sections prior to the April 5th Committee meeting...
 - Bob – Chapter 1 (Introduction), Chapter 8 (Build), Chapter 9 (Promote)
 - Sarah – Chapter 3 (Process), Chapter 4 (Vision and Goals)
 - Tony – Chapter 5 (Administer), Chapter 6 (Maintain), Chapter 11 (Implement)
 - Pete – Chapter 10 (Fund)
 - I-94 Huron Street crossing (along with traffic calming on Huron-Hamilton-Washtenaw) - involves MDOT jurisdiction area – Request For Proposals for Road Diet Capacity Analysis approved by City Council 2/20
 - Border To Border Trail completion – Water Street opening tentatively planned for late March/early April, national Trails Opening Day is April 7 – National Trails Day is the first Saturday of June – Washtenaw County Parks & Recreation Commission will hold public input sessions on March 27 and 29 on an B2B Trail master plan.
 - Bike Friendly/Walk Friendly applications follow up
 - BFC signage – Bob will take photos of five Bike Friendly sign locations and forward them to the Committee prior to having Public Services install the signs.
 - WFC reapplication – WATS indicated they have pedestrian counts as requested in the application and will forward them to the Committee. The next application deadlines are June 15 and December 15.
 - Public education/communications (Committee newsletter, social media, snow/vegetation removal) – No update
 - Pedestrian safety improvements (signage/markings) – Discussed.
 - Traffic calming (additional bump-outs, more radar speed signs, speed bump policy) - involves MDOT jurisdiction area – Discussed.
- b. Sidewalk snow removal – Snow removal is mentioned on the City property assessment statement.
- c. Capital Improvements Plan: annual update process/committee formation – Tony will keep the Committee aware of CIP updates.
- d. Other
- EMU Bike Share Program – EMU has chosen one vendor (Spin - <https://www.spin.pm>) and hopes to start the service in May pending approval by the EMU regents.
 - Vision Zero – This program is meant to enact government policies that advance the idea of no pedestrian/cyclists deaths - <https://visionzeronetwork.org>. A representative from the Washtenaw Bicycling and Walking Coalition will attend the May meeting to talk about this program which has been adopted in Ann Arbor.

5. New Business

- a. Planning Department update – No new updates.
- b. Committee 2017 Annual Report – Tony reported it was received and accepted by the Planning Commission.
- c. Other – Sarah is expecting a report on the EMU bike repair stand usage and will forward it on.

6. Other Items – Announcements – None.

7. Adjournment – A motion was made by Tony, seconded by Sarah, to adjourn the meeting, passing unanimously. The meeting adjourned at 8:36pm with the next meeting being Thursday, April 5, 2018 at the downtown Library.

Ypsilanti Non-Motorized Advisory Committee Meeting Minutes - April 5, 2018

1. Call to order - The meeting was brought to order at 7:05pm, Thursday, April 5th, 2018 at the Ypsilanti District Library, 229 West Michigan Avenue. Committee members attending were Tony Bedogne, Martha Cleary, Bob Krzewinski and Sarah Walsh. Also attending were City Council member Pete Murdock, Nathan Voght from the Washtenaw County Office of Community & Economic Development and Tom Kovacs with the Eastern Michigan University (EMU) bike share program.
2. Introductions
 - a. Re Imagine Washtenaw - Nathan Voght gave an overview and update on the Re Imagine Washtenaw project along with the challenges that are faced.
 - b. Audience participation/public input – Tom Kovacs gave an update of the EMU bike share program, which now is planned for a summer 2018 rollout. Tom also noted that representatives from the local bike share program will be at the April 17th City Council meeting to give a report to that group. The Non-Motorized Advisory Committee members are very supportive of the EMU bike share program and Bob will address City Council on April 17th noting this support.
3. General business
 - a. Agenda approval – A motion was made by Sarah, seconded by Martha, to approve the agenda, passing unanimously.
 - b. Approval of March meeting minutes – A motion was made by Martha, seconded by Sarah, to approve the March meeting minutes, passing unanimously.
 - c. Additional Committee member recruitment – Tony has bought a house outside the City and will be leaving the Committee, and City Planning Commission, in July. He will be working on having another Planning Commission member also serve on the Non-Motorized Advisory Committee.
4. Old & continuing business
 - a. 2018 Committee priorities
 1. Bike lane projects
 - Harriet, Spring, Factory, Maus (First to Emerick) – No updates since the last meeting.
 - West Cross (Wallace to western City limit) – The West Cross Street resolution passed at the March 13th meeting is expected to be on the April 18th Planning Commission meeting which Bob will attend.
 2. Sidewalk projects
 - Relmagine Washtenaw public update program – Completed earlier in the meeting.
 3. General projects
 - Non-Motorized Plan update completion – Update data was discussed and a meeting will be planned for either April 10 or 11 with City Planner Bonnie Wessler to discuss the update. Separate Non-Motorized Plan meetings will be planned roughly every two weeks until the update is completed.
 - I-94 Huron Street crossing (along with traffic calming on Huron-Hamilton-Washtenaw) - involves MDOT jurisdiction areas – No updates since the last meeting.

- Border To Border Trail completion – The Washtenaw County Parks & Recreation Commission had two Ypsilanti area public input meetings in late March and will start working on an actual Eastern County B2B Trail master plan soon. Further public input sessions will be held once the master plan is complete.
- Bike Friendly/Walk Friendly applications follow up
 - BFC signage – City staff had concerns about a sign on Huron Street but the Committee recommended the sign still be installed there.
 - WFC reapplication – The next realistic resubmission deadline is December 15.
- Public education/communications (Committee newsletter, social media, snow/vegetation removal) – Bike Ypsi and the Program To Educate All Cyclists will be sponsoring a Ride Of Silence on May 16th at Recreation Park to honor all cyclists killed or injured and urge all road users to share the road.
- Pedestrian safety improvements (signage/markings) - No updates since the last meeting.
- Traffic calming (additional bump-outs, more radar speed signs, speed bump policy) - involves MDOT jurisdiction area – Seasonal speed bumps should be going up on Ferris and Dwight Street. A discussion was also held on placing speed bumps on Cornell and Miles Streets, as well as signing (i.e. stop for pedestrians) on the Border To Border Trail mid-block crossing of Cornell Street between Mayhew and Collegewood.

5. New Business

- a. Planning Department update – Update information covered in the meeting minutes.
- b. AARP Grant – The AARP has a Community Challenge grant with a deadline of May 16th. Discussed were possible projects including curb cuts and bus stop waiting pads. Bob will discuss the grant further with Bonnie Wessler and research more possible projects where the grant could be used.
- c. Other – Bob will set up the annual bike commuting station at Beezy's on Washington Street on Bike To Work Day, May 18th. WATS accepted almost all of the Committee suggestions for locations to do bicycle and pedestrian traffic counts.

6. Other Items – Announcements - None.

7. Adjournment – A motion was made by Tony, seconded by Martha, to adjourn the meeting, passing unanimously. The meeting adjourned at 8:45pm with the next meeting being Thursday, May 3, 2018 at the downtown Library.