



CITY OF YPSILANTI
Planning Commission MEETING
Wednesday, November 16, 2022 @ 7:00 PM
Council Chambers
One South Huron, Ypsilanti, MI 48197

Page

I. CALL TO ORDER

II. ROLL CALL

Matt Dunwoodie, Chair
Michael Simmons, Vice-Chair
Eric Bettis
Mike Davis, Jr.
Jessica Donnelly
Phil Hollifield
Carl Schier
Amanda Smith

III. AGENDA APPROVAL

3 A. [PC Agenda](#)

IV. APPROVAL OF MINUTES

5 - 9 A. [July 20 PC Minutes](#)

V. AUDIENCE PARTICIPATION

VI. COMMITTEE REPORTS

11 A. Non-Motorized Committee Report
[Nonmotorized Report November 16](#)

VII. PRESENTATIONS AND PUBLIC HEARING ITEMS

13 - 24 A. 212 N Summit Sketch Plan and Special Approval for 3 unit apartment
[212 N Summit Site Plan Review](#)

25 - 34 B. Zoning Text Amendment to allow for "Temporary Mobile Healthcare Establishments" in Center, Parks, General Corridor, Neighborhood Corridor, and Health and Human Services zoning districts.
[ZTA_Temp-Mobile_HC-rev](#)

35 - 52

- C. Sketch plan review at 599 S Mansfield for an automobile repair, towing, and vehicle storage facility.
[599 S Mansfield Sketch Plan Review](#)
[2022-11-09 Review Response Letter](#)
[2022-11-10 599 S. Mansfield Rev. Sketch Plan](#)

VIII. OLD BUSINESS

IX. NEW BUSINESS

X. FUTURE BUSINESS DISCUSSIONS/UPDATES

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- A. City of Ann Arbor Planning Division Notice
[Draft City of Ann Arbor Parks and Recreation Open Space \(PROS\) Plan](#)

XI. ADJOURNMENT

Agenda
Planning Commission
Wednesday, November 16, 2022 – 7:00 P.M.
City Hall- Council Chambers
1 S Huron St, Ypsilanti, MI 48197

I. Call to Order

II. Roll Call

Matt Dunwoodie, Chair	P	A
Michael Simmons, Vice-Chair	P	A
Marc Arthur	P	A
Eric Bettis	P	A
Mike Davis Jr.	P	A
Jessica Donnelly	P	A
Phil Hollifield	P	A
Carl Schier	P	A
Amanda Smith	P	A

III. Approval of Minutes

- July 2022 Regular Meeting

IV. Audience Participation

*Open for general public comment to Planning Commission on items for which a public hearing is not scheduled.
Please limit to three minutes.*

V. Committee Reports

- Non-motorized Advisory Committee
 - No Updates

VI. Presentations and Public Hearing Items

- Special Use Permit and sketch Plan Review: 212 N Summit 3 unit apartment
 - *Public Hearing*
- Zoning text amendment to allow for "Temporary Mobile Healthcare Establishments" in Center, Parks, General Corridor, Neighborhood Corridor, and Health and Human Services zoning districts.
 - *Public Hearing*
- Sketch plan approval : 599 S Mansfield Automobile Repair, Towing, and Storage
 - *Public Hearing*

VII. Old Business

VIII. New Business

IX. Future Business Discussion / Updates

X. Adjournment

ACTION MINUTES
Planning Commission
Wednesday, July 20, 2022 – 7:00 P.M.

City Hall- Council Chambers
1 S Huron St, Ypsilanti, MI 48197

I. Call to Order (7:02 pm)

II. Roll Call

Matt Dunwoodie, Chair	P
Michael Simmons, Vice-Chair	P
Marc Arthur	A
Eric Bettis	P
Mike Davis Jr.	A (Arrived after Roll Call)
Jessica Donnelly	P
Phil Hollifield	P
Carl Schier	P
Amanda Smith	A

Motion to excuse Commissioners Arthur, Davis Jr., and Smith

Offered By: Hollifield; Seconded By: Donnelly

Approved: Yes – 6; No – 0; Absent – 3 (Arthur, Davis Jr., Smith)

III. Approval of Minutes

- June 2022 Regular Meeting
Motion to approve the minutes.

Offered By: Simmons; Seconded By: Hollifield

Approved: Yes – 6; No – 0; Absent – 3 (Arthur, Davis Jr., Smith)

IV. Audience Participation

*Open for general public comment to Planning Commission on items for which a public hearing is not scheduled.
Please limit to three minutes.*

Motion to open audience participation.

Offered By: Simmons; Seconded By: Donnelly

Approved: Yes – 6; No – 0; Absent – 3 (Arthur, Davis Jr., Smith)

Motion to close audience participation.

Offered By: Donnelly; Seconded By: Hollifield

Approved: Yes – 6; No – 0; Absent – 3 (Arthur, Davis Jr., Smith)

V. Committee Reports

- Non-motorized Advisory Committee
 - Bylaws Update
 - June Meeting Minutes
 - July Meeting Minutes (Pending)

Motion to approve the Bylaws update.

Offered By: Hollifield; Seconded By: Donnelly

Approved: Yes – 6; No – 0; Absent – 3 (Arthur, Davis Jr., Smith)

VI. Presentations and Public Hearing Items

- Special Use Permit and Limited Site Plan Review: Limited Research & Development Use at 300 W Michigan Ave
 - *Public Hearing*

Commissioner Davis Jr. joined the meeting at 7:27 pm.

Motion to open the public hearing.

Offered By: Hollifield; Seconded By: Donnelly

Approved: Yes – 7; No – 0; Absent – 2 (Arthur, Smith)

One person spoke.

Motion to close the public hearing.

Offered By: Donnelly; Seconded By: Simmons

Approved: Yes – 7; No – 0; Absent – 2 (Arthur, Smith)

Motion to approve the Special Use Permit for limited research & development at 300 W Michigan Ave with the following findings and conditions:

Findings: The application is substantially in compliance with §122-324(b).

Conditions:

1. Special use approval shall be subject to the approval of site plan.
2. Use shall comply with the Limited Research & Development provisions in Section 122-552.

Offered By: Hollifield; Seconded By: Donnelly

Approved: Yes – 7; No – 0; Absent – 2 (Arthur, Smith)

Motion carried.

Motion to approve the Limited Site Plan for 300 W Michigan Ave dated June 27, 2022, with the following findings and conditions:

Findings: The site plan substantially complies with §122-311.

Conditions:

1. Site plan shall undergo detailed engineering review.
2. During Building Plan Review, the applicant shall confirm floor areas dedicated to research use shall be at least 25% of the limited research & development facility's gross floor area.
3. Use of fire pits to be reviewed by Fire Department.
4. Food trucks shall be reviewed for annual Mobile Food Concessions permit by Planning Department. Food truck parking shall not encroach into right-of-way.
5. Curb-cut for food truck area exceeds 30' and shall be reduced per §122-683(b), or removed altogether.
6. Bicycle parking numbers shall be labeled on site plan.
7. Right-of-way work shall be reviewed by MDOT and the City's Department of Public Services.
8. Applicant shall provide a lighting plan conforming with the provisions of 122-609.
9. Landscaping plan for new landscaping, including plant species and street trees shall be reviewed administratively. Applicant shall provide a fee-in-lieu for Pearl St if trees cannot be provided, in accordance with 122-636.
10. Permeable pavers shall be installed in the interior space in the site plan, at a minimum to meet the site plan as presented dated June 27, unless they (permeable pavers) present a significant hardship determined during administrative review.

Offered By: Davis Jr.; Seconded By: Donnelly

Approved: Yes – 7; No – 0; Absent – 2 (Arthur, Smith)

Motion carried.

- Special Use Permit and Limited Site Plan Review: Child Care Center Use at 202-206 E Forest Ave
 - *Public Hearing*

Motion to open the public hearing.

Offered By: Simmons; Seconded By: Donnelly
Approved: Yes – 7; No – 0; Absent – 2 (Arthur, Smith)

One person spoke.

Motion to close the public hearing.

Offered By: Donnelly; Seconded By: Davis Jr.
Approved: Yes – 7; No – 0; Absent – 2 (Arthur, Smith)

Motion to approve the Special Use Permit for a child care center at 202 and 206 E Forest with the following findings and conditions:

Findings: The application is substantially in compliance with §122-324(b). This specific use also requires compliance with §122-521(a)-(b).

Conditions:

- Special use approval shall be subject to approval of site plan.
- All child care centers and group day care homes must be registered with or licensed by the state department of social services and must comply with the minimum state standards for such facilities.
- The square footage of outdoor recreation area required by the Building Code and licensing agency must be provided in the rear, side, or street side yard. Such outdoor space must be fenced and screened from any adjacent lot.

Offered By: Donnelly; Seconded By: Hollifield
Approved: Yes – 7; No – 0; Absent – 2 (Arthur, Smith)
Motion carried.

Motion to approve the Limited Site Plan for 202 and 206 E Forest with the following findings and conditions:

Findings: The application substantially complies with §122-311.

Conditions:

1. The 202 E Forest driveway shall be restricted to staff parking or ADA-accessible parking only.
2. At least one barrier-free parking space is required out of the 16 total deeded parking spaces.*
3. At least three bicycle parking spaces shall be provided.
4. Parking easement shall be deeded from 218 E Forest to the subject properties regarding a total of 10 parking spaces, and shall be recorded at the Register of Deeds.
5. The gravel unimproved parking lot behind 206 E Forest must be blocked to vehicular traffic, and restored to grass/landscaping by summer of 2023.
6. Trash storage areas must be screened with an enclosure and provided on a concrete pad in accordance with §122-608f.
7. Revised site plan shall correct addressing typo.

*Friendly amendment offered by Commissioner Dunwoodie that condition number two states "at least one barrier-free parking space is required out of the total deeded parking spaces." **Friendly amendment accepted by Commissioner Simmons.**

Offered By: Simmons; Seconded By: Hollifield
Approved: Yes – 7; No – 0; Absent – 2 (Arthur, Smith)
Motion carried.

- Special Use Permit and Site Plan Review: Marijuana Retailer Use at 401 E Michigan Ave
 - *Public Hearing*

Motion to open the public hearing.

Offered By: Simmons; Seconded By: Donnelly
Approved: Yes – 7; No – 0; Absent – 2 (Arthur, Smith)

Motion to close the public hearing.

Offered By: Donnelly; Seconded By: Hollifield
Approved: Yes – 7; No – 0; Absent – 2 (Arthur, Smith)

Motion to approve the Special Use Permit for marijuana retailer use at 401 E Michigan Ave with the following findings and conditions:

Finding: The application is substantially in compliance with §122-324(b).

Conditions:

1. Special use approval shall be subject to approval of site plan.
2. Marijuana retailer shall comply with §122-538.

Offered By: Davis Jr.; Seconded By: Hollifield
Approved: Yes – 7; No – 0; Absent – 2 (Arthur, Smith)
Motion carried.

Motion to approve the site plan for 401 E Michigan Ave, dated July 15, 2022, with the following findings and conditions:

Findings:

1. The site plan substantially complies with §122-311 and the zoning ordinance.
2. Planning Commissioner waives the 10' parking setback requirement in §122-683 with the finding the parking lot will be graded to on-site catch basins.
3. Planning Commission uses §122-641 to waive the conflicting land use screening requirement (§122-634) along the east lot line with the finding that the topographic features of the site create difficult conditions that would create less effective screening, and that a thick vegetative screening already exists on the other side of the lot line.
4. Planning Commission waives the loading space requirement, in accordance with §122-695, with the finding there will not be large semi-trucks conducting loading/unloading.

Conditions:

1. Elevation plan be revised to comply with Thoroughfare Commercial private frontage standards per §122-485, and Planning Commission waive the awning clear depth and awning height from grade requirements.
2. Site plans shall undergo detailed engineering review.
3. Lighting fixtures shall be dark-sky compliant.
4. A parking space near the dumpster enclosure be eliminated to ensure dumpster enclosure access. Further, an additional parking space in the middle of the eastern row of 12 parking spaces shall be eliminated to provide for a parking lot landscaping island with a tree.
5. Truck turning details or template shall be provided on site plans.
6. At least five bicycle parking spaces shall be provided.
7. Dimensions of curbing and wheel stops shall be noted to protect vehicle overhang from encroaching landscaping areas.
8. The landscape plan's species list shall be approved administratively to ensure no plantings are invasive species and are hardy to Washtenaw County.

Offered By: Davis Jr.; Seconded By: Hollifield
Approved: Yes – 7; No – 0; Absent – 2 (Arthur, Smith)
Motion carried.

VII. Old Business

VIII. New Business

IX. Future Business Discussion / Updates

Commissioner Davis Jr. left the meeting at 9:39 pm.

X. Adjournment

Motion to adjourn at 9:53 pm.

Offered By: Donnelly; Seconded By: Bettis

Approved: Yes – 6; No – 0; Absent – 3 (Arthur, Davis Jr., Smith)



City of Ypsilanti Non-Motorized Advisory Committee

Bob Krzewinski
706 Dwight Street
Ypsilanti, MI 48198
wolverbob@gmail.com - 734-218-3307

November 11, 2022

Matt Dunwoodie - Chairman
City of Ypsilanti Planning Commission
1 South Huron Street
Ypsilanti, Michigan

Dear Matt

If the following business could be approved at the November 16, 2022 Planning Commission meeting it would be appreciated.

Reappointment of Non-Motorized Advisory Committee Members

As per section 1.b of the by-laws of the City of Ypsilanti Non-Motorized Advisory Committee...

"Committee members – The Committee Chairman shall select Committee members from City residents interested in serving on the Committee. Committee members will serve a two-year term of office, with Committee member appointments approved by the City of Ypsilanti Planning Commission. A Committee member's term starts on the date they are approved by the Planning Commission and expires on the last day of the month two years later."

- On July 31, 2022, the term Of Mike Davis Jr. expired and his reappointment is still pending approval from the Commission.
- On November 30, 2022 my term of office will expire and I would like to request reappointment to the Committee to serve another two-year term.

Thank you for your help on this matter and if there are any questions, please contact me.

Sincerely,
Bob Krzewinski
Chair - City of Ypsilanti Non-Motorized Advisory



City of Ypsilanti
Community & Economic Development Department

10/10/2022

**Staff Review of Limited Special Use Site Plan Review
212 N Summit**

GENERAL INFORMATION

Applicant: Stephen Jedele
4668 Freedom Dr.
Ann Arbor, MI 48108

Project: **3 Unit – Special Use at 212 N Summit**

Application Date: **09/28/2022**

Location: East side of N Summit between Sheridan and Grant

Zoning: CN-Mid – Core Neighborhood Mid

Action Requested: Special Use Site Plan Approval

Staff Recommendation: Denial

PROJECT AND SITE DESCRIPTION

212 N Summit (11-11-40-164-011) is a rental property purchased by Stephen Jedele in 2014. It is approximately 1,684 sq ft and the applicant states it was a 3-unit home when it was purchased. Building department records indicate it is a duplex since 2017 and the temporary certificate of Occupancy expired on 8/24/2022. The applicant is now seeking special use approval for the property as a Multiple Family Dwelling. The applicant writes the home currently has a three-bedroom unit and two – one-bedroom units. There are no proposed changes to the site itself.

Figure 1: Subject Site Location



Figure 2: Site Aerial (2020)

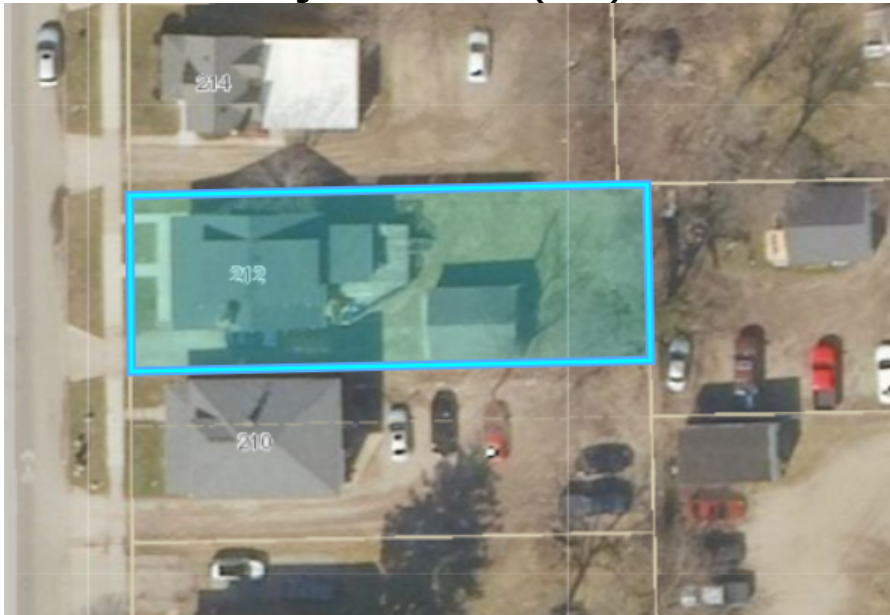


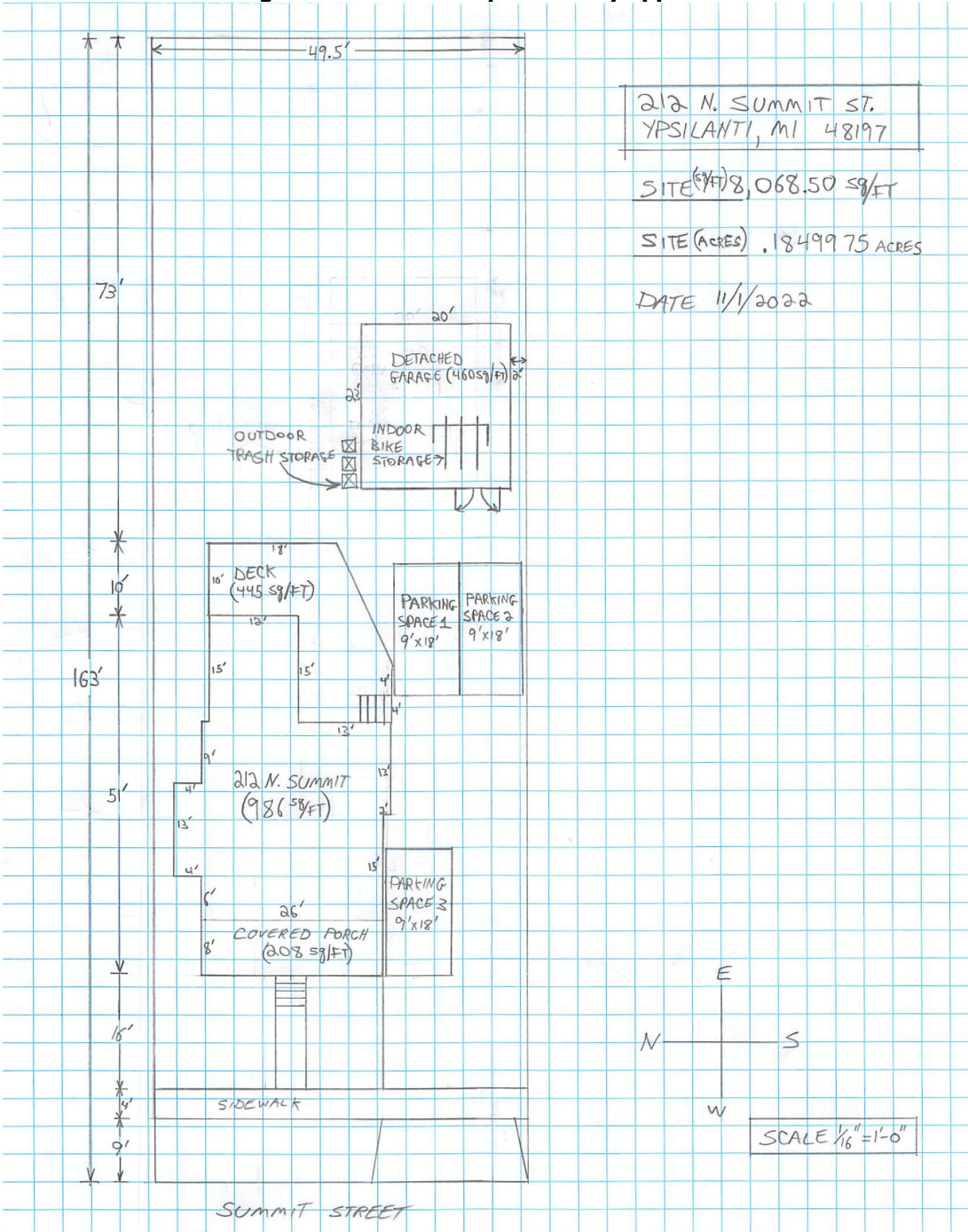
Figure 3: Photo of the site (Google Image, 2021)



Figure 4: Land Use and Zoning of Surrounding Area

	LAND USE	ZONING
NORTH	Residential	CN-Mid
EAST	Residential	CN-Core Neighborhood
SOUTH	Residential	CN-Mid
WEST	Residential	CN-Mid

Figure 5: Sketch Plan provided by applicant



SITE PLAN: CRITERIA AND REVIEW

§122-311

For zoning compliance reviews, or plans where a Special Use permit is required but no site changes will likely be needed, the applicant may, at the determination of the City Planner, submit a sketch plan for review in lieu of a full site plan per §122-126(19).

STANDING

§122-311(a)

The applicant is legally eligible to apply for site plan review, and all required information has been provided.

REQUIREMENTS

§122-311(b)

"The proposed site plan conforms to all the provisions and requirements, as well as the spirit and intent of this chapter and the Master Plan. The proposed development will meet all the regulations of the zoning district in which it is located."

Figure N: Building location and site arrangement.

ORDINANCE REFERENCE	REQUIRED		EXISTING CONDITIONS	PROPOSED
Sec. 122-468 BUILDING TYPE	Determined by lot size		House	Unchanged
LOT REQUIREMENTS				
Width ft	Min 30	Max 80	50	Unchanged
Depth ft	Min 100	Max --	146	Unchanged
Area sf	Min 3,000	Max 12,000	7,300	Unchanged
Coverage %	Min -	Max 60%	30%	Unchanged
BUILDING ENVELOPE AND HEIGHT				
Street setback ft	Min 15	Max 25	20	Unchanged
Side setback ft	Min 5	Max -	15	Unchanged
Rear setback ft	Min 20	Max -	30	Unchanged
Frontage buildout %	Min 60%	Max 80%	75%	Unchanged
Height stories	Min 1	Max 3	2 stories	Unchanged
PARKING PROVISIONS	Location: permitted in the side, street side, and rear		3 spots provided on side. 4.5 required per standard of 1.5 per dwelling unit – parking reductions	3 parking spaces provided, with parking reductions it meets the standard

Items to be addressed: None

BUILDING LOCATION AND SITE ARRANGEMENT

§122-311(c)

"All elements of the site plan shall be harmoniously and efficiently organized in relation to the character of the proposed use, the size and type of lot, the size and type of buildings, and the character of the adjoining property. The site shall be so developed as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter."

Items to be addressed: None

SITE ACCESS, TRAFFIC, AND PARKING

§122-311(d)

"With respect to vehicular and pedestrian circulation on the site, including walkways, interior drives, and parking; circulation shall to the extent possible create potential cross-and joint-access to adjacent parcels and the existing block layout. Special attention shall be given to the location, number and spacing of ingress and egress points; general interior circulation including turnaround areas; adequate provisions for delivery of services (trash removal, school buses, mail and parcel delivery); separation of pedestrian and vehicular traffic; avoidance of building corners next to access drives; identification of addresses; storage of plowed snow; and arrangement of parking areas that are safe and convenient, and insofar as practicable, do not detract from the design of the proposed buildings and structures, neighboring properties, pedestrian and bicyclist safety, access to transit and flow of traffic on adjacent streets. All buildings or groups of buildings shall be so arranged as to permit adequate access by emergency vehicles as required by the city building code."

Figure N: Site access, traffic and parking

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
§122-607 Building entrances	No principal building can be placed on a lot unless the building is situated in such a manner that the front entry into the building faces the street to which the property is addressed.	Front entrance does face street addressed	Unchanged
NC: §122-670 CIRCULATION STANDARDS	CN, C, HC, NC, GC, HHS: Sites <3 acres: circulation plan to ID potential cross and joint access to adjacent parcels Sites >3 acres: block plan	Less than 3 acres	Unchanged

	Easements: nonmotorized plan, ReImagine Washtenaw, other	None	Unchanged
§122-685 PARKING Dimensions	• 9'x18' minimum, exceptions if adjacent to wall or overhang provided • May have 20% small car (8'x16', signed) • May have 10% motorcycle (5x8', signed)	3 parking spaces provided all 9 x 18.	Unchanged
§122-685 BARRIER FREE	Barrier free parking spaces must be provided in accordance with the state barrier free design requirements.	None provided	Unchanged, one required
§122-683 Access	5' walkway from parking lot to parks, commercial, transit, walkways, institutions; raised/marked crosswalks within parking lot	5' walkway not present. No raised or marked crosswalks within parking lot	Unchanged
Ingress & Egress	• Aligned across ROW, or offset by 25' • >50' from intersection • 20'-30' driveway	Measures between 20 and 30 ft. measures less than 50 fifty ft. from intersection.	Unchanged
Vehicular Access	All parking spaces must be accessible to vehicles by means of maneuvering aisles. Except for one-and two-family uses, maneuvering or backing from a parking space directly onto a street or walkway shall be prohibited, and all parking spaces shall be designed so that any motor vehicle may be parked or unparked without moving another vehicle.	Parking spaces back out into the street.	Unchanged, this requirement is not met.
Internal Maneuvering	Each driveway providing access to an off-street parking lot containing five or more parking spaces shall be a minimum of ten feet in width. Minimum of 10' in width.	Each driveway is more than 10 ft wide	Unchanged
Surfacing	durable bonded material in accordance with accepted engineering standards, or alternative surfacing materials to minimize impervious surface and stormwater runoff	Crushed gravel	Unchanged

Drainage	Graded and drained to public storm sewers or alternate. No surface water shall be permitted to drain onto adjoining properties. No surface water drainage from an off-street parking lot shall be permitted to drain across a public sidewalk.	Unsure	Unchanged, no increase in impervious surface.
Setback from Street	Parking lot setbacks are designated by the zoning district in which they are located. An allowed exception are circular drives, which may be located in a required minimum front yard or street side yard, provided that such drives shall be designed so that no parking space is located closer than 25 feet to any street right-of-way line.	Parking lot setback is more than 25 feet from right of way line.	Unchanged
Striping	For parking lots containing five or more spaces, all spaces shall be outlined with three-inch wide strips of white or yellow paint, except that barrier-free spaces shall be blue, with a symbol of compliance in blue, and signed in accordance with the State Barrier-Free Code.	No striping provided	Unchanged
Wheel Stops	For parking lots containing five or more spaces or accessory to commercial uses, wheel stops or curbing shall be provided for all parking spaces to prevent any vehicle from projecting beyond the parking lot area, bumping any wall or fence, or encroaching upon any landscaping.	No wheel stops provided	Unchanged

	Lighting	With the exception of multiple-family dwellings on individual lots containing no more than four units, parking and loading facilities utilized during night-time hours shall be artificially illuminated. All such outdoor lighting shall meet the requirements of §122-609.	Not required because this is a multiple family dwelling containing no more than four units.	Unchanged
§122-684	Screening & Landscaping (internal)	1 tree per 8 spaces	Several trees on the site	Unchanged, 1 street tree required per 20 linear feet per Sec. 122-636.
		1 landscape island for each 16 spaces	0 landscaped islands	Unchanged
		Islands w trees: 9' wide min and 160' sf Islands w 5' min walkway: 11' wide min Islands: curbed or used for stormwater	0 landscaped islands	Unchanged
		All aisle-ends & corners protected w curbed island	None	Unchanged
		3' between curb and planting (5' if vehicle overhang)	None	Unchanged
	Screening & Landscaping (perimeter)	Screened in accordance with 703 if abutting R1, MD, CN, CN-Mid, CN-SF	No screening provided	Unchanged, screening is required
		3'-4' screen 80% opacity where visible from ROW	No screening provided	Unchanged, screening is required
		Landscaped areas, walls, structures, walks- must be protected by curbing	No landscaped areas protected by curbing	Unchanged
§122-691	Motor spaces	BY USE		
§122-693	Bicycle spaces	1 per 5 motor spaces, minimum of 2	none	2 bicycle spaces are proposed in detached garage
§122-692	Parking discounts	Transit	None	Unchanged
		Alternative Vehicles	None	Unchanged
		Bicycle	None	Unchanged
		PC discretion, special circumstances not listed above		
§122-672	SIDEWALKS	provide a sidewalk or shared-use path	Sidewalk is provided	Unchanged

§122-675	TRAFFIC VISIBILITY	Maintain shrubs/other obstructions lower than 30" and trees/other obstructions higher than 8': At driveway: within a 10'x10' triangle formed by the street ROW line and the edge of the driveway At intersection: within a 25' x 25' triangle formed by an extension of the property lines, as measured from the pavement edges.	Sufficient visibility at driveways and intersections	Unchanged
§122-695	Off-street loading	Commercial-5,000 – 19,999=1 space at 10' x 50'	No Off Street Loading	Unchanged

Items to be addressed: The existing site currently lacks any barrier free spaces; staff recommends requiring 1 barrier free spot. Under the parking plan provided all parking spaces must be accessible to vehicles by means of maneuvering aisles. This requirement has changed with the addition of a third unit and will not allow maneuvering or backing from a parking space directly onto a street as currently proposed. All parking spaces shall be designed so that any motor vehicle may be parked or unparked without moving another vehicle.

ENGINEERING & STORMWATER

§122-311(f), §122-311(g)

(6) Adequate services and utilities including sanitary sewers shall be available or provided, with sufficient capacity to properly serve the development. Appropriate measures will be taken to ensure that site drainage will not adversely affect adjoining properties or the capacity of the public storm drainage system, or nearby bodies of water. Provisions shall be made to accommodate stormwater and prevent soil erosion. All stormwater management facilities, including but not limited to storm sewers and detention/retention facilities, shall be designed in accordance with the "Rules of the Washtenaw County Water Resources Commissioner," together with any special provisions established by the city.

(7) Natural resources will be protected to the maximum feasible extent. The proposed development will not cause soil erosion or sedimentation problems, and will respect floodways or floodplains on or in the vicinity of the subject property.

No Engineering review required because there is no impervious surface changes, slope/grade issues, or utility issues.

Items to be addressed: None

SCREENING

§122-311(h)

"The site plan shall provide reasonable visual and sound privacy for all dwelling units on or adjacent to the property. Fences, walks, barriers, and landscaping shall be used, as appropriate, for protection and enhancement of the property. All outdoor storage of materials, loading and unloading areas, and refuse containers shall be screened or located so as not to be a nuisance. Outdoor lighting shall be shielded so as to not adversely affect neighboring properties or traffic on adjacent streets."

Figure N: Screening

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
§122-609 Lighting	• Dark Sky compliant; may be full cutoff where affecting residential uses • not >0.5 fc @ lot line • not >16'in height • not < 0.3 fc	Unknown	Unchanged, not required because less than 4 units.
§122-608 Refuse Containers	masonry enclosure 1' taller than dumpster (no less than 6'), in rear yard, 80% opaque swing door, on a concrete pad	Unknown	Applicant provides trash storage plan for carts next to garage, but it does not meet the requirements of §122-608
§122-631 Landscape plan		None provided	Unchanged
§122-634 Screening Between Land Uses <i>if conflicting use</i>	visual buffer of at least 80% opacity and 6' height	Not conflicting use	Unchanged
§122-636 Street Trees	1 tree per 30' of lineal frontage, centered between sidewalk and back of curb: 160'/30' = 6 trees	No street trees provided	Unchanged, 1 street tree required.
§122-638 Site Landscaping	10%	Meets requirement	Unchanged

Items to be addressed: Applicant provided a trash storage area with carts for three units sitting next to the garage. §122-608 requires any new or altered commercial use, including residential uses with three or more units, which requires zoning compliance review and has an outdoor trash storage area must comply with the following requirements: (a) No outdoor trash storage area may be located in any front yard or any required side yard setback which is adjacent to a street, unless there is no alternative as established by the City Planner or the Planning Commission. In no instance may any trash receptacle or dumpster be located within or block a designated parking space. (b) Any outdoor trash storage must be limited to normal refuse which is collected on a regular basis and must be maintained in a neat, orderly, and sanitary condition. This maintenance is the responsibility of the owner of the premises on which the containers are placed. (c) Adequate vehicular access must be provided to such containers for truck pickup either via a public alley or vehicular access aisle which does not conflict with the use of off-street parking spaces or entrances to or exits from principal buildings nearby. (d) All trash storage areas must be on a paved pad and must be screened with an enclosure at least one (1) foot taller than the dumpster. (f) Where a dumpster is the primary means of collecting refuse, the trash storage area must be on a concrete pad and screened with an enclosure at least six feet in height. The enclosure must be of a solid brick or masonry wall on three sides with an 80% opacity wooden swing door on the fourth side. 1 street tree is required.

OTHER DEPARTMENT AND AGENCY APPROVALS**§122-311(j)**

"Site plans shall conform to all applicable requirements of state and federal statutes, including health and pollution laws, fire or explosion hazards, toxic and hazardous materials, and barrier-free requirements. Site plan approval may be conditioned on the applicant receiving necessary county, state, or federal permits before a local building permit or occupancy permit is granted."

None Required

MASTER PLAN CONSIDERATIONS

§122-311(k)

"An objective of site plan review shall be to protect and promote public health, safety, sustainability and general welfare. It is also the intent of site plan review to improve the quality of existing developments as they are expanded, contracted, or redeveloped in keeping with sound site development standards of this chapter and city master plan."

Safety Comes First. The site layout prevents adequate parking to meet city requirements for multi-family uses more than 2.

STAFF RECOMMENDATIONS: SITE PLAN

Staff recommends the Planning Commission **deny** the Limited Special Use Site Plan for the 212 N Summit for the following reasons:

Considerations for Denial:

1. Applicant trash storage area plan does not meet the requirements of §122-608
2. All parking spaces must be accessible to vehicles by means of maneuvering aisles. Except for one- and two-family uses, maneuvering or backing from a parking space directly onto a street or walkway shall be prohibited, and all parking spaces shall be designed so that any motor vehicle may be parked or unparked without moving another vehicle. The site layout makes the standard for vehicular access required by §122-683 very difficult to meet.

Christopher Jacobs
Community Development Manager, Community & Economic Development Department

CC File



City of Ypsilanti

Community & Economic Development Department

November 16, 2022

**Zoning Text Amendment
Temporary Mobile Healthcare Establishment**

GENERAL INFORMATION

Applicant: Stephen Vecchi, 3060 Hilton Road

Application Date: October 28, 2022

Action Requested: Zoning Ordinance Text Amendment to allow temporary mobile healthcare establishment as an accessory use in the Center, Parks, PMD, GC, NC, and HHS zoning districts.

Staff Recommendation: Approval.

BACKGROUND

There is currently no known provision in the zoning ordinance to allow for mobile healthcare establishments. This zoning text amendment application seeks to allow for this new use in the Center, Parks, GC, NC, HHS zoning districts. This zoning text amendment applies to Article III: Development Procedures and Administration, Division 2: Permits, Subdivision III: Temporary Use Permits, Se. 122-335 Requirements. As the way people receive healthcare evolves with new technology offerings, we have been approached about permitting a new type of use not previously defined in the zoning ordinance. The closest approximate we must consider is the "temporary mobile food concession" definition which is how this language was modeled. The proposed zoning districts are predominately considered walkable urban districts with the notable exception of HHS. This exception is because health care uses are primarily provided in HHS and would be a good fit for this new type of accessory and temporary use.

Figure 1: Where Temporary Mobile Healthcare Establishment Uses shall be permitted

District	Temporary Mobile Healthcare Establishments
Parks	A
R1	--
Multifamily Residential	--
Production, Manufacturing, Distribution	A
Center	A
Core Neighborhoods (all 3 types)	--

Historic Corridor	--
Neighborhood Corridor	A
General Corridor	A
Health & Human Services	A

Zoning text amendments are reviewed by Planning Commission, who then gives a recommendation to City Council. The recommendation is made via motion and involves a report that will be transmitted to City Council. City Council has the ultimate authority to adopt the text amendment.

PROPOSED CHANGED TEXT

Removals are noted in strikethrough (~~strikethrough~~); additions are noted by underline (underline).

DIVISION 2.

SUBDIVISION 3: TEMPORARY USE PERMITS

Sec. 122-335 (i) Temporary mobile healthcare establishments. The City Planner may authorize a temporary special permit to temporary mobile healthcare establishments for no more than 365 consecutive days in one calendar year, with the following standards:

- (1) Permits expire on December 31st of each year.
- (2) Temporary mobile healthcare establishments are only permitted in Center, Parks, General Corridor, Neighborhood Corridor, and Health and Human Services zoning districts.
- (3) The area occupied by temporary mobile healthcare establishments and their accessory materials may not occupy more than 20% of the required parking spaces for the principal/permanent use(s) of the site. This requirement does not apply in Center or in Historic Corridor zoning districts.
- (4) Sanitary facilities shall be provided. This requirement may be met via a temporary sanitary facility such as a port-a-john or via an agreement with a neighboring establishment with the same operating hours as the temporary food establishment.
- (5) Operating hours shall be no later than 10pm Sunday through Thursday, and 11pm Friday and Saturday; nor any earlier than 7am on any day of the week.
- (6) No outdoor amplified music, sound, or noise shall be permitted. Outdoor generators shall be identified on the sketch plan; no outdoor generators shall be permitted within 200 feet of a property line that is not zoned Center, Parks, General Corridor, Neighborhood Corridor, or Health and Human Services zoning district.
- (7) All outdoor lighting shall be down-directed and fully shielded.

(8) The temporary mobile healthcare establishment and all accessory materials shall be located on a paved surface, or evidence submitted that placement on an unpaved surface will not increase stormwater runoff or pose an accessibility challenge for patrons who may use a mobility assistance device, such as a wheelchair or walker.

(9) A sketch plan of the proposed location shall be provided; location of any seating, waste containers, fuel storage, sanitary facilities, lighting, generators, or other accessory materials shall be shown.

(10) The standards in subsection (i) of this section also apply to temporary mobile food establishments.”

MASTER PLAN

The City of Ypsilanti Guiding Values state, “We can only achieve our vision by building a community amongst ourselves and with our neighbors”

Relationships are the key to success. While each group and neighborhood need space for themselves, the City thrives when we work together. The community includes not only those who live in the City, but those who work and study here and own businesses as well as Ypsilanti Community Schools, neighboring municipalities, the City of Ann Arbor and Washtenaw County.

The City of Ypsilanti Guiding Values also state, “Anyone can easily walk, bike, drive or take transit from anywhere in Ypsilanti and to anywhere else in Ypsilanti and beyond”

The citizens of Ypsilanti want a complete transportation system with room on the roads for cars, buses, bicycles, and pedestrians, including those in wheelchairs or with strollers. The City is committed to integrating into the emerging regional transit system while enhancing the walkability of the community.

Equity, Race, Ethnicity & Income Ypsilanti is a diverse community in terms of race, ethnicity and disability. The City prides itself on its reputation as welcoming to all.

- The city has a sizable African American population, comprising about 31.9% of the city’s population as of the 2010 Census. Approximately 3.9% of residents identified as Hispanic and 4.3% Asian according to the 2010 Census—while these numbers are relatively small, they have grown somewhat from the 2.5% Hispanic and 3.9% Asian in the 2000 Census.
- African American residents predominantly live in the southwestern portion of the city—Census 2010 data shows around 80% of residents in this area to be African American, though this level is down from 90% in 2000.
- When combined with the data showing this area to have substantially lower educational attainment level and household income, a distinct racial, economic, and educational segregation exists even in a small city like Ypsilanti.

- The City needs to focus on ensuring the residents of challenged areas receive a sufficient share of public resources to maintain equity.

OTHER COMMUNITIES

Mobile health clinics serve an important role in the health care system, providing care to some of the most vulnerable populations.

Mobile healthcare is an innovative model that delivers a wide variety of services to patients. These mobile clinics vary in service mix, patient demographics, and relationships with the fixed health system. Although access to care has increased in recent years through the Affordable Care Act, barriers continue to persist, particularly among populations living in resource-limited areas. Mobile clinics can improve access by serving as a vital link between the community and clinical facilities.

Examples of Mobile Healthcare Establishments Offered in Other Communities –

- Covid-19 Mobile Testing
- Bloodmobiles
- Health Outreach
- Mobile Dental
- Mobile Audiology
- Mobile Mammography
- Mobile Ophthalmology
- Telemedicine
- Laboratory
- Mobile Veterinary
- Simulation Lab

Case Study | Mobile Mammography

According to the Center for Disease Control and Prevention, mobile mammography programs in similar American cities and urban neighborhoods are promoting mammographic screening participation among underserved women. Apart from skin cancers, breast cancer is the most commonly diagnosed cancer in US women, accounting for 15.3% of new cancers (1). Why Ypsilanti's policy to promote equity pertains to breast health and providing resources –

- Although breast cancer deaths are declining, the mortality rate among women from medically underserved (hereafter, "underserved") communities is disproportionately high compared with rates in the general US female population. For example, breast cancer death rates among African American women (28.7 per 100,000) are 37% higher than the national average (20.9

per 100,000), and women living in poverty are 1.46 times more likely to die from breast cancer than those who are more affluent (1,2).

- Underserved women are defined as women with poor access to health care; compared with women without barriers to health care access, they are disproportionately from racial/ethnic minority groups, have a relatively low income, and have less education (3).
- Low-income women from racial/ethnic minority groups are 1.5 times as likely as their non-Hispanic white counterparts and 1.3 as likely as their higher-income counterparts to be diagnosed with late-stage cancers, which in part explains their lower breast cancer survival compared with the general US female population (4,5).
- Screening mammography is the only proven tool for detecting breast cancer in its early stages, yet many women from underserved communities do not adequately use mammograms (5,6). For example, African American mammographic screening rates are 19% lower than rates for non-Hispanic white women, and women living in high-poverty areas are 50% less likely than women living in higher-income areas to have received a mammogram in the previous 2 years (7,8).
- Multiple factors contribute to the lower screening rates of underserved women, ranging from socioeconomic and cultural factors to health system barriers (9,10).

Mobile mammography is one strategy for improving access to screening mammography. These programs typically provide screening mammograms at no cost or low cost and deliver services to women in their neighborhoods, eliminating cost and transportation barriers. Although mobile mammography has been used for more than 3 decades, little is known about participation among underserved women.

Suzanne Vang, PhD¹; Laurie R. Margolies, MD²; Lina Jandorf, MA¹ Suggested citation for this article: Vang S, Margolies LR, Jandorf L. Mobile Mammography Participation Among Medically Underserved Women: A Systematic Review. *Prev Chronic Dis* 2018;15:180291. DOI: <http://dx.doi.org/10.5888/pcd15.180291>

STANDARDS FOR AMENDMENTS

§122-362(a)

(a) Text Amendment. For a change to the text of the Zoning Ordinance, the Planning Commission shall consider, and the City Council may consider, whether the proposed amendment meets the following standards:

(1) The proposed amendment is consistent with the guiding values of the Master Plan; and

Applicable guiding values of the Master Plan include –

- **Diversity is our strength.** This proposed amendment maintains and improves comprehensive access to healthcare services among all of Ypsilanti's diverse communities equitably. The mobile healthcare establishment model may also improve the overall health of Ypsilanti by bringing disease prevention, screening and a whole host of medical services to places that are inherently more welcoming or easy to reach for a wider range of communities.
- **Ypsilanti is sustainable.** This action creates more points of access to healthcare and supports the use of alternative transportation such as biking, walking and public transit. This action also creates access to direct medical care, screening and protective measures that may lead to a more stable and healthier workforce, as well as the prevention of long-term illness, hospitalization or death.
- **A great place to do business, especially green and creative.** This action is an innovative solution to reduce barriers to medical services, such as time away from work or a small business – and may support a healthier workforce across the board through early detection, education and prevention.

(2) The rezoning is consistent with description and purpose of the proposed district, and.

The proposed amendment will be consistent with the uses and permissions that the Center, Parks, PMD, GC, NC, and HHS zoning districts already accommodate and limit. Furthermore, the proposed districts are appropriate for improving access to medical care by creating a location that is tailored to a broad range of populations and reduces a whole host of barriers to access that include time away from work or the need for confidentiality – as well as lack of transportation, connection or mobility.

(3) The proposed amendment is consistent with the intent of this Zoning Ordinance; and

Per §122-100, the intent of the ordinance is to promote the public health, safety, and welfare. In particular to:

- **Create a safe, diverse, and sustainable city;**
This proposed amendment supports meeting the healthcare needs of our diverse city in a safe, sustainable and locally customized way. Allowing for the temporary use of mobile healthcare establishments will promote equitable access to a range of medical services. It will grant the provisions of dignity and comfort for a diverse patient community, as well as a place that is safe to approach in a familiar, confidential and reachable setting.
- **Guide the location of places of residence, recreation, industry, trade, service, and other uses of land;**
This amendment is consistent with these uses by honoring the location and preventing the need to travel to centralized locations for a range of medical services.

- **Ensure that uses of the land shall be situated in appropriate locations and relationships;**

The proposed amendment would permit temporary mobile healthcare establishment as an accessory use in the Center, Parks, PMD, GC, NC, and HHS zoning districts. The intensity of use associated with the temporary mobile healthcare establishment is complementary to abutting single-family or core neighborhoods, including less intense multiple-family residential building types and uses.

- **Limit the inappropriate overcrowding of land and congestion of population and transportation systems and other public facilities;**

This amendment may prevent overcrowding and congestion by reducing the need for residing near or needing to travel to centralized medical institutions. Mobile healthcare establishments are well-suited and meet the requirements for patients seeking medical services in walkable urban districts.

(4) The proposed amendment will enhance the functionality, transportation network or character of the future development in the City; and

The change in the zoning ordinance has the potential to positively impact the City's functionality and transportation network. Temporary satellite medical service establishments target underserved areas and may be accessed via alternative modes of travel that include walking, biking and public transit. Further, the character of future development may be shaped and positively impacted by the delivery of healthcare services in a more community-focused and locally tailored way.

(5) The proposed amendment will preserve the historic nature of the surrounding area and of the City; and

Staff does not anticipate that this amendment will negatively affect the historic nature of the City.

(6) The proposed amendment will enhance the natural features and environmental sustainability of the City; and

Staff anticipates that this amendment will protect and preserve the natural features or environmental sustainability of the City by reducing the need for transportation to centralized medical institutions. Mobile healthcare establishments are well-suited and meet the requirements for patients seeking medical services in walkable urban districts.

(7) The proposed amendment will protect the health, safety, and general welfare of the public; or

This proposed amendment maintains and potentially secures comprehensive access healthcare and medical services among all of Ypsilanti's diverse communities equitably. The mobile healthcare establishment amendment may also mitigate a lack of public education concerning best health practices by bringing these services to places that are inherently more welcoming or easy to reach for a wider range of communities. This action is also an innovative solution to

reduce barriers to medical care and preventive healthcare services, such as time away from work or a small business – and may support a healthier workforce across the board.

(8) The proposed amendment is needed to correct an error or omission in the original text; or

The amendment does not correct an error.

(9) The proposed amendment will address a community need in physical or economic conditions or development practices; and

While it is not economically feasible or a viable solution to construct health clinics across the city, providing mobile medical stations on wheels is. This amendment and action can further improve the local economy by preventing illness or health issues through early detection and direct care among communities that have employment and transportation barriers to centralized medical locations. Protecting our local employees, entrepreneurs and service providers from social and physical health difficulties fully addresses the broader community's economic conditions. Additionally, the delivery of healthcare services in a more community-focused and locally tailored way may shape and positively impact future development plans.

(10) The proposed amendment will not result in the creation of significant nonconformities in the City.

The proposed amendment will not result in a significant creation of nonconformities.

STAFF RECOMMENDATION

Staff recommends the Planning Commission recommend **approval** of the text amendment with the following findings:

1. The amendment is consistent with the guiding values of the Master Plan.
 - **Diversity is our strength.** This proposed amendment maintains and improves comprehensive access to healthcare services among all of Ypsilanti's diverse communities equitably.
 - **Ypsilanti is sustainable.** This action creates more points of access to healthcare and supports the use of alternative transportation such as biking, walking and public transit.
 - **A great place to do business, especially green and creative.** This action is an innovative solution to reduce barriers to medical services, such as time away from work or a small business – and may support a healthier workforce across the board through early detection, education and prevention.
2. The amendment is consistent with the description and purpose of the district.
 - The proposed districts are appropriate for improving access to medical care by creating a location that is tailored to a broad range of populations and reduces a whole host of barriers to access that include time away from work or the need for confidentiality – as well as lack of transportation, connection or mobility.

3. The proposed amendment is consistent with the intent of the zoning ordinance.
 - In summary, the intensity of use associated with temporary mobile healthcare establishment is complementary to abutting single-family or core neighborhoods, including less intense multiple-family residential building types and uses.
 - The proposed amendment will permit a temporary use that provides equitable access to a range of medical services and ensures dignity and comfort for the patient community.
 - The mobile medical service creates a place that is safe to approach in a familiar, confidential and reachable setting.
 - The temporary mobile healthcare establishment protects the rights of all patients to access preventive care that promotes a quality of life that may be threatened without access to safe, reachable services.
4. The proposed amendment will enhance the functionality and character of the future development in the City.
 - Temporary mobile medical service establishments target underserved areas and may be accessed via alternative modes of travel that include walking, biking and public transit.
 - Further, the character of future development may be shaped and positively impacted by the delivery of healthcare services in a more community-focused and locally tailored way.
5. The proposed amendment will enhance the environmental sustainability of the City and not negatively affect its natural features.
 - Staff anticipates that this amendment will protect and preserve the natural features or environmental sustainability of the City by reducing the need for transportation to centralized medical institutions.
 - Mobile healthcare establishments are well-suited and meet the requirements for patients seeking medical services in walkable urban districts.
6. The proposed amendment will protect the health, safety, and general welfare of the public.
 - Staff maintains that the amendment promises to assure comprehensive access healthcare and medical services among all of Ypsilanti's diverse communities equitably.
 - The mobile healthcare establishment amendment may increase public education concerning best health practices by bringing these services to places that are inherently more welcoming or easy to reach for a wider range of communities.
 - This action is also an innovative solution to reduce barriers to medical care and preventive healthcare services, such as time away from work or a small business – and may support a healthier workforce across the board.
7. The proposed amendment will address a community need in economic conditions.

- This amendment and action may improve the local economy by preventing illness or health issues through early detection and direct care among communities that have employment and transportation barriers to centralized medical locations.

8. The proposed amendment will not result in the creation of significant nonconformities.

Holli Andrews, MCPD
City Planner
Community & Economic Development Division
Cc File



City of Ypsilanti
Community & Economic Development Department

11/16/2022

**Staff Review of Sketch Plan
599 S Mansfield**

GENERAL INFORMATION

Applicant: Sky Holdings Group LLC
191 Hiscock St
Ann Arbor, MI 48103

Project: **Auto Repair, Towing, Vehicle Storage – 599 S Mansfield**

Application Date: **10/19/2022**

Location: South side of S Mansfield

Zoning: PMD – Production, Manufacturing, and Distribution

Action Requested: Sketch Plan Approval

Staff Recommendation: Approval with conditions

PROJECT AND SITE DESCRIPTION

599 S Mansfield (11-11-37-230-012) is vacant industrial property purchased by Sky Holdings LLC in 2022. It is approximately 14,000 sq ft on 4.64 acres. Sky Holdings LLC is requesting the necessary approvals and permits to allow for interior renovations to the existing building for use as an automobile repair, towing, and vehicle storage facility. The existing building will remain and will undergo renovations to provide new automobile repair stalls. Towing and vehicle storage operations will be accommodated within the existing fenced area north of the building. Site work will be limited to pavement striping and wheel stops for new parking spaces along the west side of the existing building, as well as a small concrete pad with 2 bike hoops. All existing pavement areas and trees/landscaping will remain. No new impervious area will be added to the site as part of the re-use project aside from the 48 sq ft concrete pad for new bike hoops.

Figure 1: Subject Site Location (WC GIS, 2020)

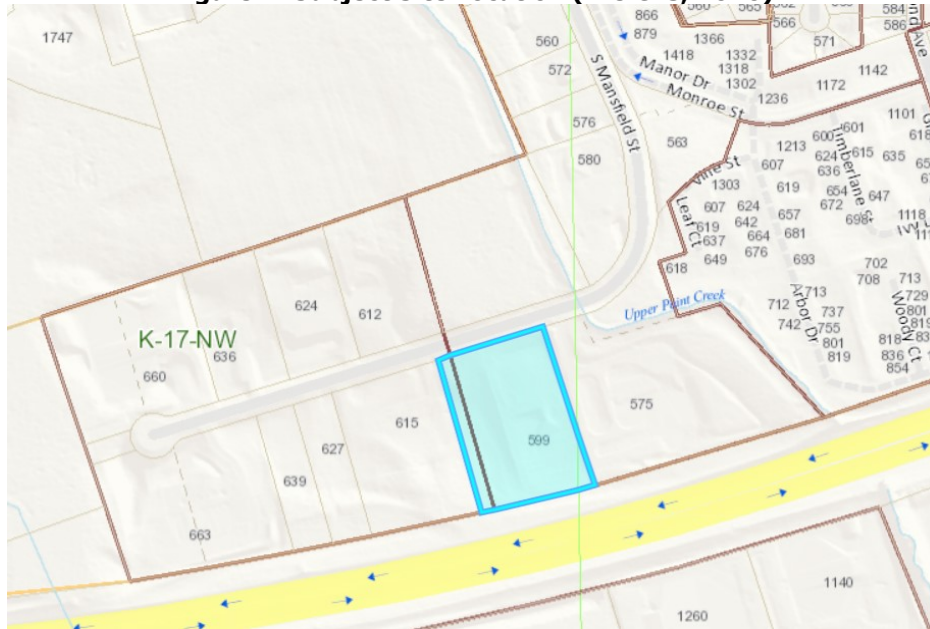


Figure 2: Site Aerial (Google Earth, 2022)



Figure 3: Photo of the site (Google Image, 2021)



Figure 4: Land Use and Zoning of Surrounding Area

	LAND USE	ZONING
NORTH	Vacant	PMD
EAST	Industrial	PMD
SOUTH	Highway	N/A
WEST		PMD

SITE PLAN: CRITERIA AND REVIEW

§122-311

For zoning compliance reviews, or plans where a Special Use permit is required but no site changes will likely be needed, the applicant may, at the determination of the City Planner, submit a sketch plan for review in lieu of a full site plan per §122-126(19).

STANDING

§122-311(a)

The applicant is legally eligible to apply for site plan review, and all required information has been provided.

REQUIREMENTS

§122-311(b)

"The proposed site plan conforms to all the provisions and requirements, as well as the spirit and intent of this chapter and the Master Plan. The proposed development will meet all the regulations of the zoning district in which it is located."

Figure N: Building location and site arrangement.

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
Sec. 122-468 BUILDING TYPE	Not applicable	Industrial	Unchanged
LOT REQUIREMENTS			

ORDINANCE REFERENCE	REQUIRED		EXISTING CONDITIONS	PROPOSED
Width ft	Min Determined by the use and the required off-street parking, loading, screening and yard setbacks	Max --	360 ft	Unchanged
Depth ft	Min "	Max --	561.64	Unchanged
Area sf	Min "	Max --	202,118 ft	Unchanged
Coverage %	Min -	Max 90%	36.5%	Unchanged
BUILDING ENVELOPE AND HEIGHT				
Street setback ft	Min 25	Max --	298 ft	Unchanged
Side setback ft	Min 15	Max --	East 50 ft and West 220 ft	Unchanged
Rear setback ft	Min 20	Max --	122 ft	Unchanged
Frontage buildout %	Min N/A	Max N/A	N/A	Unchanged
Height stories	Min	Max	1 story	Unchanged
PARKING PROVISIONS	Location: permitted in the side, street side, and rear		8 spaces provided	16 spaces proposed

Items to be addressed: None

BUILDING LOCATION AND SITE ARRANGEMENT

§122-311(c)

"All elements of the site plan shall be harmoniously and efficiently organized in relation to the character of the proposed use, the size and type of lot, the size and type of buildings, and the character of the adjoining property. The site shall be so developed as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter."

Items to be addressed: None

SITE ACCESS, TRAFFIC, AND PARKING

§122-311(d)

"With respect to vehicular and pedestrian circulation on the site, including walkways, interior drives, and parking; circulation shall to the extent possible create potential cross-and joint-access to adjacent parcels and the existing block layout. Special attention shall be given to the location, number and spacing of ingress and egress points; general interior circulation including turnaround areas; adequate provisions for delivery of services (trash removal, school buses, mail and parcel delivery); separation of pedestrian and vehicular traffic; avoidance of building corners next to access drives; identification of addresses; storage of plowed snow; and arrangement of parking areas that are safe and convenient, and insofar as practicable, do not detract from the design of the proposed buildings and structures, neighboring properties, pedestrian and bicyclist safety, access to transit and flow of traffic on adjacent streets. All buildings or groups of buildings shall be so arranged as to permit adequate access by emergency vehicles as required by the city building code."

Figure N: Site access, traffic and parking

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
§122-607 Building entrances	No principal building can be placed on a lot unless the building is situated in such a manner that the front entry into the building faces the street to which the property is addressed.	Front entrance does face street addressed	Unchanged
NC: §122-670 CIRCULATION STANDARDS	CN, C, HC, NC, GC, HHS: Sites <3 acres: circulation plan to ID potential cross and joint access to adjacent parcels Sites >3 acres: block plan	More than 3 acres	Circulation plan provided
	Easements: nonmotorized plan, ReImagine Washtenaw, other	None	Unchanged
§122-685 PARKING Dimensions	9'x18' minimum, exceptions if adjacent to wall or overhang provided - May have 20% small car (8'x16', signed) - May have 10% motorcycle (5x8', signed)	Spaces not striped with appropriate dimensions	16 spaces striped and 1 barrier free space, all appropriate dimensions
§122-685 BARRIER FREE	Barrier free parking spaces must be provided in accordance with the state barrier free design requirements.	None provided	1 proposed barrier free space

§122-683	Access	5' walkway from parking lot to parks, commercial, transit, walkways, institutions; raised/marked crosswalks within parking lot	5' walkway not present. No raised or marked crosswalks within parking lot	5' walkway proposed from parking lot to office building
	Ingress & Egress	• Aligned across ROW, or offset by 25' • >50' from intersection • 20'-30' driveway	Meets requirements for ingress and egress	Unchanged
	Internal Maneuvering	Each driveway providing access to an off-street parking lot containing five or more parking spaces shall be a minimum of ten feet in width. Minimum of 10' in width.	Each driveway is more than 10 ft wide	Unchanged
	Surfacing	durable bonded material in accordance with accepted engineering standards, or alternative surfacing materials to minimize impervious surface and stormwater runoff	Crushed gravel	Bituminous
	Drainage	Graded and drained to public storm sewers or alternate. No surface water shall be permitted to drain onto adjoining properties. No surface water drainage from an off-street parking lot shall be permitted to drain across a public sidewalk.	Unknown	Unchanged, Drainage must be provided in accordance with §122-683.
	Setback from Street	Parking lot setbacks are designated by the zoning district in which they are located. An allowed exception are circular drives, which may be located in a required minimum front yard or street side yard, provided that such drives shall be designed so that no parking space is located closer than 25 feet to any street right-of-way line.	More than 10 ft provided from front, side, and yard yards.	Unchanged,

	Striping	For parking lots containing five or more spaces, all spaces shall be outlined with three-inch wide strips of white or yellow paint, except that barrier-free spaces shall be blue, with a symbol of compliance in blue, and signed in accordance with the State Barrier-Free Code.	No striping provided	striping proposed
	Wheel Stops	For parking lots containing five or more spaces or accessory to commercial uses, wheel stops or curbing shall be provided for all parking spaces to prevent any vehicle from projecting beyond the parking lot area, bumping any wall or fence, or encroaching upon any landscaping.	No wheel stops provided	Unchanged, wheel stops required
	Lighting	With the exception of multiple-family dwellings on individual lots containing no more than four units, parking and loading facilities utilized during night-time hours shall be artificially illuminated. All such outdoor lighting shall meet the requirements of §122-609.	No lighting plan provided	Unchanged, lighting plan/photometric plan required
	§122-684 Screening & Landscaping (internal)	1 tree per 8 spaces	Several trees on the site	5 trees provided
	Screening & Landscaping (internal)	1 landscape island for each 16 spaces	0 landscaped islands	2 landscaped islands proposed
		Islands w trees: 9' wide min and 160' sf Islands w 5' min walkway: 11' wide min Islands: curbed or used for stormwater	0 landscaped islands	Proposed landscaped islands must be curbed
		All aisle-ends & corners protected w curbed island	None	Unchanged
		3' between curb and planting (5' if vehicle overhang)	None	Unchanged
		Screened in accordance with 703 if abutting R1, MD, CN, CN-Mid, CN-SF	NA	
	Screening & Landscaping (perimeter)	3'-4' screen 80% opacity where visible from ROW	Screening provided on front yard.	Unchanged

		Landscaped areas, walls, structures, walks- must be protected by curbing	none	Unchanged, curbing required
§122-691	Motor spaces	BY USE		
§122-693	Bicycle spaces	1 per 5 motor spaces, minimum of 2	none	2 bike spaces provided
§122-692	Parking discounts	Transit	None	Unchanged
		Alternative Vehicles	None	Unchanged
		Bicycle	None	Unchanged
		PC discretion, special circumstances not listed above		
§122-672	SIDEWALKS	provide a sidewalk or shared-use path	none	Unchanged, sidewalk required.
§122-675	TRAFFIC VISIBILITY	Maintain shrubs/other obstructions lower than 30" and trees/other obstructions higher than 8': At driveway: within a 10'x10' triangle formed by the street ROW line and the edge of the driveway At intersection: within a 25' x 25' triangle formed by an extension of the property lines, as measured from the pavement edges.	Sufficient visibility at driveways and intersections	Unchanged
§122-695	Off-street loading	Commercial-5,000 – 19,999=1 space at 10' x 50'	Meets requirement	Unchanged

Items to be addressed:

Curbing required, wheel stops required,

ENGINEERING & STORMWATER**§122-311(f), §122-311(g)**

(6) Adequate services and utilities including sanitary sewers shall be available or provided, with sufficient capacity to properly serve the development. Appropriate measures will be taken to ensure that site drainage will not adversely affect adjoining properties or the capacity of the public storm drainage system, or nearby bodies of water. Provisions shall be made to accommodate stormwater and prevent soil erosion. All stormwater management facilities, including but not limited to storm sewers and detention/retention facilities, shall be designed in accordance with the "Rules of the Washtenaw County Water Resources Commissioner," together with any special provisions established by the city.

(7) Natural resources will be protected to the maximum feasible extent. The proposed development will not cause soil erosion or sedimentation problems, and will respect floodways or floodplains on or in the vicinity of the subject property.

No Engineering review required because there is no impervious surface changes, slope/grade issues, or utility issues.

Items to be addressed: None

SCREENING**§122-311(h)**

"The site plan shall provide reasonable visual and sound privacy for all dwelling units on or adjacent to the property. Fences, walks, barriers, and landscaping shall be used, as appropriate, for protection and enhancement of the property. All outdoor storage of materials, loading and unloading areas, and refuse containers shall be screened or located so as not to be a nuisance. Outdoor lighting shall be shielded so as to not adversely affect neighboring properties or traffic on adjacent streets."

Figure N: Screening

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
§122-609 Lighting	• Dark Sky compliant; may be full cutoff where affecting residential uses • not >0.5 fc @ lot line • not >16'in height • not < 0.3 fc	Unknown	Unchanged, lighting plan/photometric plan required
§122-608 Refuse Containers	masonry enclosure 1' taller than dumpster (no less than 6'), in rear yard, 80% opaque swing door, on a concrete pad	Not shown	Applicant must provide plan for trash storage areas.
§122-631 Landscape plan		None	Landscape plan provided
§122-634 Screening Between Land Uses <i>if conflicting use</i>	visual buffer of at least 80% opacity and 6' height	Not conflicting use	Unchanged
§122-636 Street Trees	1 tree per 30' of lineal frontage, centered between sidewalk and back of curb: 160'/30' = 6 trees	None	3 street trees provided
§122-638 Site Landscaping	10%	Meets requirement	Unchanged

Items to be addressed: Applicant shall provide a plan for trash storage area. Any new or altered commercial use, including residential uses with three or more units, which requires zoning compliance review and has an outdoor trash storage area must comply with the following requirements: (a) No outdoor trash storage area may be located in any front yard or any required side yard setback which is adjacent to a street, unless there is no alternative as established by the City Planner or the Planning Commission. In no instance may any trash receptacle or dumpster be located within or block a designated parking space. (b) Any outdoor trash storage must be limited to normal refuse which is collected on a regular basis and must be maintained in a neat, orderly, and sanitary condition. This maintenance is the responsibility of the owner of the premises on which the containers are placed. (c) Adequate vehicular access must be provided to such containers for truck pickup either

via a public alley or vehicular access aisle which does not conflict with the use of off-street parking spaces or entrances to or exits from principal buildings nearby. (d) All trash storage areas must be on a paved pad and must be screened with an enclosure at least one (1) foot taller than the dumpster. (f) Where a dumpster is the primary means of collecting refuse, the trash storage area must be on a concrete pad and screened with an enclosure at least six feet in height. The enclosure must be of a solid brick or masonry wall on three sides with an 80% opacity wooden swing door on the fourth side.

OTHER DEPARTMENT AND AGENCY APPROVALS

§122-311(j)

"Site plans shall conform to all applicable requirements of state and federal statutes, including health and pollution laws, fire or explosion hazards, toxic and hazardous materials, and barrier-free requirements. Site plan approval may be conditioned on the applicant receiving necessary county, state, or federal permits before a local building permit or occupancy permit is granted."

None Required

MASTER PLAN CONSIDERATIONS

§122-311(k)

"An objective of site plan review shall be to protect and promote public health, safety, sustainability and general welfare. It is also the intent of site plan review to improve the quality of existing developments as they are expanded, contracted, or redeveloped in keeping with sound site development standards of this chapter and city master plan."

STAFF RECOMMENDATIONS: SITE PLAN

Staff recommends the Planning Commission *approve* with conditions the Sketch Plan Review for the 599 S Mansfield for the following reasons:

Conditions:

1. Applicant must provide trash storage plan.
2. Applicant must provide photometric / lighting plan.
3. Applicant must provide curbing at landscaped islands and wheel stops in parking spaces.
4. Applicant must provide sidewalk.
5. The entire lot, excluding areas occupied by landscaping and building, must be hard-surfaced with concrete or plant-mixed bituminous material. Curbs of at least six inches in height must be installed around the perimeter of all surfaced areas. Drainage must be provided in accordance with §122-683.
6. The storage, sale or rental of new or used automobiles, trucks, trailers, and any other vehicles on the premises is prohibited. Vehicles awaiting repair, or inoperable, wrecked, or partially dismantled vehicles, must not be stored or parked outside for a period exceeding seven days.

Christopher Jacobs
Community Development Manager, Community & Economic Development Department

CC File

Sketch Plan Review | 599 S Mansfield | October 24, 2022



M I D W E S T E R N
C O N S U L T I N G

3815 Plaza Drive
Ann Arbor, Michigan 48108
734.995.0200

Land Development • Land Surveying • Municipal • Wireless Communications • Institutional • Transportation • Landfill Services

November 9, 2022

City of Ypsilanti
Community & Economic Development Department
One South Huron Street, 3rd Floor
Ypsilanti, Michigan 48197

Attn: Mr. Christopher Jacobs

Re: 599 S Mansfield – Auto Repair, Towing, Vehicle Storage
Sketch Plan Review
Midwestern File No.: 22220

Dear Mr. Jacobs:

Midwestern Consulting has previously submitted documents for review for the proposed re-use project at 599 S Mansfield, and has received review comments from City staff. We have revised the plans to incorporate the requested changes, and offer the following as a response to the comments and description of changes.

Staff Review of Sketch Plan – Christopher Jacobs – November 1, 2022

1. Applicant must provide trash storage plan.
The Sketch Plan has been updated to include the existing trash enclosure and garbage truck turning movements.
2. Applicant must provide photometric / lighting plan.
The Sketch Plan has been updated to include the locations of existing lighting on site. No additional lighting is currently being proposed.
3. Applicant must provide curbing at landscaped islands and wheel stops in parking spaces.
Wheel stops have been provided at all existing and proposed parking spaces. Curbing does not currently exist on site and is not part of the current project. No site improvements are currently being proposed commensurate with the level of additional work that would be required to install curbing. Additionally, the addition of curbing would disrupt current drainage patterns across the site.
4. Applicant must provide sidewalk.
Sidewalks do not currently exist on S Mansfield Street or along the south side of Michigan Avenue near the intersection with S Mansfield Street. In lieu of installing sidewalk along the frontage of this property that has no connectivity, the Applicant will provide a contribution to the City's fund for future sidewalk installation.
5. The entire lot, excluding areas occupied by landscaping and building, must be hard-surfaced with concrete or plant-mixed bituminous material. Curbs of at least six inches in height must be installed around the perimeter of all surfaced areas. Drainage must be provided in accordance with §122-683.
All areas of the site not occupied by landscaping or building are currently hard-surfaced with concrete or asphalt. Curbs do not currently exist on site, consistent with the adjacent developed sites along S

Mansfield Street, and are not proposed as part of the current project. The Sketch Plan has been updated to include a Drainage Plan, as requested.

6. The storage, sale or rental of new or used automobiles, trucks, trailers, and any other vehicles on the premises is prohibited. Vehicles awaiting repair, or inoperable, wrecked, or partially dismantled vehicles, must not be stored or parked outside for a period exceeding seven days.

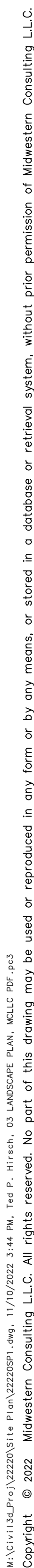
Vehicles awaiting repair, or inoperable, wrecked, or partially dismantled vehicles will not be stored or parked outside for a period exceeding seven days. The vehicle impound area may store vehicles in excess of seven days that do not meet those criteria.

Should you have any further concerns or have further questions, please feel free to contact Ted Hirsch by phone at 734-995-0200 or email at tph@midwesternconsulting.com. We look forward to your feedback.

Sincerely,
MIDWESTERN CONSULTING LLC

A handwritten signature in black ink, appearing to read "Ted Hirsch", with a stylized flourish at the end.

Ted Hirsch
Project Manager



NOTES:

1. PRUNE 20% OF BRANCHES RETAINING NORMAL PLANT SHAPE.
2. TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IN NURSERY.
3. STAKING IS ONLY REQUIRED IF THE SITE IS WINDY OR THE TREES ARE GREATER THAN 3" CALIPER. IF TREES MUST BE STAKED, THE STAKED SHALL BE REMOVED IN ONE YEAR.

SCALE: 1" = 30'



A horizontal scale bar with alternating black and white segments. Below the bar are numerical markers at 0, 30, 60, and 90, representing feet.

 PROPOSED CANOPY TREE
 (PARKING LOT LANDSCAPING)

 PROPOSED CANOPY TREE
 (STREET TREE)

EXISTING TREE TO REMAIN

	Allowed/ Required	Proposed
Conflicting Land Use Screening		
When a PMD zoning district abuts any other zoning district	6ft screening - wall/fence with 80% opacity; evergreen shrubs	Not Applicable - Site is surrounded by other properties zoned PMD
Street Trees		
	1 tree per 301f 3601f / 301f = 12 trees required	9 existing trees to remain, 3 proposed trees; Waiver requested to allow street trees to be planted on the subject property along the ROW due to existing overhead utilities within ROW
Foundation Landscaping		
	Not required in PMD zoning district	Not Applicable
Site Landscaping		
	10% site area 202,118sf x 10% = 20,212sf	63.5% (128,350sf) provided
Parking Lot Landscaping		
Interior islands	160sf per island; 9 ft wide min.; 16 spaces continuous max.	Landscape areas provided at ends of existing parking on south side of building; no islands provided adjacent to west side of building due to locations of existing overhead doors and drive aisles
Interior island trees	1 tree per 8 parking spaces 16 spaces / 8 = 2 trees required	2 trees provided adjacent to parking on south side of building
ROW screening	parking viewed from ROW - screening, 80% opacity; 3ft min / 4ft max	Vehicle impound area screened from S Mansfield Street by existing vegetation; parking on south side of building screened from I-94 by existing vegetation

Qty	Symbol	Botanical Name	Common Name	Size	Cont	Spacing	Notes
Street Trees							
3	ZS	<i>Zeikova serrata</i>	Japanese Zeikova	2.5" cal	B&B	20' o.c.	
Parking Island Trees							
2	AR	<i>Acer rubrum 'Autumn Blaze'</i>	Autumn Blaze Red Maple	2.5" cal	B&B	As Shown	

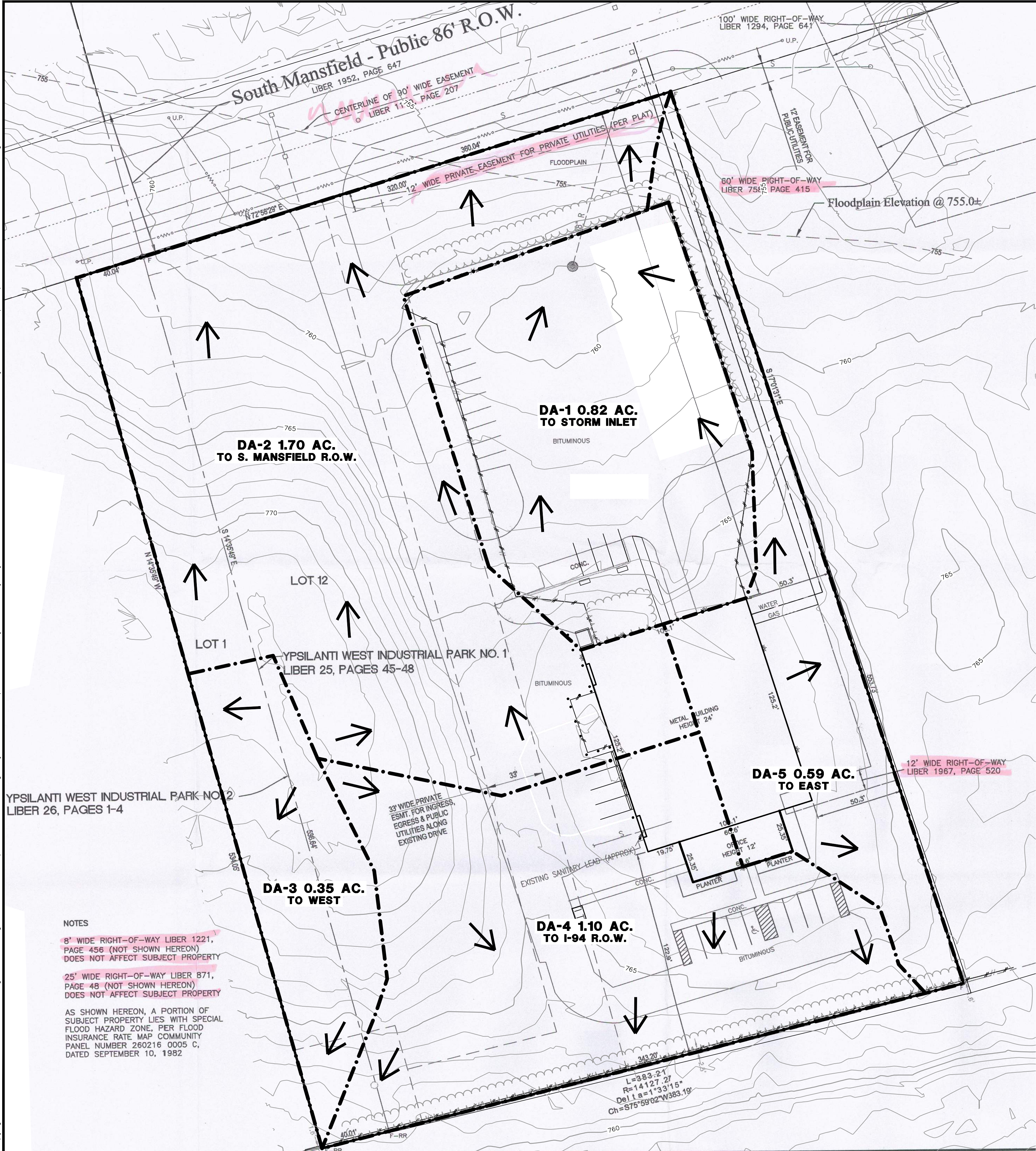
1. For any plant quantity discrepancies between the plan view and the plant schedules, the plant schedule shall take precedence.
2. Plant materials shall be selected and installed in accordance with standards established by the City of Ypsilanti.
3. All diseased, damaged or dead material shown on the site plan as proposed plantings shall be replaced by the end of the following growing season.
4. After the first growing season, only fertilizers that contain NO phosphorus shall be used on the site.
5. Deciduous plants shall be planted between March 1 and May 15 and from October 1 until the prepared soil becomes frozen. Evergreen plants shall be planted between March 1 and June 1 and from August 15 to September 15.
6. All trees to be located a minimum of 10 feet from public utilities.
7. All single trunk, deciduous trees shall have a straight and a symmetrical crown with a central leader. One sided trees or those with thin or open crowns shall not be accepted.
8. All compacted subgrade soils in proposed landscape areas shall be tilled to a minimum 12-inch depth prior to placement of topsoil, geotextile fabric, or other planting media as specified.
9. Proposed trees will be planted a minimum of 15 feet apart.
10. Topsoil and compost shall meet most recent issue of MDOT standard specifications for Topsoil and Compost.
11. Planting Soil: Existing, in-place or stockpiled topsoil. Supplement with imported topsoil as needed. Verify suitability by existing surface soil to produce viable planting soil. Final approval of soil composition shall be provided by the landscape contractor. Remove stones, roots, plants, sod, clods, clay lumps, pockets of concrete, concrete slurry, concrete layers or chunks, cement, plaster, building debris, and other extraneous materials harmful to plant growth. Mix surface soil with the following soil amendments to produce planting soil:
 - a. Ratio of Loose Compost to Topsoil by Volume: 1:4.
 - b. Weight of Lime per 1,000 Sq. Ft.: Amend with lime only on recommendation of soil test to adjust soil pH.
 - c. Weight of Sulfur or Aluminum Sulfate per 1,000 Sq. Ft.: Amend with sulfur or aluminum sulfate only on recommendation of soil test to adjust soil pH.
 - d. Volume of Sand: Amend with sand only on recommendation of Landscape Architect to adjust soil texture.
 - e. Weight of Slow-Release Fertilizer per 1,000 Sq. Ft.: Amend with fertilizer only on recommendation of soil test to adjust soil fertility.

Maintenance:

Maintenance:

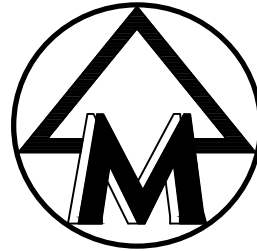
1. Maintain plantings by pruning, cultivating, watering, weeding, fertilizing, mulching, restoring planting saucers, adjusting and repairing tree-stabilization devices, resetting to proper grades or vertical position, and performing other operations as required to establish healthy, viable plantings. Spray or treat as required to keep trees and shrubs free of insects and disease.
2. Fill in as necessary soil subsidence that may occur because of settling or other processes. Replace mulch materials damaged or lost in areas of subsidence.
3. Apply treatments as required to keep plant materials, planted areas, and soils free of pests and pathogens or disease. Use integrated pest management practices whenever possible to minimize the use of pesticides and reduce hazards. Treatments include physical controls such as hosing off foliage, mechanical controls such as traps, and biological control agents.
4. Contractor shall warrant all plant material and trees to remain alive and be in healthy, vigorous and like new condition for the period of the warranty installation to Substantial Completion. The entire Landscaping Project, including but not limited to: plants (perennials), trees, shrubs, mulches, shrubs, etc are to be under Warranty for One Year after Substantial Completion date of the Project. At the end of the specified One Year Warranty period the Owner's Representative will inspect plant material for compliance. Contractor shall replace, in accordance with the drawings and specifications, all plants, trees, shrubs, etc or as determined by the Owner's Representative, are in an unhealthy or unsightly condition. Warranty shall not include damage or loss of plants, trees, and shrubs caused by fires, floods, freezing rains, lightning storms, or weather over 75 mph winds. Negligence or mismanagement on the part of the owner, or any other incident beyond landscape contractor's control.
5. Erosion shall be repaired by the contractor.

M:\C\1134\Proj\22220\Site Plan\22220SW.dwg, 11/10/2022 3:38 PM, Ted P. Hirsch, 04 SITE DRAINAGE PLAN, MCLLC PDF, P.2
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Legend

- EXIST. STORM SEWER
- EXIST. SANITARY SEWER
- EXIST. WATER MAIN
- EXIST. GAS
- FENCE
- EXIST. HYDRANT
- EXIST. GATE VALVE IN WELL
- EXIST. MANHOLE
- EXIST. CATCH BASIN/INLET
- CENTERLINE
- END SECTION/HEAD WALL
- EXIST. SIGN
- FOUND MONUMENT
- FOUND PIPE
- FOUND REROID
- TREE OR BRUSH LIMIT
- DRAINAGE AREA BOUNDARY
- DRAINAGE AREA IN ACRES
- EXISTING DRAINAGE DIRECTION



SCALE: 1" = 30'

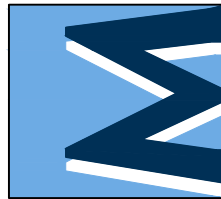
STORM WATER NARRATIVE

- THERE IS ONE EXISTING STORM INLET ON-SITE, WHICH IS AT THE NORTH END OF WHAT IS PROPOSED TO BE THE VEHICLE IMPOUND AREA. THIS INLET APPEARS TO BE CAPTURING APPROXIMATELY 0.82 ACRES OF THE SITE, MOST OF WHICH IS IMPERVIOUS SURFACES. THE CONNECTED STORM SEWER THEN CONVEYS THIS OUT TO THE EXISTING STORM SEWER IN THE S. MANSFIELD R.O.W. THERE DOES NOT APPEAR TO BE ANY EXISTING STORM WATER DETENTION FACILITIES.
- AN AREA OF APPROXIMATELY 0.35 ACRES - CONSISTING ENTIRELY OF PERVIOUS SURFACES - APPEARS TO DRAIN TOWARD THE ADJACENT PARCEL TO THE WEST AND THEN ULTIMATELY INTO THE I-94 R.O.W.
- AN AREA OF APPROXIMATELY 0.59 ACRES - CONSISTING A COMBINATION OF ROOF RUNOFF AND PERVIOUS SURFACES - APPEARS TO DRAIN TOWARD THE ADJACENT PARCEL TO THE EAST AND THEN ULTIMATELY INTO THE S. MANSFIELD R.O.W.
- AN AREA OF APPROXIMATELY 1.70 ACRES - CONSISTING OF A COMBINATION OF PAVED SURFACES, ROOF RUNOFF, AND PERVIOUS SURFACES - APPEARS TO DRAIN DIRECTLY INTO THE S. MANSFIELD R.O.W.
- AN AREA OF APPROXIMATELY 1.10 ACRES - CONSISTING OF A COMBINATION OF PAVED SURFACES, ROOF RUNOFF, AND PERVIOUS SURFACES - APPEARS TO DRAIN DIRECTLY INTO THE I-94 R.O.W.
- THERE ARE NO ADDITIONAL STORM WATER MANAGEMENT FACILITIES OR MODIFICATION OF DRAINAGE PATTERNS PROPOSED.

EXISTING TOPOGRAPHY NOTE

- MIDWESTERN CONSULTING HAS NOT PERFORMED A TOPOGRAPHIC SURVEY FOR THIS SITE. EXISTING CONTOURS INDICATED ON THIS PLAN REFLECT DATA OBTAINED FROM WASHTENAW COUNTY GIS AND IS AN APPROXIMATION OF THE EXISTING TOPOGRAPHY OF THE SITE AND SURROUNDING AREAS.

MIDWESTERN CONSULTING



CLIENT
SKY HOLDINGS GROUP LLC
191 HISCOCK STREET
ANN ARBOR, MI 48103
AJ FURRHA
734-680-9331

599 S MANSFIELD STREET
SKETCH PLAN
SITE DRAINAGE PLAN

04

JOB No.	22220	DATE: 10/06/2022
REVISIONS:	REV. DATE	SHEET 04 OF 04
REVISED PER CITY REVIEW	10/16/22	CADD: JDP
REVISED PER CITY REVIEW	11/10/22	CHK: JPH
REVISED PER CITY REVIEW		TECH: /22220SW1



City of Ann Arbor

PLANNING & DEVELOPMENT SERVICES — PLANNING DIVISION

301 East Huron Street | P.O. Box 8647 | Ann Arbor, Michigan 48107-8647

p. 734.794.6265 | f. 734.994.8312 | planning@a2gov.org

November 11, 2022

Subject: Draft City of Ann Arbor Parks and Recreation Open Space (PROS) Plan, November, 2022

To Whom It May Concern:

In accordance with the Michigan Planning Enabling Act (PA 33 of 2008), below is a URL to access the draft of the updated City of Ann Arbor Parks and Recreation Open Space (PROS) Plan. The plan provides comprehensive information on the condition of the park, recreation and opens space systems and provides guidance to future decision makers.

The Washtenaw County Board of Commissioners, contiguous and nearby municipal legislative bodies and other entities may submit comments not more than 42 days after receiving the plan. As instructions to access the draft plan are being sent with this communication on November 11, 2022, comments must be received by December 3, 2022 to be considered.

Comments should be sent to the City of Ann Arbor Parks and Recreation Services staff (Attention: Hillary Hanzel, Park Planner) at 301 E. Huron Street, P.O. Box 8647, Ann Arbor, MI 48107-8647 or emailed to HHanzel@a2gov.org. If you need additional information, contact Hillary Hanzel at 734-794-6000 ext. 42548.

Thank you for your cooperation. The City of Ann Arbor Planning Commission looks forward to your comments.

Sincerely,

A handwritten signature in cursive script, appearing to read "Lisa Sauve".

Lisa Sauve
Planning Commission Secretary

Enclosure: URL to Draft Plan: Access the draft City of Ann Arbor Parks and Recreation Open Space Plan by visiting:

<https://www.a2gov.org/departments/Parks-Recreation/administrative/Documents/2023-2028%20Parks%20and%20Recreation%20Open%20Space%20Plan%20Draft.pdf>