



CITY OF YPSILANTI
Planning Commission MEETING
Wednesday, March 15, 2023 @ 7:00 PM
Council Chambers
One South Huron, Ypsilanti, MI 48197

Page

I. CALL TO ORDER

II. ROLL CALL

Matt Dunwoodie, Chair
Michael Simmons, Vice-Chair
Eric Bettis
Mike Davis Jr.
Jessica Donnelly
Phil Hollifield
Amanda Smith
Carl Schier
Brian Jones-Chance

III. AGENDA APPROVAL

IV. APPROVAL OF MINUTES

3 - 6 A. [February 2023 PC Minutes](#)

V. AUDIENCE PARTICIPATION

VI. COMMITTEE REPORTS

7 - 11 A. Non-Motorized Committee Report
[NMAC Meeting Agenda March 2023](#)
[NMAC Meeting Minutes February 2023](#)

VII. PRESENTATIONS AND PUBLIC HEARING ITEMS

13 - 33 A. 599 S Mansfield Revised Sketch Plan to Renovate Property in the PMD
[599 S Mansfield Amended Sketch Plan Review](#)

VIII. OLD BUSINESS

35 - 42 A. Vote to Submit 2022 Annual Report
[Ypsilanti Planning Commission 2022 Annual Report](#)

IX. NEW BUSINESS

43 - 45

- A. Pedestrian Safety Education Campaign Proposal
Potential Pilot Program and Collaboration
[Ped Ed Campaign Project Description](#)

X. FUTURE BUSINESS DISCUSSIONS/UPDATES

XI. ADJOURNMENT



DRAFT MINUTES
Planning Commission
Wednesday, February 22, 2023 @ 7:00 PM
Council Chambers One South Huron, Ypsilanti, MI 48197

I. Call to Order

II. Roll Call

Present: Simmons, Bettis, Davis Jr., Donnelly, Schier, Smith, Dunwoodie,

Absent: Hollifield, Jones-Chance (arrived 7:37pm)

Motion to excuse the absence for Commissioner Hollifield

***Offered By: Commissioner Donnelly; Seconded By: Commissioner Simmons; Approved: Yes – 7;
No – 0; Absent – 2 (Hollifield, Jones-Chance)***

III. AGENDA APPROVAL

Motion to approve the agenda.

***Offered By: Commissioner Simmons; Seconded By: Commissioner Donnelly; Approved: Yes – 7;
No – 0; Absent – 2 (Hollifield, Jones-Chance)***

IV. Approval of Minutes

Motion to approve the January 18, 2023 Minutes

***Offered By: Simmons; Seconded By: Commissioner Donnelly; Approved: Yes – 7; No – 0;
Absent – 2 (Hollifield, Jones-Chance)***

V. AUDIENCE PARTICIPATION

Motion to open the audience participation.

***Offered By: Commissioner Davis Jr. ; Seconded By: Commissioner Donnelly; Approved: Yes – 7;
No – 0; Absent – 2 (Hollifield, Jones-Chance)***

None.

Motion to close the audience participation.

***Offered By: Commissioner Donnelly; Seconded By: Commissioner Davis Jr.; Approved: Yes – 7;
No – 0; Absent – 2 (Hollifield , Jones-Chance)***

VI. COMMITTEE REPORTS

A. Non-Motorized Committee Report

They are prioritizing Vision Zero and have welcomed the new chair, Dylan Goings. He recommends the committee applicant, Ila Collitis.

Motion to appoint Ila Collitis to the Non-Motorized Committee.

***Offered By: Commissioner Smith ; Seconded By: Commissioner Donnelly; Approved: Yes – 7;
No – 0; Absent – 2 (Hollifield, Jones-Chance)***

VII. PRESENTATIONS AND PUBLIC HEARING ITEMS

A. Special Use Permit and Site Plan Staff Review Avalon Housing Development at 206-210 N Washington

Staff report delivered by City Planner Holli Andrews.

Applicant: Wendy Carty-Saxon with Avalon Housing spoke about the site plan and development.
Motion to open the public hearing.

***Offered By: Commissioner Donnelly; Seconded By: Commissioner Davis Jr.; Approved: Yes – 7;
No – 0; Absent – 2 (Hollifield , Jones-Chance)***

Linette Lao, City Resident - spoke in support for the project.

Mark Maynard, City Resident - spoke in support for the project.

Dylan Goings, City Resident - supports the development but advocates for the applicant to provide bicycle storage for residents.

Letter from Richard Murphy, 506 N Adams - Supports the project, and recommends removing any parking requirements.

Motion to close the public hearing.

***Offered By: Commissioner Donnelly; Seconded By: Commissioner Davis Jr.; Approved: Yes – 8;
No – 0; Absent – 1 (Hollifield)***

Commissioner Davis Jr. stated that there should be as many bike racks as there are units. They should all be covered.

The applicant will explore turning the historic sheds into bicycle storage.

The commission discussed concerns over screening from the south property line.

The commission discussed adding screening requirements to the condition even if the supportive housing text amendment passes at council next week. It is to be written in a way to be obsolete when the text amendment passes.

Motion that the Planning Commission approve the Special Use Permit for developing a multi-household dwelling at the address of 206-210 N Washington with the following findings and conditions:

Findings 1. The application is substantially in compliance with §122-324(b).

Condition: 1. The Special Use Permit approval shall be subject to approval of site plan.

***Offered By: Commissioner Donnelly; Seconded By: Commissioner Bettis.; Approved: Yes – 8;
No – 0; Absent – 1 (Hollifield)***

Motion that the Planning Commission approve the Site Plan for 206-210 N Washington with the following findings, waivers, and conditions:

Findings:

1. The site plans substantially comply with §122-311 and the zoning ordinance.

Conditions:

1. Site plans shall undergo detailed engineering review.

2. Screening in accordance with ~~§122-634~~ shall be provided along all rear and side yard boundaries between the proposed use and property either zoned or used for single-family and two-family purposes.

3. Applicant shall submit a lighting plan (122-609) all fixtures shall be dark sky compliant.

4. Applicant shall provide a bicycle parking and storage plan (122-693) providing at least 16 spaces and 12 of those covered.

7. ADA compliant sidewalk shall be maintained along the Washington Street frontage.
Friendly amendment from Commissioner Davis Jr. to include language requiring dark sky compliance. Friendly amendment accepted.

**Offered By: Commissioner Donnelly; Seconded By: Commissioner Davis Jr.; Approved: Yes – 8;
No – 0; Absent – 1 (Hollifield)**

Motion for a five minute recess.

**Offered By: Commissioner Donnelly; Seconded By: Commissioner Davis Jr.; Approved: Yes – 8;
No – 0; Absent – 1 (Hollifield)**

VIII. OLD BUSINESS

A. 2022 Planning Commission Annual Report

Annual report is in the packet for review.

IX. NEW BUSINESS

A. Text Amendments to Chapter 7 | Marijuana Ordinance No. 1386

Staff member Christopher Jacobs presented the text amendments and described the history of Marijuana ordinance no. 1386.

Commissioner Smith does not support striking #5 under social equity.

Commissioner Dunwoodie explained the roles of the planning commission, and believes section 7.5 is outside of that role. He explained that the commission should stick to just recommending the amounts of permits.

Commissioner Smith stated that rolling the cap back to 7 is too aggressive.

Motion that the Planning Commission recommend approval of the text amendment to City Council with the following modifications and findings:

Modifications:

- 1. The number of adult use retail permits be decreased to 10*
- 2. Approval of text is only 7-4.1*
- 3. Strikethroughs outside of 7.4 are not addressed.*

Findings:

- 1. The proposed amendment is consistent with the guiding values of the Master Plan.*
- 2. The proposed amendment will enhance the functionality and character of the future development in the City.*
- 3. The proposed amendment will protect the health, safety, and general welfare of the public.*
- 4. Proposed amendment will find a solution is not feasible through zoning.*

Offered By: Commissioner Davis Jr.; Seconded By: Commissioner Smith; Failed: Yes – 2 (Smith, Davis Jr.); No – 6; Absent – 1 (Hollifield)

Motion that the Planning Commission recommend approval of the text amendment to City Council with the following findings:

- 1. The proposed amendment is consistent with the guiding values of the Master Plan.*
 - 2. The proposed amendment will enhance the functionality and character of the future development in the City.*
 - 3. The proposed amendment will protect the health, safety, and general welfare of the public.*
- Friendly amendment offered by Brian Jones-Chance: Planning commission does not find section 7.5 within its purview. Commissioner Davis Jr. accepted the friendly amendment.*

Offered By: Commissioner Davis Jr.; Seconded By: Commissioner Donnelly; Approved: Yes – 6; No – 2 (Smith, Davis Jr.); Absent – 1 (Hollifield)

Reasons for no votes: Commissioner Davis Jr. does not support the cap at 7 and Commissioner Smith agreed. The reason for why the cap was ever set at 7 needs more justification.

X. FUTURE BUSINESS DISCUSSIONS/UPDATES

Commissioner Davis Jr. asked that permitted parking near cafe liv be reviewed to add spaces that are not residential permit parking.

Commissioner Davis Jr. reiterated that the lighting ordinance is unclear, and it needs to be addressed. He asked staff to propose a zoning text amendment.

Staff gave updates about upcoming planning trainings.

Commissioner Donnelly informed the commission that she will not attend the March meeting.

XI. ADJOURNMENT

Motion to adjourn at 9:53pm.

Offered By: Commissioner Simmons; Seconded By: Commissioner Davis Jr.; Approved: Yes – 8; No – 0; Absent – 1 (Hollifield)

Ypsilanti Non-Motorized Advisory Committee Meeting Agenda

DATE: March 09, 2023, TIME: 7:00PM

Ypsilanti District Library, 229 W. Michigan Avenue – Main Floor Meeting Room

Agenda Items

Note: Bold items on the agenda indicate a priority for this meeting

1. Call to order
2. General Business
 - a. February meeting minutes approval
 - b. Agenda Approval
 - c. **Other - New member approved**
3. Introductions - Audience Participation - Public Input
4. **2023 Committee Priorities**
 - a. Vision Zero Action Plans
 - i. **Vision Zero Resolution (City taking action to have zero-related traffic fatalities by a set date)**
 - ii. Crosswalk stop ordinance
 - iii. Traffic calming and slowing motor vehicle traffic
 - iv. **Quick Build safety projects**
 - v. Shifting modes of transportation more towards walking/bicycling
 - b. Neighborhood Connectors - Low-speed street network that has been designated and "optimized" for bicycle & walking traffic.
 - i. **Promotion and public awareness efforts by NMAC committee - Website, flyers, Google participation form**
 - ii. City efforts and recognition
 - c. Communication, Recruitment & Education
 - i. Recruit more individuals to serve on the Non-Motorized Advisory Committee
 - ii. Invite Mayor, City Council, Planning/Sustainability Commission members, City Manager, Police Chief, Public Services Director to Committee meetings.
 - iii. **Publish quarterly Non-Motorized Committee newsletter.**

- iv. Review City Council, Planning Commission, Sustainability Commission agendas for possible Committee input at their meetings.
- v. **Spring and Fall bicycle safety education program for both motorists and bicyclists**
- vi. **Sidewalk/Curb Cut vegetation (summer) snow removal (winter) promotion by Committee**
- vii. Amplify public notice of Commission/City Council projects that impact non-motorized activities
- d. Pedestrian Improvements – Increasing the number of radar speed signs, Rectangular Rapid-Flashing Beacons, traffic calming, ordinance review. Concentrate on where most pedestrian activity occurs.
- e. Bicyclist Improvements – Additional bike lanes, safety signage, road markings, protected bike lanes, sharrows. Border To Border (B2B) Trail gap completion and enhancement.
- f. **Events & Community Outreach – Organized walks, cold weather cycling talks, EMU Bike Rodeo, Parkridge Festival, Halloween safe trick-or-treating.**
- 5. Old & Continuing Business
 - a. Bike & Walk Friendly Communities
 - i. **Walk Friendly Community – City “entrance way” signage**
 - ii. Bike Friendly Community (BFC) – Review, and act on, suggested improvements. Work towards next layer of award (i.e. go from Bronze to Silver): Review suggested improvements from [BFC “report card”](#)
 - iii. Bike Friendly Business program drive
 - iv. **Runner Friendly Community application**
- 6. New Business / Other Agenda Items
- 7. Next meeting
- 8. Adjournment

Ypsilanti Non-Motorized Advisory Committee Meeting Minutes

DATE: 02/09/2023, TIME: 7:00PM

Ypsilanti District Library, 229 W. Michigan Avenue – Main Floor Meeting Room

Agenda Items

Note: Bold items on the agenda indicate a priority for this meeting

1. Call to order - Time: 7:05PM

Attendees: Committee members Dylan Goings, Bob Krzewinski, Jenny Rose Ryan, Mike Davis, Jessi Kwek.

2. General Business

- ☐ PRIOR MONTH meeting minutes approval:

Motion by member Ryan; Second by member Davis; Votes 5-0

- ☐ Agenda Approval

Motion by member Ryan; Second by member Davis; Votes 5-0

- ☐ Other

New committee Chair Goings required under bylaws to appoint a vice chair.

Committee member Ryan volunteered, and the appointment was unanimously approved by the committee.

3. Introductions - Audience Participation - Public Input

Notes: Ila Coltas is interested in joining the committee. Provided a written letter and talked about background. All agree she would be a great addition.

Lillian Webb also in attendance, here from Ann Arbor and works at The Ride (AATA), and just interested to listen in and possible participate more in the future. This brought up a question for the Planning Commission - can a resident outside of Ypsilanti still be on the NMAC if the current committee approved of the appointment? Member Davis, our Planning Commission liaison, will look into it.

4. 2023 Committee Priorities

- ☐ Vision Zero Action Plans

All in agreement on new Committee Priorities list for 2023, and leaning into the

promotion of Vision Zero, with the first step being to draft a resolution for adoption by City Council.

Committee also discussed writing a draft resolution of a new crosswalk ordinance. Decided we would first want to learn about the before/after results of the crosswalk ordinance changes in Ann Arbor.

Member Davis to begin work on a "Quick Build" safety projects list that the committee and adopt and add to, to provide direction to the Planning Commission/City Council on "low-hanging fruit" to support Vision Zero. This list will be publicly maintained for future input from the community. Projects include things like curb extensions, bike "boxes" in intersections, other road markings, and traffic signal timings.

- ☐ Neighborhood Connectors - Low-speed street network that has been designated and "optimized" for bicycle & walking traffic.

Committee continues to work on plans for promoting the neighborhood connectors project. Member Kwek has a connection to Dr. Heather Khan at EMU who would be a great contact to help get the word out.

- ☐ Communication, Recruitment & Education

Two new recent member additions (assuming Ila Coltas is added) is a great step forward here!

- ☐ Pedestrian Improvements – Increasing the number of radar speed signs, Rectangular Rapid-Flashing Beacons, traffic calming, ordinance review. Concentrate on where most pedestrian activity occurs.

- ☐ Bicyclist Improvements – Additional bike lanes, safety signage, road markings, protected bike lanes, sharrows. Border To Border (B2B) Trail gap completion and enhancement.

- ☐ Events & Community Outreach – Organized walks, cold weather cycling talks, EMU Bike Rodeo, Parkridge Festival, Halloween safe trick-or-treating. Committee talked about the idea of helping to promote the opening of the new pedestrian and bike crossings on Huron on the I-94 overpass this spring. Plan to

continue the discussion next meeting, nothing to do now while it's still winter.

5. Old & Continuing Business

☐ Bike & Walk Friendly Communities

Member Krzewinski to talk to Bonnie Wessler about getting official "Walk Friendly" community signage.

☐ Runner Friendly Community application

Member Krzewinski to continue looking into the runner-friendly application process.

6. New Business / Other Agenda Items

Chair Goings plans to bring Ila Coltas' request to be on the committee to the next Planning Commission meeting.

The new Ypsilanti AATA Bus Station proposal has major non-motorized implications, committee should look to provide input at every opportunity along the way in this project's development.

7. Next meeting - Time/Place: 03/09/2023, 7:00PM

Ypsilanti District Library, 229 W. Michigan Avenue – Main Floor Meeting Room

8. Adjournment - Time: 8:45PM

Motion by member Davis; Second by member Goings; Votes 5-0



City of Ypsilanti

Community & Economic Development Department

15 March 2023

Staff Review | Revised Sketch Plan

599 S Mansfield

GENERAL INFORMATION

Applicant	Sky Holdings Group LLC 191 Hiscock St Ann Arbor, MI 48103
Project	Auto Repair, Towing, Vehicle Storage 599 S Mansfield
Amendments Date	Received 15 February 2023
Location	Southside of S Mansfield
Zoning	PMD – Production, Manufacturing, and Distribution
Action Requested	Sketch Plan Approval
Staff Recommendation	Approve

SUMMARY

The applicant is resubmitting a sketch plan to renovate the property at 599 S Mansfield in the PMD zoning district. The original sketch plan was approved with conditions at the end of 2022, but since then has been reworked to address items set by the Planning Commission and staff. In addition, the amended plan presented here includes two outdoor fuel storage tanks, which were not on the original sketch plan application.

BACKGROUND

During the 16 November 2022 regular meeting, Planning Commission **approved** the Sketch Plan for Auto Repair, Towing and Vehicle Storage at 599 S Mansfield **with the following conditions –**

1. Applicant must provide trash storage plan.
2. Applicant must provide photometric / lighting plan.
3. Applicant must provide curbing at landscaped islands and wheel stops in parking spaces.
4. Applicant must provide sidewalk or a fee in lieu of the sidewalk.
5. The entire lot, excluding areas occupied by landscaping and building, must be hard-surfaced with concrete or plant-mixed bituminous material. Curbs of at least six inches in height must be installed around the perimeter of all surfaced areas. Drainage must be provided in accordance with §122-683.

Offered By: Commissioner Donnelly; Seconded By: Commissioner Hollifield
Approved: Yes – 7; No – 0; Absent – 1 (Schier)

Amendments Process

The applicant and associates met with city planning staff to revisit the conditions of the approved sketch plan via Zoom on November 30, 2022 and January 25, 2023. Discussions centered on terms of the sketch plan, private property rights, the zoning ordinance, and conditions of the November 16th approved sketch plan.

On February 15, City Planning received the amended sketch plan.

PROJECT AND SITE DESCRIPTION

599 S Mansfield (11-11-37-230-012) is a vacant industrial property purchased by Sky Holdings LLC in 2022. It is approximately 14,000 sq ft on 4.64 acres. Sky Holdings LLC has been conditionally approved to refurbish the property for use as an automobile repair, towing, and vehicle storage facility –

- The existing building will remain and undergo renovations to provide new automobile repair stalls.
- Towing and vehicle storage operations will be accommodated within the existing fenced area north of the building.
- Site work will be limited to pavement striping and wheel stops for new parking spaces along the west side of the existing building, as well as a small concrete pad with 2 bike hoops.
- All existing pavement areas and trees/landscaping will remain.
- The only additional impervious surface area that will be added to the site as part of the re-use project includes a 48 sq ft concrete pad for bike parking and a proposed concrete pad for fuel storage tanks.

Figure 1: Subject Site Location (WC GIS, 2020)

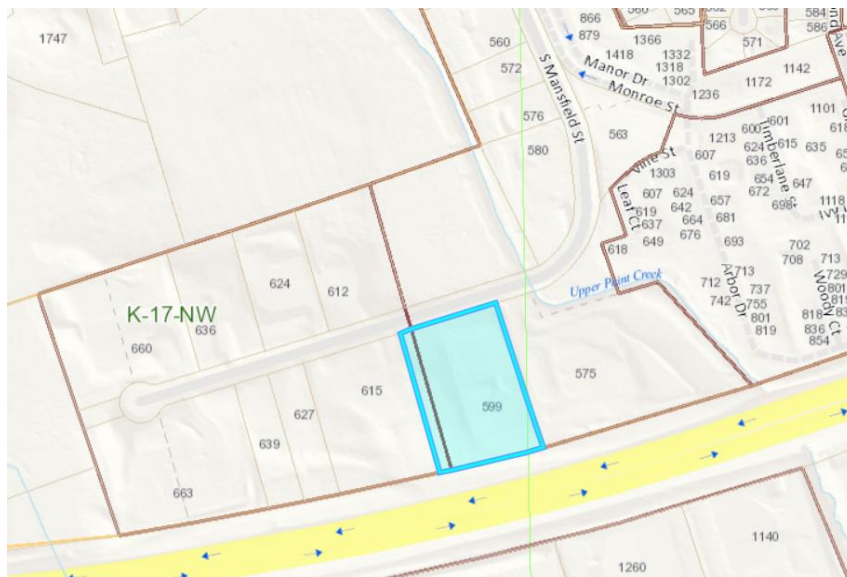


Figure 2: Site Aerial (Google Earth, 2022)

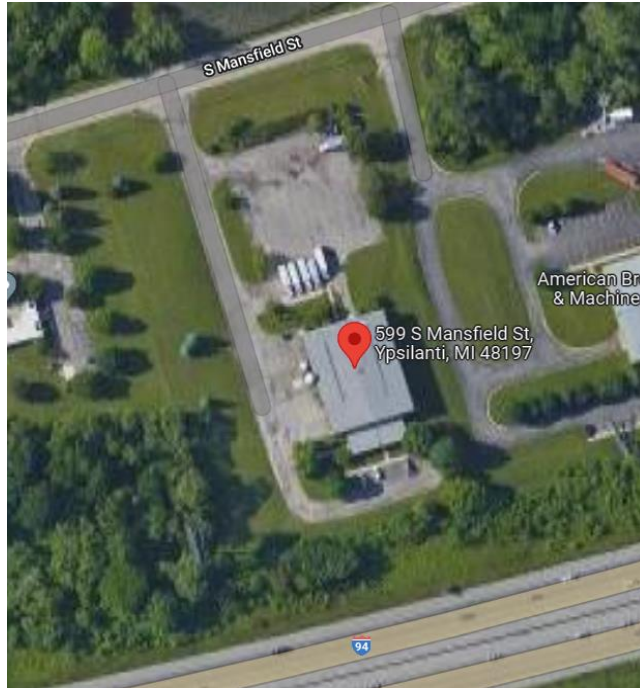


Figure 3: Photo of the Site (Google Image, 2021)



Figure 4: Land Use and Zoning of Surrounding Area

	LAND USE	ZONING
NORTH	Vacant	PMD
EAST	Industrial	PMD
SOUTH	Highway	N/A
WEST		PMD

SITE PLAN: CRITERIA AND REVIEW

§122-31

For zoning compliance reviews or plans where a Special Use permit is required but no site changes will likely be needed, the applicant may, at the determination of the City Planner, submit a sketch plan for review in lieu of a full site plan.

STANDING

§122-311(a)

The applicant is legally eligible to apply for site plan review, and all required information has been provided.

REQUIREMENTS

§122-311(b)

"The proposed site plan conforms to all the provisions and requirements, as well as the spirit and intent of this chapter and the Master Plan. The proposed development will meet all the regulations of the zoning district in which it is located."

Figure 5: Building Location and Site Arrangement

ORDINANCE REFERENCE		REQUIRED		EXISTING CONDITIONS	PROPOSED
Sec. 122-468	BUILDING TYPE	Not applicable		Industrial	Unchanged
LOT REQUIREMENTS					
	Width ft	Min Determined by the use and the required off-street parking, loading, screening and yard setbacks	Max --	360 ft	Unchanged
	Depth ft	Min "..."	Max --	561.64	Unchanged
	Area sf	Min "..."	Max --	202,118 ft	Unchanged
	Coverage %	Min -	Max 90%	36.5%	Unchanged

BUILDING ENVELOPE AND HEIGHT					
Sec. 122-468	Street setback ft	Min 25	Max --	298 ft	Unchanged
	Side setback ft	Min 15	Max --	East 50 ft and West 220 ft	Unchanged
	Rear setback ft	Min 20	Max --	122 ft	Unchanged
	Frontage buildout %	Min N/A	Max N/A	N/A	Unchanged
	Height stories	Min	Max	1 story	Unchanged
	PARKING PROVISIONS	Location: permitted in the side, street side, and rear		8 spaces provided	16 spaces proposed

Items to be addressed – None.

BUILDING LOCATION AND SITE ARRANGEMENT

§122-311(c)

"All elements of the site plan shall be harmoniously and efficiently organized in relation to the character of the proposed use, the size and type of lot, the size and type of buildings, and the character of the adjoining property. The site shall be so developed as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter."

Items to be addressed – None.

SITE ACCESS, TRAFFIC, AND PARKING

§122-311(d)

"With respect to vehicular and pedestrian circulation on the site, including walkways, interior drives, and parking; circulation shall to the extent possible create potential cross-and joint-access to adjacent parcels and the existing block layout. Special attention shall be given to the location, number and spacing of ingress and egress points; general interior circulation including turnaround areas; adequate provisions for delivery of services (trash removal, school buses, mail and parcel delivery); separation of pedestrian and vehicular traffic; avoidance of building corners next to access drives; identification of addresses; storage of plowed snow; and arrangement of parking areas that are safe and convenient, and insofar as practicable, do not detract from the design of the proposed buildings and structures, neighboring properties, pedestrian and bicyclist safety, access to transit and flow of traffic on adjacent streets. All buildings or groups of buildings shall be so arranged as to permit adequate access by emergency vehicles as required by the city building code."

Figure 6: Site Access, Traffic and Parking

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
§122-607 Building Entrances	No principal building can be placed on a lot unless the building is situated in such a manner that the front entry into the building faces the street to which the property is addressed.	Front entrance does face street addressed	Unchanged
PMD: Circulation §122-670 Standards	CN, C, HC, NC, GC, HHS: Sites <3 acres: circulation plan to ID potential cross and joint access to adjacent parcels Sites >3 acres: block plan	More than 3 acres	Circulation plan provided
	Easements: nonmotorized plan, ReImagine Washtenaw, other	None	Unchanged
§122-685 Parking Dimensions	9'x18' minimum, exceptions if adjacent to wall or overhang provided - May have 20% small car (8'x16', signed) - May have 10% motorcycle (5x8', signed)	Spaces not striped with appropriate dimensions	16 spaces striped and 1 barrier free space, all appropriate dimensions
	Barrier Free Barrier free parking spaces must be provided in accordance with the state barrier free design requirements.	None provided	1 proposed barrier free space
§122-683 Access	5' walkway from parking lot to parks, commercial, transit, walkways, institutions; raised/marked crosswalks within parking lot	5' walkway not present. No raised or marked crosswalks within parking lot	5' walkway proposed from parking lot to office building
	Ingress & Egress - Aligned across ROW, or offset by 25' >50' from intersection 20'-30' driveway	Meets requirements for ingress and egress	Unchanged

Internal Maneuvering	Each driveway providing access to an off-street parking lot containing five or more parking spaces shall be a minimum of ten feet in width. Minimum of 10' in width.	Each driveway is more than 10 ft wide	Unchanged
Surfacing	durable bonded material in accordance with accepted engineering standards, or alternative surfacing materials to minimize impervious surface and stormwater runoff	Crushed gravel	Bituminous
Drainage	Graded and drained to public storm sewers or alternate. No surface water shall be permitted to drain onto adjoining properties. No surface water drainage from an off-street parking lot shall be permitted to drain across a public sidewalk.	Unknown	Unchanged, Drainage must be provided in accordance with §122-683.
Setback from Street	Parking lot setbacks are designated by the zoning district in which they are located. An allowed exception are circular drives, which may be located in a required minimum front yard or street side yard, provided that such drives shall be designed so that no parking space is located closer than 25 feet to any street right-of-way line.	More than 10 ft provided from front, side, and yard yards.	Unchanged,
Striping	For parking lots containing five or more spaces, all spaces shall be outlined with three-inch wide strips of white or yellow paint, except that barrier-free spaces shall be blue, with a symbol of compliance in blue, and signed in accordance with the State Barrier-Free Code.	No striping provided	striping proposed

Wheel Stops	For parking lots containing five or more spaces or accessory to commercial uses, wheel stops or curbing shall be provided for all parking spaces to prevent any vehicle from projecting beyond the parking lot area, bumping any wall or fence, or encroaching upon any landscaping.	No wheel stops provided	Unchanged, wheel stops required
Lighting	With the exception of multiple-family dwellings on individual lots containing no more than four units, parking and loading facilities utilized during night-time hours shall be artificially illuminated. All such outdoor lighting shall meet the requirements of §122-609.	No lighting plan provided	Unchanged, lighting plan/photometric plan required
§122-684 Screening & Landscaping (Internal)	1 tree per 8 spaces	Several trees on the site	5 trees provided
	1 landscape island for each 16 spaces	0 landscaped islands	2 landscaped islands proposed
	Islands w trees: 9' wide min and 160' sf Islands w 5' min walkway: 11' wide min Islands: curbed or used for stormwater	0 landscaped islands	Proposed landscaped islands must be curbed
	All aisle-ends & corners protected w curbed island	None	Unchanged
	3' between curb and planting (5' if vehicle overhang)	None	Unchanged
	Screened in accordance with 703 if abutting R1, MD, CN, CN-Mid, CN-SF	NA	
	3'-4' screen 80% opacity where visible from ROW	Screening provided on front yard.	Unchanged
	Landscaped areas, walls, structures, walks- must be protected by curbing	none	Unchanged, curbing required
§122-691 Motor Spaces	BY USE		
§122-693 Bicycle Spaces	1 per 5 motor spaces, minimum of 2	none	2 bike spaces provided

§122-692 Parking discounts	Transit	None	Unchanged
	Alternative Vehicles	None	Unchanged
	Bicycle	None	Unchanged
	PC discretion, special circumstances not listed above		
§122-672 Sidewalks	Provide a sidewalk or shared-use path	none	Unchanged, sidewalk required.
§122-675 Traffic Visibility	Maintain shrubs/other obstructions lower than 30" and trees/other obstructions higher than 8': At driveway: within a 10'x10' triangle formed by the street ROW line and the edge of the driveway At intersection: within a 25' x 25' triangle formed by an extension of the property lines, as measured from the pavement edges.	Sufficient visibility at driveways and intersections	Unchanged
§122-695 Off-Street Loading	Commercial-5,000 – 19,999=1 space at 10' x 50'	Meets requirement	Unchanged

Items to be addressed – Curbing and wheel stops required.

ENGINEERING & STORMWATER

§122-311(f), §122-311(g)

(6) Adequate services and utilities including sanitary sewers shall be available or provided, with sufficient capacity to properly serve the development. Appropriate measures will be taken to ensure that site drainage will not adversely affect adjoining properties or the capacity of the public storm drainage system, or nearby bodies of water. Provisions shall be made to accommodate stormwater and prevent soil erosion. All stormwater management facilities, including but not limited to storm sewers and detention/retention facilities, shall be designed in accordance with the "Rules of the Washtenaw County Water Resources Commissioner," together with any special provisions established by the city.

(7) Natural resources will be protected to the maximum feasible extent. The proposed development will not cause soil erosion or sedimentation problems and will respect floodways or floodplains on or in the vicinity of the subject property.

No Engineering review required because there are no impervious surface changes, major slope/grade issues, or utility issues.

Items addressed – See sheet 04 of the amended sketch plan for drainage and flows.

SCREENING**§122-311(h)**

"The site plan shall provide reasonable visual and sound privacy for all dwelling units on or adjacent to the property. Fences, walks, barriers, and landscaping shall be used, as appropriate, for protection and enhancement of the property. All outdoor storage of materials, loading and unloading areas, and refuse containers shall be screened or located so as not to be a nuisance. Outdoor lighting shall be shielded so as to not adversely affect neighboring properties or traffic on adjacent streets."

Figure 7: Screening

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
§122-609 Lighting	• Dark Sky compliant; may be full cutoff where affecting residential uses • not >0.5 fc @ lot line • not >16'in height • not < 0.3 fc	Unknown	Unchanged, lighting plan/photometric plan required
§122-608 Refuse Containers	masonry enclosure 1' taller than dumpster (no less than 6'), in rear yard, 80% opaque swing door, on a concrete pad	Not shown	Applicant must provide plan for trash storage areas.
§122-631 Landscape plan		None	Landscape plan provided
§122-634 Screening Between Land Uses <i>if conflicting use</i>	visual buffer of at least 80% opacity and 6' height	Not conflicting use	Unchanged
§122-636 Street Trees	1 tree per 30' of lineal frontage, centered between sidewalk and back of curb: 160'/30' = 6 trees	None	3 street trees provided
§122-638 Site Landscaping	10%	Meets requirement	Unchanged

Items to be addressed — Applicant shall provide a plan for trash storage area. Any new or altered commercial use, including residential uses with three or more units, which requires zoning compliance review and has an outdoor trash storage area must comply with the following requirements: (a) No outdoor trash storage area may be located in any front yard or any required side yard setback which is adjacent to a street, unless there is no alternative as established by the City Planner or the Planning Commission. In no instance may any trash receptacle or dumpster be located within or block a designated parking space. (b) Any outdoor trash storage must be limited to normal refuse which is collected on a regular basis and must be maintained in a neat, orderly, and sanitary condition. This maintenance is the responsibility of the owner of the premises on which the containers are placed. (c) Adequate vehicular access must be provided to such containers for truck pickup either via a public alley or vehicular access aisle which does not conflict with the use of off-street parking

spaces or entrances to or exits from principal buildings nearby. (d) All trash storage areas must be on a paved pad and must be screened with an enclosure at least one (1) foot taller than the dumpster. (f) Where a dumpster is the primary means of collecting refuse, the trash storage area must be on a concrete pad and screened with an enclosure at least six feet in height. The enclosure must be of a solid brick or masonry wall on three sides with an 80% opacity wooden swing door on the fourth side.

Figure 8: Liquid Fuel Storage Tanks

STORAGE			
Outdoor storage	S/Res		<u>Section 122-544</u>
Storage of liquid and solid fuels	S		<u>Section 122-652</u>

Sec. 122-652. - Enclosed storage of liquid and solid fuels.

Storage within enclosures of liquid and solid fuels shall be permitted subject to the conditions hereinafter imposed:

- (a) All storage tanks and the handling of all flammable liquids shall be in compliance with the building code as adopted by this Code.
- (b) Below-ground storage tanks shall be located no closer than 50 feet from any property line and, when required, shall be registered with the state fire marshal.

Items to be addressed – The storage of fuels in the PMD zoning district is a special use and requires review and a public hearing.

OTHER DEPARTMENT AND AGENCY APPROVALS

§122-311(j)

"Site plans shall conform to all applicable requirements of state and federal statutes, including health and pollution laws, fire or explosion hazards, toxic and hazardous materials, and barrier-free requirements. Site plan approval may be conditioned on the applicant receiving necessary county, state, or federal permits before a local building permit or occupancy permit is granted."

Ypsilanti Fire Review on March 8, 2023 | The applicant can store up to 1000 gallon of fuel outside in storage tanks. The tanks are required to be installed 10 ft away from the building and not less than 3 ft apart. The installation of the tanks will be professionally installed along with all the proper connections.

NFPA 30. 15.4. Outdoor Storage Adjacent to A Building

NFPA 30. 15.4.1- A maximum of 1100 gallons of liquids in containers, intermediate bulk containers, or portable tanks shall be permitted to be stored adjacent to a building under the same management, provided the following conditions apply:

- (1) The adjacent building wall has an exterior fire rating of 2 hours,
- (2) The adjacent building wall has no openings at grade or above grade that are within 10 ft horizontally of the storage.
- (3) The adjacent building wall has no openings directly above the storage.
- (4) The adjacent building wall has no openings below grade within 50 ft horizontally of the storage.

MASTER PLAN CONSIDERATIONS

§122-311(k)

"An objective of site plan review shall be to protect and promote public health, safety, sustainability and general welfare. It is also the intent of site plan review to improve the quality of existing developments as they are expanded, contracted, or redeveloped in keeping with sound site development standards of this chapter and city master plan."

ITEMS ADDRESSED IN AMENDED SKETCH PLAN

1. Applicant must provide trash storage plan.

The amended sketch plan includes a proposed wooden gate to be installed on the existing 6-ft tall trash enclosure (see sheet 01). A detail showing the existing enclosure dimensions, materials, and proposed new wooden gate is now included on sheet 02.

2. Applicant must provide photometric / lighting plan.

The amended sketch plan has been updated to show the locations of all existing lighting on site (see sheet 01). A photometric and lighting plan approximates the lighting specifications estimated for the existing building-mounted light fixtures (see sheets 05 & 06). No additional lighting is currently being proposed.

3. Applicant must provide curbing at landscaped islands and wheel stops in parking spaces.

The amended sketch plan includes proposed curbing near the southwest corner of the existing building to create a landscape island fitting the definition of the City Zoning Ordinance. (This area will include a new tree which is proposed and shown on sheet 03). The plans also propose new curbing along the existing drive approach. The curb and gutter detail is included on sheet 02.

4. Applicant must provide sidewalk ~~or a fee in lieu of the sidewalk.~~

The amended plan now indicates construction of a new sidewalk along the property frontage on S. Mansfield St (see sheet 01). A proposed concrete sidewalk detail is now included on sheet 02.

The entire lot, excluding areas occupied by landscaping and building, must be hard-surfaced with concrete or plant-mixed bituminous material. Curbs of at least six inches in height must be installed around the perimeter of all surfaced areas. Drainage must be provided in accordance with §122-683.

5. Surfacing and curbs.

A. All areas of the site not occupied by landscaping or building are currently hard-surfaced with concrete or asphalt. However, some areas paved with asphalt have deteriorated over time and therefore would require resurfacing to restore the original impervious nature of the surface.

- We revised the plans for milling and repaving these areas to restore imperviousness.
- We inspected and prioritized specific areas where surface effluents would likely penetrate and potentially contaminate subsurface soils.
- A proposed bituminous pavement detail is now included on sheet 02.

B. The applicant is proposing new curb and gutter in only the areas shown on the proposed plans. Curbs do not currently exist anywhere on-site. The sketch plan has been revised to show proposed curbs and gutters in suitable areas (see response to item #3 above).

- A drainage plan is now included in the plan set (see sheet 04).

- The drainage plan indicates the existing drainage patterns on-site, which are proposed to be maintained.

The patterns show that constructing curb and gutter along the perimeter of every hard-surfaced area would negatively impair existing drainage patterns. For example, the fencing along the proposed impound area creates slope toward the existing drainage structure in this location. There are no sections of pavement in the proposed impound area that are sloped to encourage runoff beyond the paved surfaces. Construction of curb and gutter around this area would not materially improve or change the drainage patterns. Furthermore, in some instances (such as along the south edge of pavement near the south end of the property), the installation of new curb and gutter would impede drainage.

STAFF RECOMMENDATIONS AMENDMENTS TO THE SKETCH PLAN

Staff recommends the Planning Commission **approve** the Amended Sketch Plan Review for 599 S Mansfield with the following findings and conditions.

Findings –

1. The applicant has amended the original 599 S Mansfield sketch plan to meet the conditions required by Planning Commission.
 - a. The applicant added a drainage plan to the packet for effective curb and gutter design in order to meet the ordinance.
 - b. The applicant added a photometric plan and trash storage plan to meet the ordinance.
 - c. The applicant added a landscaping plan to meet requirements of the ordinance.
 - d. The applicant added a surfacing plan to meet requirements of the ordinance.
2. By repurposing this site in the PMD zoning district to provide a needed service for removing non-operational vehicles from unsuitable places in the City of Ypsilanti, the applicant has met the standards for safety, public health and welfare in the Master Plan –

“An objective of site plan review shall be to protect and promote public health, safety, sustainability and general welfare. It is also the intent of site plan review to improve the quality of existing developments as they are expanded, contracted, or redeveloped in keeping with sound site development standards of this chapter and city master plan.”

Conditions –

1. **Condition** | The storage, sale or rental of new or used automobiles, trucks, trailers, and any other vehicles on the premises is prohibited. Vehicles awaiting repair, or inoperable, wrecked, or partially dismantled vehicles, must not be stored or parked outside for a period exceeding seven days.
2. **Condition** | The decision to add fuel storage tanks will be tabled for review at the Planning Commission’s regular meeting on April 19, 2023. The applicant will submit a Special Use Permit application for review and public hearing.

The applicant has applied for a building permit to add (2) fuel storage tanks on the west side of the building, as indicated on sheet 01 of the amended sketch plan.

Holli Andrews, City Planner
Community & Economic Development Department

CC File



March 6, 2023

City of Ypsilanti
Community & Economic Development Department
One South Huron Street, 3rd Floor
Ypsilanti, Michigan 48197

Attn: Holli Andrews

Re: 599 S Mansfield – Auto Repair, Towing, Vehicle Storage
Sketch Plan Review
Midwestern File No.: 22220

Dear Holli:

Midwestern Consulting previously submitted documents for review for the proposed re-use project at 599 S. Mansfield St., and had received review comments from City staff. We had previously revised the plans (dated 11/10/2022) and provided responses to these original comments in a letter dated 11/09/2022. Following the submittal of these revised plans, the project received conditional approval from the City Planning Commission.

A memorandum (dated 12/29/2022) was prepared and submitted to City Planning staff which included responses to the conditions of the Planning Commission's approval. Following City Planning staff's review of the memo, we received additional comments from staff. We have revised the sketch plan set to incorporate the requested changes from staff's latest correspondence, and offer the following as a response to the comments and description of changes.

Email Comments – Joe Meyers – January 17, 2023

1. Condition 1 – a revised sketch plan must contain measurements of the dumpster enclosure.
The Sketch Plan now indicates a proposed wooden gate shall be installed on the existing 6-ft tall trash enclosure (see sheet 01). A detail showing the existing enclosure dimensions, materials, and proposed new wooden gate is now included on sheet 02.
2. Condition 2 – we will review this photometric for the site once everything is completed to ensure it matches to the site conditions.
The Sketch Plan has been updated to include the locations of all existing lighting on site (see sheet 01). The plan set also now includes a photometric plan and lighting spec sheets which show the approximate lighting specifications estimated for the existing building-mounted light fixtures (see sheets 05 & 06). No additional lighting is currently being proposed.
3. Condition 3 – the sketch plan will need to show curbing and landscaped islands with dimensions.
The Sketch Plan now includes proposed curbing near the southwest corner of the existing building which will create a landscape island fitting the definition of the City Zoning Ordinance (this area will include a new tree which is proposed and shown on sheet 03). The plans also propose new curbing along the existing drive approach. A proposed curb and gutter detail is now included on sheet 02.
4. Condition 4 – the applicant will need to provide an estimate of the proposed sidewalk which will be confirmed by our engineer. If the applicant's estimate does not meet our engineer's expectations then the applicant will need to re-provide an estimate.

The Sketch Plan now indicates construction of a new sidewalk along the property frontage on S. Mansfield St (see sheet 01). A proposed concrete sidewalk detail is now included on sheet 02.

5. Condition 5 – City Staff will not provide relief from this condition. In order for the applicant to occupy this building, they will need to complete all of this work. (*this comment was in reference to a condition of Planning Commission's original approval which read: "The entire lot, excluding areas occupied by landscaping and building, must be hard-surfaced with concrete or plant-mixed bituminous material. Curbs of at least six inches in height must be installed around the perimeter of all surfaced areas. Drainage must be provided in accordance with §122-683.") *All areas of the site not occupied by landscaping or building are currently hard-surfaced with concrete or asphalt. However, some areas that are hard-surfaced with asphalt have deteriorated over time and therefore would require resurfacing to restore the original impervious nature of the surface. The Sketch Plan has been revised to show several of these areas to be milled and re-paved to restore imperviousness. The specified areas were selected based upon field inspection and prioritization of where it would be most likely for surface runoff to penetrate and potentially carry contaminants into the subsurface soils. A proposed bituminous pavement detail is now included on sheet 02.*

Curbs do not currently exist anywhere on site, consistent with the adjacent developed sites along S. Mansfield Street. The Sketch Plan has been revised to reflect proposed curb and gutter in limited areas (see response to item #3 above).

A drainage plan is now included in the plan set (see sheet 04). The drainage plan indicates the existing drainage patterns on-site, which are proposed to be maintained. Upon evaluation of these patterns we have concluded that construction of new curb and gutter along the perimeter of every hard-surfaced area would not materially improve the existing drainage patterns. For instance, the existing fenced area (proposed impound area) has all surfaces sloped toward the existing drainage structure in this area. Within this general area there are no sections of pavement that are sloped in such a way that they would drain off of the paved surfaces. If this situation existed, installation of curb and gutter could capture runoff before it flowed off the pavement. However, construction of curb and gutter around this area would not materially improve or change the drainage patterns. Furthermore, in some instances (such as along the south edge of pavement near the south end of the property) existing drainage would be impeded by the installation of new curb and gutter. It is for these reasons that the applicant is proposing new curb and gutter in only the areas shown on the proposed plans.

Additional Sketch Plan Revisions of Note

The applicant proposes to add (2) fuel storage tanks on the west side of the building, as indicated on page 01 of the revised sketch plan.

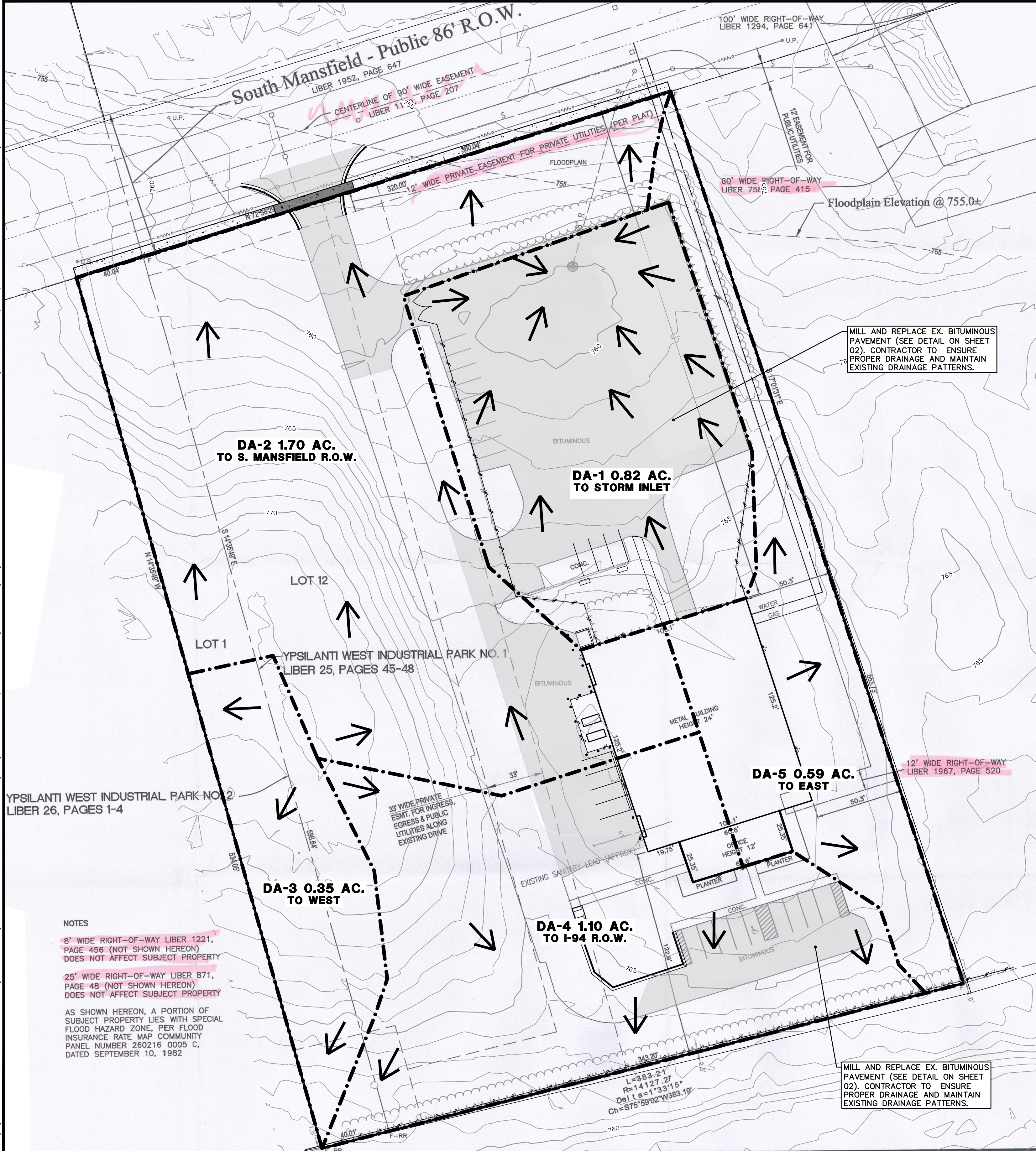
Should you have any further concerns or have further questions, please feel free to contact Ted Hirsch by phone at 734-995-0200 or email at tph@midwesternconsulting.com. We look forward to your feedback.

Sincerely,
MIDWESTERN CONSULTING LLC



Ted Hirsch, P.E.
Project Manager

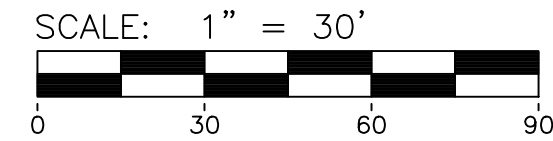
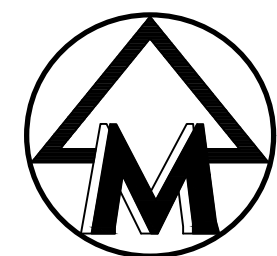
M:\C\1134\Proj\22220\Site Plan\22220SW.dwg, 2/12/2023 7:53 PM, Ted P. Hirsch, 04 SITE DRAINAGE PLAN, MCLC PDF.pc3
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Legend

- EXIST. STORM SEWER
- EXIST. SANITARY SEWER
- EXIST. WATER MAIN
- EXIST. GAS
- FENCE
- EXIST. HYDRANT
- EXIST. GATE VALVE IN WELL
- EXIST. MANHOLE
- EXIST. CATCH BASIN/INLET
- CENTERLINE
- END SECTION/HEAD WALL
- EXIST. SIGN
- FOUND MONUMENT
- FOUND PIPE
- FOUND REROID
- TREE OR BRUSH LIMIT
- DRAINAGE AREA BOUNDARY
- DRAINAGE AREA IN ACRES
- EXISTING DRAINAGE DIRECTION

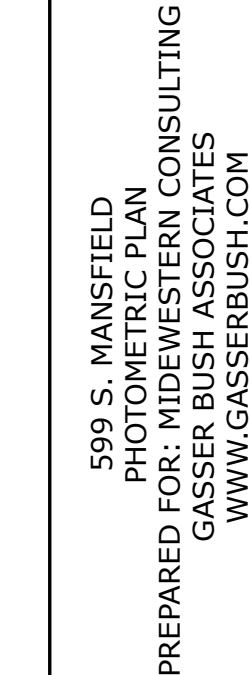
1.90 AC



- STORM WATER NARRATIVE**
- THERE IS ONE EXISTING STORM INLET ON-SITE, WHICH IS AT THE NORTH END OF WHAT IS PROPOSED TO BE THE VEHICLE IMPOUND AREA. THIS INLET APPEARS TO BE CAPTURING APPROXIMATELY 0.82 ACRES OF THE SITE, MOST OF WHICH IS IMPERVIOUS SURFACES. THE CONNECTED STORM SEWER THEN CONVEYS THIS OUT TO THE EXISTING STORM SEWER IN THE S. MANSFIELD R.O.W. THERE DOES NOT APPEAR TO BE ANY EXISTING STORM WATER DETENTION FACILITIES.
 - AN AREA OF APPROXIMATELY 0.35 ACRES – CONSISTING ENTIRELY OF PERVIOUS SURFACES – APPEARS TO DRAIN TOWARD THE ADJACENT PARCEL TO THE WEST AND THEN ULTIMATELY INTO THE I-94 R.O.W.
 - AN AREA OF APPROXIMATELY 0.59 ACRES – CONSISTING A COMBINATION OF ROOF RUNOFF AND PERVIOUS SURFACES – APPEARS TO DRAIN TOWARD THE ADJACENT PARCEL TO THE EAST AND THEN ULTIMATELY INTO THE S. MANSFIELD R.O.W.
 - AN AREA OF APPROXIMATELY 1.70 ACRES – CONSISTING OF A COMBINATION OF PAVED SURFACES, ROOF RUNOFF, AND PERVIOUS SURFACES – APPEARS TO DRAIN DIRECTLY INTO THE S. MANSFIELD R.O.W.
 - AN AREA OF APPROXIMATELY 1.10 ACRES – CONSISTING OF A COMBINATION OF PAVED SURFACES, ROOF RUNOFF, AND PERVIOUS SURFACES – APPEARS TO DRAIN DIRECTLY INTO THE I-94 R.O.W.
 - THERE ARE NO ADDITIONAL STORM WATER MANAGEMENT FACILITIES OR MODIFICATION OF DRAINAGE PATTERNS PROPOSED.

- EXISTING TOPOGRAPHY NOTE**
- MIDWESTERN CONSULTING HAS NOT PERFORMED A TOPOGRAPHIC SURVEY FOR THIS SITE. EXISTING CONTOURS INDICATED ON THIS PLAN REFLECT DATA OBTAINED FROM WASHTENAW COUNTY GIS AND IS AN APPROXIMATION OF THE EXISTING TOPOGRAPHY OF THE SITE AND SURROUNDING AREAS.

JOB No. 22220	DATE: 11/10/2022	DATE: 11/10/2022
	REV. DATE: 02/15/23	REV. DATE: 02/15/23
REVISIONS:	CAUD: JDP	CAUD: JDP
AMENDED SKETCH PLAN	REV: JPH	REV: JPH
	TECH: /22220SW1	TECH: /22220SW1
CLIENT: SKY HOLDINGS GROUP LLC 191 HISCOCK STREET ANN ARBOR, MI 48103 AJ FURRHA 734-680-9331		MIDWESTERN CONSULTING 2500 Plymouth Road, Suite 200 Farmington Hills, MI 48334 (734) 535-2020 • www.midwesternconsulting.com Land Development • Land Survey • Institutional • Municipal Wireless Communications • Transportation • Landfill Services
599 S MANSFIELD STREET		
SKETCH PLAN SITE DRAINAGE PLAN		
04		



REVISÉ POUR PLANNING COMMISSION COMMENT 02/15/23

5 OF 6

Designer
DS
Date
12/15/2022
Scale
Not to Scale
Drawing No.
#22-83625 V
1 of 1

Statistics						
Description	Symbol	Avg	Max	Min	Avg/Min	Max/Min
Property Line	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A
Grade	+	0.1 fc	4.5 fc	0.0 fc	N/A	N/A

Schedule						
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp
	A	4	EXISTING	EXISTING	EXISTING	EXISTING
	B	2	EXISTING	EXISTING	EXISTING	EXISTING
	C	3	EXISTING	EXISTING	EXISTING	EXISTING

General Note

1. SEE DRAWING FOR LUMINAIRE MOUNTING HEIGHT.
2. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"
3. LIGHTING ALTERNATES REQUIRE NEW PHOTOMETRIC CALCULATION AND RESUBMISSION TO CITY FOR APPROVAL.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

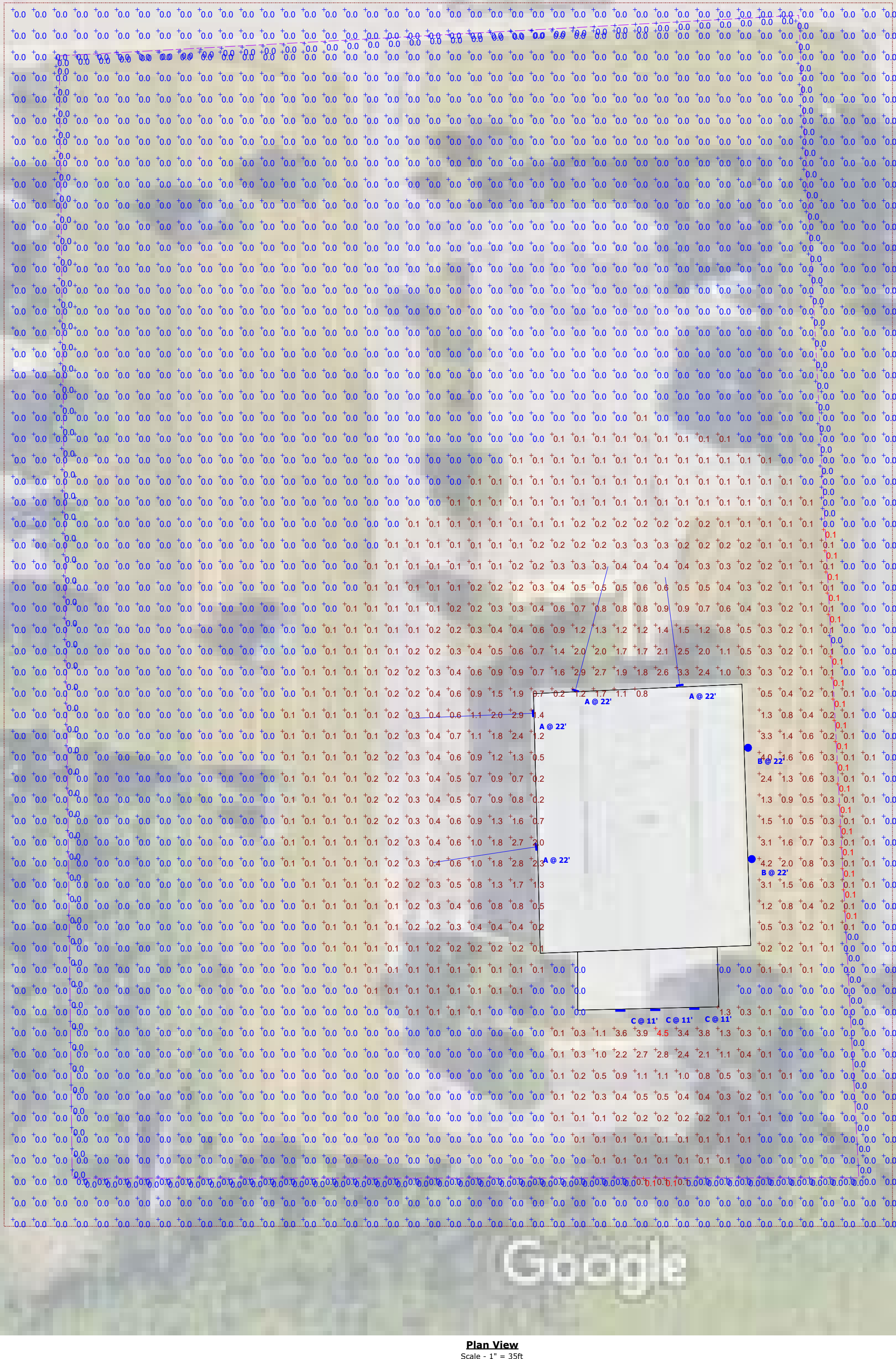
THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIRMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

FOR ORDERING INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.





2022 Annual Report Ypsilanti Planning Commission

INTRODUCTION

The Planning Commission of the City of Ypsilanti is governed by the Michigan Planning Enabling Act, State of Michigan Public Act 33 of 2008, and by the City of Ypsilanti's Zoning Ordinance.

In 2022, the Planning Commission's membership was as follows –

Matt Dunwoodie (Chair)	Jessica Donnelly (Liaison to the ZBA)
Michael Simmons (Vice Chair)	Phil Hollifield
Marc Arthur (Resigned August 2022)	Carl Schier
Eric Bettis	Amanda Smith (Joined May 2022 – 2025)
Mike Davis Jr.	Brian Jones-Chance (Joined December 2022 – 2024)

Under the Planning Enabling Act, the Commission must provide an annual report to City Council, as the legislative body of the City. This report discusses –

1. The operations of the Commission during the past year,
2. The status of any on-going planning activities,
3. Recommendations to the legislative body related to planning and development.

At the end of 2021, the City Planning Department cited the following work objectives for 2022. This report will show that the Planning Department and fellow City department projects made a great deal of progress outlined as objectives for 2022 –

- Implementation of more Master Plan policy recommendations, including goals of housing affordability, density, and sustainability.
- Implementation of Non-Motorized Transportation Plan policy recommendations.
- Re-development of Water Street, 220 N Park, 206-210 N Washington
- Members of Planning Commission have expressed interest in reviewing and potentially revising certain parking standards in the Zoning Ordinance.
- The Planning Commission will continue to provide review of the annual Capital Improvements Plan prior to adoption by City Council, per state act.

PLANNING COMMISSION OPERATIONS

The Planning Commission held 9 total meetings during 2022. In September, Andy Aamodt resigned his position as City Planner. The Planning Department hired Holli Andrews at the end of October to fulfill the duties of staff city planning.

Overall, Planning Commission acted on 32 items in 2022.

Applications

The Commission reviewed 9 site plan review-related applications – 3 as full site plan reviews, 2 sketch plans and 4 limited site plans. The Commission also reviewed seven special use permit applications. All but one site plan review and one special use permit applications were eventually approved; one was tabled first for more information or clarity, then approved.

There were five zoning ordinance text amendments. One was proposed by City staff to address “bug-fixes” in Chapter 122 sections 122-203, 122-416, 122-452, 122-518, 122-538, and 122-685(e) to include the following condition –

- To change the total width of two tiers of spaces plus maneuvering lane to 28 feet one-way, and 30 feet two-way in Section 122-685(e).

The other zoning text amendments in 2022 include –

- Section 122-441 | Childcare as permissible use in CN-SF, CN-Mid, and CN zoning districts.
- Sections 122-203, 122-446, and Article V Division 1 | Research and Development (and similar uses) as permissible uses in Center zoning district.
- Article III Development Procedures and Administration, Division 2 Permits, Subdivision III Temporary Use Permits, Section 122-335 | Temporary Mobile Healthcare Establishments as permissible use in Center, Parks, GC, NC, HHS, and PMD zoning districts.
- Section 122-451 and Article V Division 1 | Roominghouses as permissible use in HC zoning district.

Three **Planned Unit Developments** were approved this year. The PUD applications and plans launched the following actions –

- Planned Unit Developments
 1. Dorsey Estates at 220 N Park | Affordable Housing as Missing Middle Neighborhood
 2. 845-945 W Clark | Senior Housing
 3. 611 Cross Street
- Planned Unit Development Workshop
- Community Benefits Ordinance
 1. Drafted and adopted in 2018-2019.
 2. First used on 845 – 945 W Clark PUD.

Affordable Housing Developments rounded out 2022 in December –

- Ground-breaking event at the Freighthouse for Dorsey Estates. Media coverage.
- 206-210 N Washington | Avalon Housing variances application was approved with HDC’s work and support.

1. 122-556, Supportive Housing. The approved variance removes the limit of 8 occupants and the requirement for an on-site resident manager, due to low-income development fiscal budget feasibility.
2. 122-685, Parking dimensions. For 90-degree parking, this would require a 22' drive aisle width. The variance grants a 12' drive aisle width.
3. 122-691, Minimum and maximum number of parking spaces. This would require 1.5 spaces for each dwelling unit, plus guest spaces (1 per 10 units) which would require (35) parking spaces. The variance grants 2 parking spaces and one van accessible space.

Figure 1 Planning Applications by Type | Past Five Years

	2018	2019	2020	2021	2022
Site Plan Review	12	8	13	6	9
Site Plan Amendment	1	1	--	3	1
Special Use Permit	11	5	12	8	7
Zoning Map Amendment	4	--	--	--	1
Zoning Text Amendment	8	4	3	3	5
Master Plan Update/ Amendment	--	--	1	1	--
Planned Unit Development	1	--	--	--	3
Amend Approved PUD	--	--	--	--	1
Alley/Street Closure/Vacation	--	--	--	1	--
Change in Non-conforming Use	--	--	--	--	--
Capital Improvements Reviews	1	4	--	1	1
Special Topic Planning (begins 2010)	1	--	2	2	1
Study Item (begins 2010)	--	--	--	--	--
Conditional Rezoning	--	1	--	--	3
Total Applications / Deliberations	39	23	31	25	32

Figure 2 Planning Commission Actions by Year | Percent

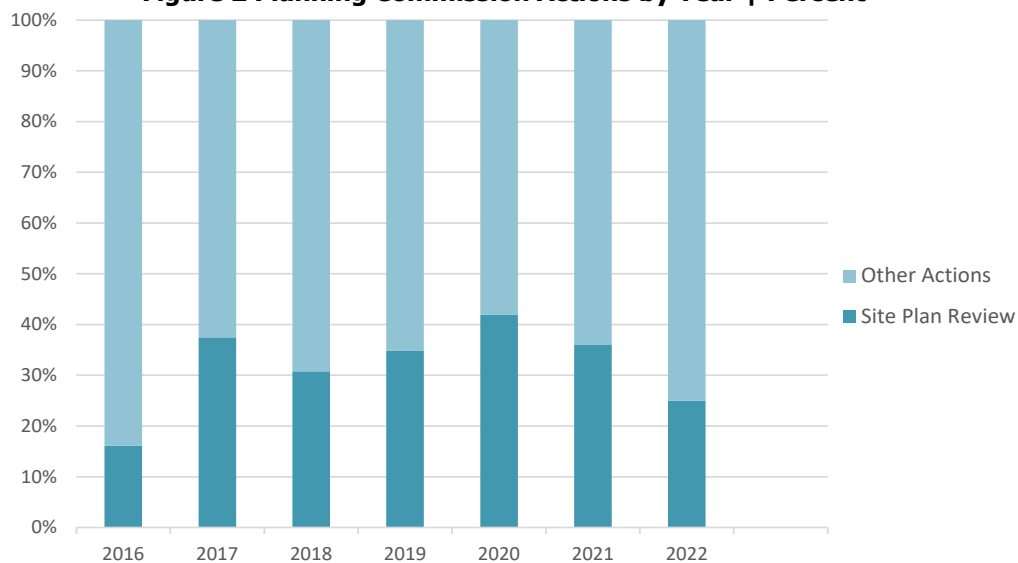


Figure 3 | Planning Decision Stats

Item	Decision/ Motion Date	Action	Key
Bug Fixes	Approved	ZTA	Orange
Childcare	Approved	ZTA	
Research and Development	Approved	ZTA	
Temp Mobile HC Establishments	Approved	ZTA	
Roominghouses	Approved	ZTA	
340 Ecorse	Approved	SUP	Red
300 W Michigan	Approved	SUP	
202-206 E Forest	Approved	SUP	
212 N Summit	Denied	Sketch	Blue
599 S Mansfield	Approved	Sketch	
845 & 945 Clark	Approved	PUD	Purple
220 N Park	Postponed April; Approved May	PUD	
611 W Cross	Approved	PUD	
340 Ecorse	Approved	LSP	Dark Blue
300 W Michigan	Approved	LSP	
202-206 E Forest	Approved	LSP	

Marijuana (MJ) Related

12 E Forest	Approved March; Amended June	MJ SUP	Red
539 S Huron	Denied	MJ SUP	
1420 Washtenaw	Approved	MJ SUP	
401 E Michigan	Approved	MJ SUP	
12 E Forest	Approved March; Amended June	MJ SPR	Blue
1420 Washtenaw	Approved	MJ SPR	
401 E Michigan	Approved	MJ SPR	
539 S Huron	Denied	MJ LSP	Dark Blue
Moratorium MJ Business Permits	Approved by Council Effect 8/18	MJ Emergency Ordinance	Yellow
Moratorium MJ Business Permits	Approved by Council Effect 9/22	MJ Emergency Ordinance	
Moratorium MJ Business Permits	Approved by Council Effect 10/26	MJ Emergency Ordinance	

Action	#Decisions	
Zoning Text Amendment (ZTA)	5	Orange
Special Use Permit (SUP)	7	Red
Special Planning Topic	3	Yellow
Sketch Plan	2	Blue
Site Plan Review (SPR)	3	Light Blue
Planned Unit Development (PUD)	3	Purple
Limited Site Plan Review (LSP)	4	Dark Blue

Total Items 27
Marijuana (Site Specific) 29.6%

Special Planning Topic | Marijuana Industry Management

In 2022, the Planning Commission and City Council worked together to slow the rapid growth of Ypsilanti's pioneering marijuana industry to gauge impacts, plan development, buffers and sustainability. A six-month moratorium on new marijuana business permits took effect on October 26, 2022 and will remain in place until April 23, 2023. During the moratorium planning process beginning midyear, new applications decelerated – allowing the City Planning Department to research other municipalities for caps and other management strategies. See Figure 3.

Master Plan Implementation

These goals and subtitles are taken directly from the Master Plan updates adopted May 2021. [Items implemented in 2022 – checked and in blue font.](#) On-going lists are in black.

Center

- Curbless “festival” street on Washington.
- Use vacant storefronts for temporary retail uses.
- Permanent year-round home for Depot Town Farmer’s Market.
- Increase walkability (2-way streets & raised intersections).
- Curbless “festival” street on River and Cross Streets.
- Create a public space at new train station.
- Separate Cross and Washtenaw.
- Create a “front door” for EMU with reconfiguration of Cross and Washtenaw.
- ✓ [YCUA Water Infrastructure](#)
The Ypsilanti Community Utilities Authority (YCUA) will be making improvements to both existing water and wastewater utilities within the M-17 and US-12 corridors in the City of Ypsilanti. The project will be completed over the course of the next 2 years with work starting in the vicinity of South Hamilton Street, South Huron Street, and Interstate 94 and proceeding northerly from there; ultimately the project encompasses Washtenaw (West Cross to Hamilton), Hamilton (Washtenaw to I-94), Huron (Cross to I-94) and Michigan (Ballard to the Huron River). The work will include water and sewer main replacements and water service line replacements. Up-to-date information will be posted at cityofypsilanti.com/RoadRenovation.
- ✓ [Continue and expand the number, type, and location of festivals and events.](#)
First Fridays
Bicentennial Events Planning
NYE First Night
Summer Movie Series
Freighthouse Programs
Return of Beerfest
Post-pandemic Impacts on Events

- ✓ Continued efforts to fill upper stories.
- ✓ Maintained and expanded transportation options.
- ✓ Drafted a business attraction plan for Downtown, Depot Town, and Cross Street.
- ✓ Encouraged business and event activity during the day and evening.
- ✓ Established a permanent year-round home for Downtown Farmer's Market.
- ✓ Created a marketing campaign for the City of Ypsilanti. Bicentennial events, branding and celebration.,

Neighborhoods

- Create "Eco-Districts" in neighborhood parks.
 - Assist continuation and expansion of EMU Live Ypsi program.
 - Revisit home occupation requirements and consider live-work space.
 - Revise family/occupancy caps.
 - Create visibility requirements.
-
- ✓ Re-survey of the Historic District
 - ✓ Consider new opportunities for accessory dwelling units.
 - ✓ Relax dwelling size, lot area, and lot dimensions requirements.
 - ✓ Allow for density increases in residential zoning districts for the purpose of housing affordability.
 - ✓ Continue and increase rental inspections and enforcement.
 - ✓ Preserve Bell-Kramer residential land uses.
 - ✓ Regulate the form of buildings to preserve the character of neighborhoods.

Corridors

- Designate the appropriate building form for each corridor based on existing patterns and vision for that corridor.
 - Require a pedestrian friendly building form while allowing a mix of uses for both students and residents along Huron River Drive, LeForge & Railroad corridors.
 - Coordinate regulations for Washtenaw Avenue with the Washtenaw County Re-Imagine Washtenaw Plan.
 - Restore Harriet Street as the Main Street of adjacent neighborhoods.
 - Restore two-way function to Cross, Huron, and Hamilton Streets.
-
- ✓ Huron River Drive (Cornell to LeForge)
The City is planning to reconstruct Huron River Drive in 2023. As part of this reconstruction, we plan to add sidewalks to the north side, upgrade crosswalks

at Cornell, Oakwood, and LeForge, and convert a travel lane to a center turn lane, resulting in safer travels for drivers, pedestrians, and bicyclists.

- ✓ Lane Reduction Project on Hamilton, Huron, and Washtenaw (M-17)
- ✓ MDOT Sidewalk Gap Infill, M-17
- ✓ MDOT will construct new sidewalk on Washtenaw Road (M-17) west of Anna, as well as install modern ADA ramps crossing Anna along the south side of Washtenaw, adjacent to Dom's Bakery. This project is complete.
- ✓ MDOT Pavement Rehabilitation; and Pedestrian Crossing of I-94.
Shortly after YCUA's project begins, the Michigan Department of Transportation (MDOT) will begin construction of a [pedestrian pathway over I-94](#) by converting the westernmost southbound lane of Huron to a shared-use path. MDOT will also follow YCUA's infrastructure work with a pavement maintenance and road diet project. MDOT will also be adding and updating many pedestrian crosswalk ramps, including on Michigan Avenue downtown. Once the pavement work is complete, the roadways will be restriped with bike lanes, improved crosswalks, and improved bus stop markings. For more information about the road diet project, please visit [here](#). Up-to-date information will be posted at cityofypsilanti.com/RoadRenovation.
- ✓ Retain the mix of uses within each corridor but allow them throughout the area.
- ✓ Reinforce preservation of historic buildings.
- ✓ Maintain River Street as a historic boulevard.

Districts

- Update regulations to create walkable areas at the border of the City and Campus.
- Create regulations that support the existing building form but assure access by all modes of transportation.
- Allow renewable energy facilities, such as solar panels, on industrial land.
- Reduce minimum lot size and width in the industrial park to create more opportunity.
- Align economic development incentives and programs to encourage emerging sectors that align with the Guiding Values and the employment potential of residents.
- Create "Welcome to Ypsilanti" packages for new EMU students, including web version.
- Encourage use or redevelopment of unused parking lots.
- Create a "front door" for EMU in the area created by the reconfiguration of Cross Street and Washtenaw Ave.

LOOKING FORWARD

At the end of 2022, these planning projects remain in progress:

- Implementation of more Master Plan policy recommendations, including goals of housing affordability, density, and sustainability.

- Implementation of Non-Motorized Transportation Plan policy recommendations.
- Re-development of Water Street.
- Developing policies surrounding marijuana regulation.
- Parking reduction standards in the Zoning Ordinance.
- Improving our lighting standards and enforcement policy by researching other municipalities.
- Approaching the end of the Marijuana Business Permits Moratorium in April with a plan in place to manage and regulate the zoning of marijuana operations for sustainability and business longevity.

Pedestrian Safety Education Campaign – City of Ypsilanti, Michigan Fitness Foundation

Project Goals

The first goal of the pilot is to reduce the total number of pedestrian crashes and fatalities, and the severity of injuries in three communities in Southeast Michigan by:

- A. Providing a multi-media pedestrian safety education campaign that:
 - i. Educates on the specific needs of the community/population identified by the research and study campaign.
 - ii. Can be easily customized and used by communities across Michigan.
 - iii. Considers equity, people with disabilities, and multicultural factors (including any language barriers), as well as ADA requirements.
- B. Educating Michigan citizens on how to safely utilize pedestrian transportation and educate pedestrians and drivers about safety and laws surrounding pedestrian transportation.

The second goal of the pilot is a comprehensive plan (playbook) that can be used by other communities interested in implementing a similar pedestrian safety education campaign.

Project Timeframe

The pilot will go from execution of this MOU through September 2025 and includes the campaign and the development of the playbook. Below is a draft timeline indicating key phases. The draft timeline is subject to change.

Draft Timeline (Updated February 2023)



The City Responsibilities

The City's role in the partnership will include the following responsibilities:

- A. Identify a person to serve as the primary contact who has ongoing capacity and authority to provide direction for the Michigan Fitness Foundation Team for the duration of the overall project. The project is expected to consist of two campaign cycles over two years, and the creation of the playbook.
- B. Engage a steering committee of 4-10 members and help coordinate regular steering committee meetings, at least quarterly, throughout the duration of the project. Meetings may be virtual or in person. This could be an existing committee that includes this campaign in their responsibilities. *The steering committee should ideally include members who represent the following interests within the community: high-crash neighborhood residents, transportation/street design, public health/injury prevention, law enforcement, education (K-12 and/or post-secondary), pedestrian advocates, older adults, people with disabilities.*
- C. Coordinate at least two virtual or in-person focus group meetings per campaign (two campaigns over two years) to receive feedback on campaign messaging and creative content.
- D. Coordinate at least one campaign-related public event per campaign.
- E. Distribute a pre- and post-survey per campaign to understand what community members know about pedestrian safety-related laws and their travel behaviors and attitudes.
- F. Provide documents and other feedback necessary to clarify pedestrian safety needs and opportunities.
- G. Provide input on impact strategy and marketing plans.

MFF Responsibilities

The Michigan Fitness Foundation Team's role in the partnership will include the following responsibilities:

- A. Oversee the campaign's research, development, implementation, and evaluation for each of the two campaigns.
- B. Oversee the playbook development, editing, and final delivery to MDOT for future and public use around the state.
- C. Coordinate with The City's primary point of contact regarding campaign-related activities and the playbook.
- D. Facilitate local steering committee meetings in conjunction with The City, as needed.
- E. Facilitate focus group meetings throughout both campaigns.
- F. Support at least one campaign-related public event per campaign as determined by The City.
- G. Assist with clarifying pedestrian safety needs and opportunities, including crash analysis, review of data provided by The City, and development of pre- and post- surveys.
- H. Develop impact strategy and marketing plans.
- I. Develop and place creative content.
- J. Utilize the feedback provided by The City's steering committee, surveys, focus groups, etc.
- K. Provide content for pedestrian safety website landing page on the campaign's webpage and/or The City's website.