

1. 7:00 P.M. Zoning Board Of Appeals January 2021 Meeting (Virtual Meeting)

Documents:

01 - JANUARY 2021 AGENDA.PDF
02 - NOVEMBER 2020 SPECIAL MEETING MINUTES.PDF
03 - 902 W MICHIGAN.PDF
PUBLIC NOTICE- JANUARY 2021 ZBA VIRTUAL MEETING.PDF
FULL PACKET.PDF

Agenda
Zoning Board of Appeals
Wednesday, January 27, 2020 - 7:00 P.M.

Please be advised that due to COVID-19, City Hall will not be open to the public. This meeting will be held electronically on a video conferencing application. The access code is posted in the Public Notice on www.cityofypsilanti.com and attached in the packet.

I. Call to Order

II. Roll Call

Jake Albers, Chair	P	A
Jared Talaga, Vice Chair	P	A
Heather Khan	P	A
Jason Ringholz	P	A
Tom Roach	P	A
Georgina Hickey <i>alternate</i>	P	A

III. Approval of Minutes

- November 30, 2020 Special Meeting

IV. Purpose of Meeting

V. Old Business

VI. New Business

- 902 W Michigan Ave – Variances
 - *Public Hearing*

VII. Adjournment

MEETING MINUTES
Zoning Board of Appeals
Monday, November 30, 2020 - 7:00 P.M.

Please be advised that due to COVID-19, City Hall will not be open to the public. This meeting will be held electronically on a video conferencing application. The access code is posted in the Public Notice on www.cityofypsilanti.com and attached in the packet.

I. Call to Order

7:05 PM

II. Roll Call

Jake Albers, Chair

P

Jared Talaga, Vice Chair

A

Heather Khan

P

Jason Ringholz

P

Tom Roach

P

Georgina Hickey *alternate*

P

Motion to amend the agenda to place 'New Business' before 'Old Business.'

Offered by: Khan; **Seconded by:** Roach

Approved: Yes-4; No-0; Absent-1 (Talaga)

Motion carried.

III. Agenda Approval

Agenda approved with amendment to discuss "New Business" before "Old Business."

IV. Approval of Minutes

- August 26, 2020 Meeting

Motion to approve the August 26, 2020 meeting minutes.

Offered by: Ringholz; **Seconded by:** Khan

Approved: Yes-4; No-0; Absent-1 (Talaga)

Motion carried.

- October 28, 2020 Meeting

Motion to approve the October 28, 2020 meeting minutes.

Offered by: Ringholz; **Seconded by:** Roach

Approved: Yes-4; No-0; Absent-1 (Talaga)

Motion carried.

V. Purpose of Meeting

To provide ordinance interpretation.

Staff has prepared options what that might look like.

ZBA's job is to make a determination on how that language is interpreted moving forward.

*Note: Boardmember Hickey joined the meeting.

VI. New Business

- Zoning ordinance interpretation – Courtyard Apartment building types and Forecourt private frontages

City Planner Andy Aamodt (referred to as "Staff") presented the staff report.

Staff explained that there was some confusion pertaining to the ordinance standards for Courtyard Apartment building types and Forecourt private frontages at the October 2020 meeting. Staff interpreted at that time, that all private frontages need entry doors facing the street. Upon reading the Courtyard Apartment description text, combined with the Forecourt description text, it appears that such an interpretation is not so straightforward. According to Section 122-396(a)(2), the Zoning Board of Appeals shall hear and decide on questions regarding "the interpretation of the language of this chapter when its meaning is unclear, or when there is uncertainty as to whether the language applies to a particular situation."

Staff reviews definition of private frontage, courtyard apartments, and forecourts.

Staff presents four options for interpretation:

- **Option 1:** Explicit interpretation of ordinance prioritizing the definition of "private frontage" resulting in private frontage and building entry facing the street.
- **Option 2:** Flexible interpretation of ordinance prioritizing the Courtyard Apartment general description, with Forecourt private frontages and building entries allowed to not face the street, rather facing the open space created by the forecourt.
- **Option 3:** Wide-ranging strict private frontage interpretation where all building entries in any private frontage type need to face the street.
- **Option 4:** Wide-ranging flexible private frontage interpretation where building entries in any private frontage do not need to face the street, so long as the private frontage space is clearly oriented towards the street, faces the street, and clearly connects to the street via a sidewalk.

ZBA asked staff relevant questions.

Motion to open the public hearing.

Offered by: Hickey; **Seconded by:** Roach
Approved: Yes-5; No-0; Absent-1 (Talaga)
Motion carried.

One member of the public made comments suggesting that the term "courtyard apartment" should be removed from the zoning ordinance because it is not clear what the ideal apartment is in the city. The speaker also made a comment that none of the options presented by staff meet the requirements of a Courtyard Apartment and there may not be any courtyard apartments in the city.

Motion to close the public hearing.

Offered by: Khan; **Seconded by:** Ringholz
Approved: Yes-5; No-0; Absent-1 (Talaga)
Motion carried.

The ZBA discussed the presented options including the possibility of providing flexibility and analyzing each instance of a Courtyard Apartment and a Forecourt private frontage on a case-by-case basis.

Motion that the Zoning Board of Appeals interprets the relationship between a Courtyard Apartment

building type and a Forecourt private frontage by prioritizing the Courtyard Apartment general description in 122-472.CA, where forecourt private frontages and building entries are allowed to not face the street, rather face the open space created by the forecourt, so long as there is a direct pedestrian connection to the public sidewalk. Furthermore, a parking surface is not interpreted to be part of this open space and must not contribute to the clear span width and depth. The forecourt open space shall be a space that is suitable for outdoor dining, gardens, formal entries, as stated in §122-483.

Offered by: Hickey; **Seconded by:** Roach

Approved: Yes-5; No-0; Absent-1 (Talaga)

Motion carried.

VII. Old Business

- 212 N Lincoln St – Variances
 - *Tabled from October 28, 2020 meeting.*

Staff reviews Variance 2 with the ZBA as it now changes in relation to the current interpretation of Courtyard Apartment and Forecourt private frontage.

The ZBA discusses and asks questions relevant to the variance requests to recollect information discussed at the October 28th meeting.

The applicant makes a few comments stating that the main goal is to save the parking lot and the existing foundation. The applicant discusses improvements that can be made to meet variance requirements. The applicant mentions that there will be an improvement in frontage buildout percentage from 11 percent to 17 percent.

Motion to approve the variance request from Section 122-472.CA to permit no less than 17% frontage buildout at 212 N Lincoln St with the following findings:

- 1. Literal enforcement of this chapter will pose practical difficulties to the applicant because of special conditions or circumstances which are unique to the specific property such as: exceptional shallowness or shape of the property, exceptional topographic conditions, extraordinary situation of a building or structure, use or development of an adjacent property, or difficulties relating to construction or structural changes on the site. Mere inconvenience or a desire to attain higher financial return shall not itself be deemed sufficient to warrant a variance.*
- 2. The alleged practical difficulties on which the variance request is based have not been created by any person presently having an interest in the property.*
- 3. The granting of the variance will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located.*
- 4. There was a good faith effort by the applicant to improve the frontage buildout from the original 11% during this meeting's discussion.*

Offered by: Khan; **Seconded by:** Hickey

Approved: Yes-5; No-0; Absent-1 (Talaga)

Motion carried- variance granted.

Motion to deny the variance request from Section 122- 472.CA/122-483 to permit no forecourt private frontage at 212 N Lincoln St with the following findings:

- 1. Literal enforcement of the zoning ordinance does not pose practical difficulties and there are no special conditions or circumstances unique to this property for the purpose of a forecourt private frontage variance. (§122-370.b.1)*
- 2. Granting of the variance would confer upon the applicant a special privilege that is denied by this chapter to other lands, structures, or buildings in the same district. (§122-370.b.2)*
- 3. The allowance of the variance would not ensure substantial justice being done, considering the public benefits that the zoning ordinance and planning efforts propose.*

(§122-370.b.5)

4. *The variance request is not the minimum necessary. (§122-370.b.6)*

Offered by: Khan; **Seconded by:** Roach

Approved: Yes-5; No-0; Absent-1 (Talaga)

Motion carried- variance denied.

VIII. Adjournment

Motion to adjourn.

Offered by: Hickey; **Seconded by:** Ringholz

Approved: Yes-5; No-0; Absent-1 (Talaga)

Motion carried.

DRAFT



January 27, 2021

**Staff Review of Variance Requests
902 W Michigan Ave**

GENERAL INFORMATION

Applicant: Johnny Gewarges
Avenue Market
902 W. Michigan Ave.
Ypsilanti, MI 48197

Project: 902 W Michigan variances

Public Hearing Date: January 27, 2021

Location: Northwest corner of W. Michigan Avenue and Summit.
YP CITY 6W-18 LOT 19 ASSESSOR'S PLAT NO. 4. (Parcel ID# 11-11-39-145-036)

Zoning: General Corridor (GC)

Action Requested: Approval of two variances: a variance to permit less than 60% ground floor transparency; and a variance to permit a loading space in a yard abutting a residential district, specifically within 50 feet of a property zoned CN-Mid.

Staff Recommendation: Denial; Approval with conditions

PROJECT AND SITE DESCRIPTION

Avenue Market Party Store currently sits on this property, zoned GC. The applicant proposes an approximate 832 square feet addition to the rear of the building, along the Summit St frontage. With this, the project is also proposing a number of site modifications, including a designated loading area.

For the sake of the staff review, "Variance 1" pertains to the variance to permit less than 60% ground floor transparency (§122-484(c)) and "Variance 2" pertains to the variance to permit a loading space in a yard abutting a residential district, specifically within 50 feet of a property zoned CN-Mid (§122-695(c)).

Figure 1: Subject Site Location (2015 Aerial)

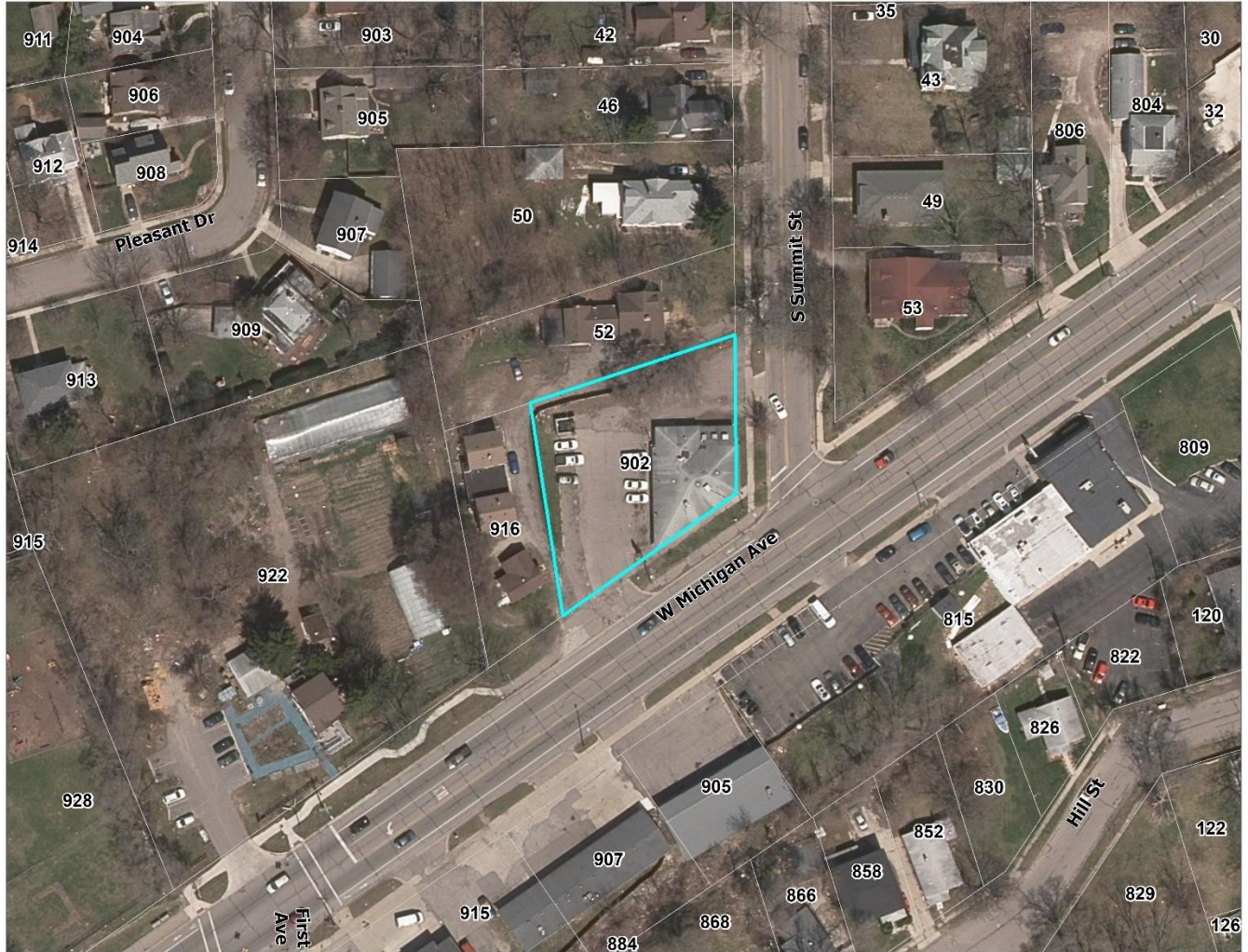


Figure 2: Photo of site from W Michigan Ave (Google Image, 2019)

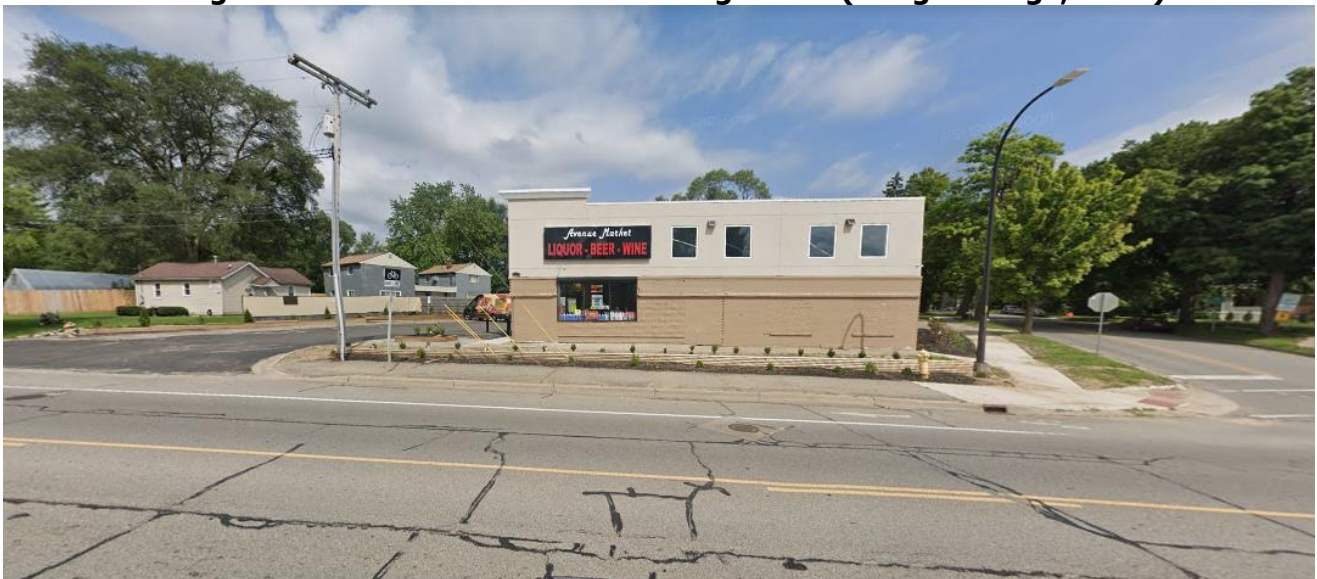


Figure 3: Photo of site from S Summit St (Google Image, 2019)



Figure 4: Land Use and Zoning of Surrounding Area

	LAND USE	ZONING
NORTH	Residential	CN-Mid
EAST	Residential	CN-Mid
SOUTH	Church/Medical	GC
WEST	Residential	GC

§122-484

Sec. 122-484. Commercial

C COMMERCIAL

The façade is set back from the front lot line per applicable street setback requirements, typically at or near the front lot line with the entrance at sidewalk grade. The façade may include an awning, shed roof, or gallery (a lightweight colonnade with no habitable building space above it) that covers the sidewalk and may extend into the right-of-way. The façade has a substantial amount of glazing at the sidewalk level. Recessed entrances are acceptable.

FAÇADE DIMENSIONS		
	MIN	MAX
A	Distance between openings (ft)	-- 2
B	Door recess (ft)	-- 5
C	Ground floor transparency (%)	60 --
D	Height to bottom of window (ft)	-- 2.5
YARD REQUIREMENTS		
E	Must be landscaped/pervious, with a path at least 6 feet wide connecting the building entrance to the sidewalk.	
OPTIONAL AWNING OR GALLERY		
F	Setback from curb (ft)	2 --
G	Clear depth - awning (ft)	4 10
	Clear depth - gallery (ft)	8 10
H	Clear height (ft)	8 --

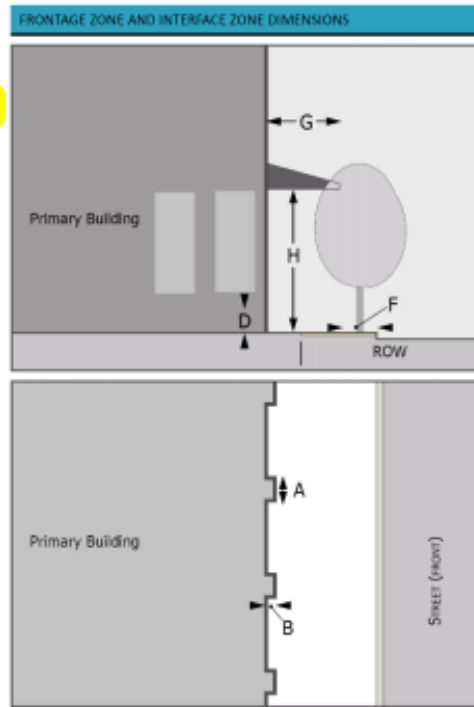


Figure 5: Capture of East Elevation Drawing

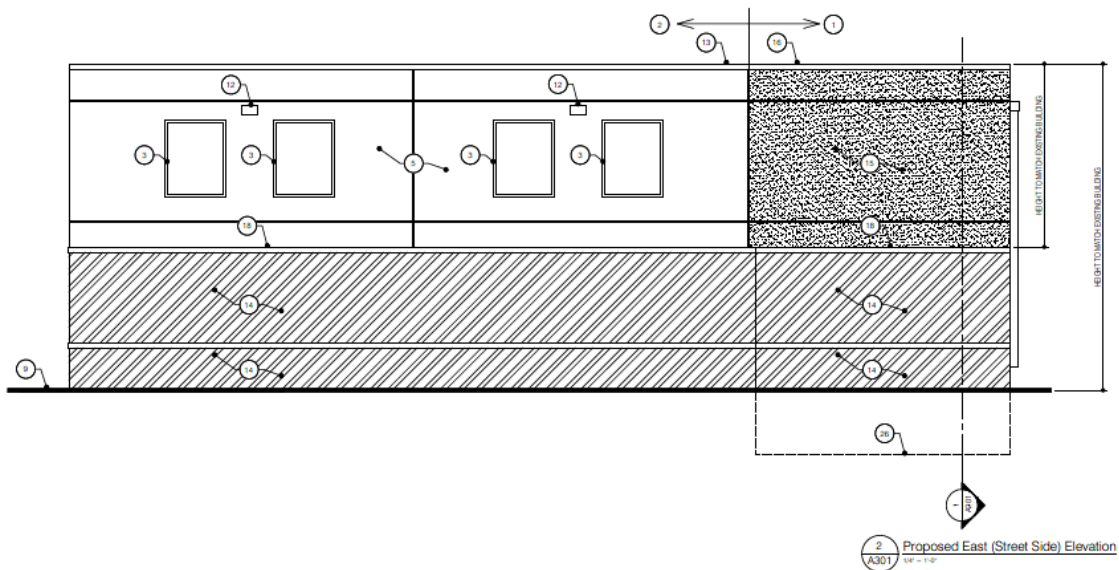


Figure 6: Photo of East Facade (October 14, 2020)



Staff interpretation: The east façade currently has 0% ground floor transparency. Because the proposal involves expanding the east façade, with no accompanying ground floor transparency, staff determines this to be an expansion of a nonconformity which would therefore require the variance.

§122-695

- (b) All loading spaces shall be located within a nonrequired rear yard, or a nonrequired side yard which does not abut or lie across a street from a residential zoning district; but in no case shall loading spaces be permitted in a front yard. Loading spaces shall be subject to primary building setbacks.
- (c) No loading space shall be located closer than 50 feet to any R1, MD, CN-SF, CN-Mid, CN, or HHS district, unless located within a completely enclosed building or enclosed on all sides facing the district by a solid concrete or masonry wall not less than six feet in height.
- (d) Loading space areas shall be provided with a paved surface having an asphaltic or Portland cement binder so as to provide a permanent, durable and dustless surface. All loading spaces shall have a minimum 14-foot high clearance.
- (e) Loading areas shall not utilize any area required for the maneuvering of vehicles into parking spaces or block general vehicular circulation on a site.
- (f) A truck turning plan must be provided.

Figure 7: Capture of Loading Space on Site Plan

Loading space is hatched area labeled "31"

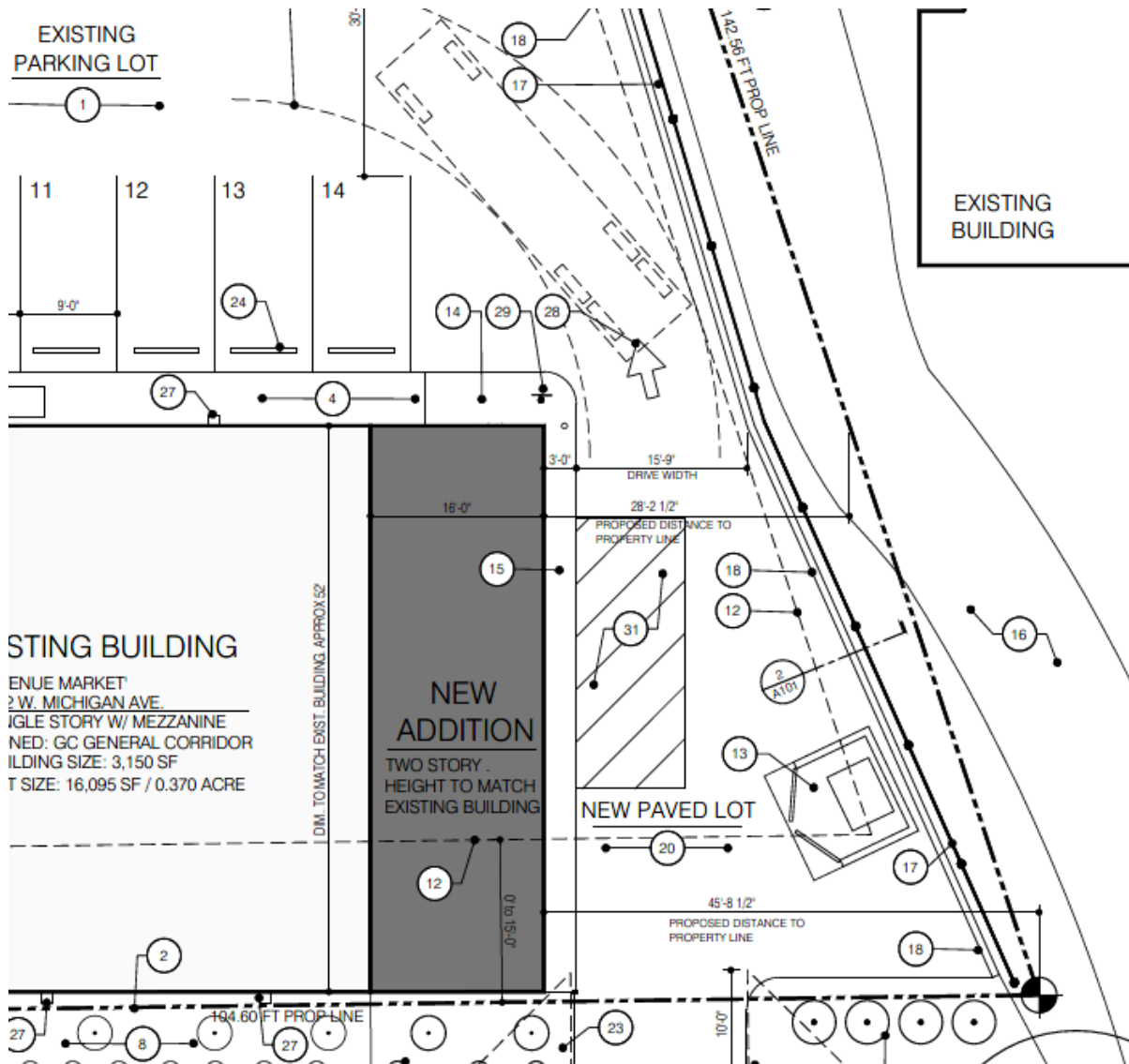


Figure 8: Photo of Site (October 14, 2020)



Staff interpretation: This variance is requested because the proposed loading space is within 50 feet of a property zoned CN-Mid.

STANDARDS

§122-370(b)

Standards for Variances. A variance from the literal enforcement of this Ordinance may be granted by the Zoning Board of Appeals only if all of the following standards are met.

(1) Literal enforcement of this chapter will pose practical difficulties to the applicant because of special conditions or circumstances which are unique to the specific property such as: exceptional shallowness or shape of the property, exceptional topographic conditions, extraordinary situation of a building or structure, use or development of an adjacent property, or difficulties relating to construction or structural changes on the site. Mere inconvenience or a desire to attain higher financial return shall not itself be deemed sufficient to warrant a variance.

Variance 1 (Ground floor transparency (§122-484(c)))

There do not appear to be any specific physical circumstances to the property that pose practical difficulties. The difficulty comes from the store's building layout. While inconvenient to renovate the interior layout, the coolers could be positioned in a different place thus opening up the south and east walls for windows.

Staff Recommendation: Standard not met.

Variance 2 (Loading space (§122-695(c)))

The applicant wishes to retain the orientation of parking spaces on the west side of the lot, therefore the only remaining place to provide for a loading space takes place at the rear of the building, where there is an access drive and paving, but no striped parking spaces. Because it is not possible to put multiple parking spaces in the rear of the building, and because the base site parking requirement is calculated at 16 spaces, the placement of a loading space in the west part of the lot would only displace the problem, resulting in a parking space nonconformity.

Additionally, the 50 feet setback requirement is burdensome to shallower properties that abut residential properties to the rear, as it is not feasible to put a loading space near the front of many such properties. The current layout is potentially legal-nonconforming; even if the applicant wished to add a loading space to the rear of the building as the building sits now, such loading space would still be within 50 feet of the abutting residential.

Staff Recommendation: Standard met.

(2) Such variance is necessary for the preservation and enjoyment of a substantial property right enjoyed by other property owners in the same district under the terms of this chapter. Granting of the variance shall not confer upon the applicant any special privilege that is denied by this chapter to other lands, structures, or buildings in the same district.

Variance 1:

This is same standard that anyone applying for a site plan review for a convenience/food store in GC would be held to. Notably, other convenience and food stores, including the Sunoco on Washtenaw, include many windows, and was remodeled under the current zoning ordinance.

Staff Recommendation: Standard not met.

Variance 2:

This is the same standard that anyone applying for a site plan review for a commercial use of such size would entail.

However, the granting of the variance should not confer the applicant any special privilege, rather the ability to locate the loading space in the rear yard, an area that is often preferred in any case by both business owners and customers in terms of site accessibility. Many commercial properties in the City have traditionally used loading spaces and garbage pickup in the rear of their properties, which occasionally fall within 50 feet of residential.

Staff Recommendation: Standard met.

(3)The alleged practical difficulties on which the variance request is based have not been created by any person presently having an interest in the property.

Variance 1

The building went through a thorough interior renovation in 2016, and the property ownership has remained the same since. Therefore, the argument at issue that the coolers prevent the building from having ground floor transparency, is at least partly created by the present owner of the property.

Staff Recommendation: Standard not met.

Variance 2

The building has had this footprint for tens of years, long before the present owner. Due to the limited space at the rear of the building, it is not feasible to put parking spaces there, thus the space is better used for loading/unloading.

Staff Recommendation: Standard met.

(4)The granting of the variance will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located.

Variance 1:

Staff does not expect that the ground floor transparency, distance between openings or the height to the bottom of the windows as proposed will be directly detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located. However, these ordinance requirements were meant to foster a walkable neighborhood, which promote physical activity and connected neighborhoods, both of which have been shown to have a positive effect upon public health.

Staff Recommendation: Standard not met.

Variance 2:

There is a privacy fence proposed to mitigate potential nuisance, and staff recommends that portion of the privacy fence be masonry to reduce any potential sound nuisance to the neighboring property. The loading space variance should not create an injurious situation to other properties or improvements in the neighborhood. Additionally, the loading space will be located in an area more

adjacent to the neighboring front yard than the house itself, therefore it should be less of a nuisance than expected

Staff Recommendation: Standard met.

(5) The allowance of the variance will result in substantial justice being done, considering the public benefits intended to be secured by this chapter, the individual hardships that will be suffered by a failure of the Zoning Board of Appeals to grant the variance, and the rights of others whose property would be affected by the allowance of the variance.

Variance 1:

Staff does not believe that substantial justice will be done, nor that the individual circumstance outweighs the public benefit intended to be secured by the zoning ordinance in this case. The goal of the zoning ordinance building types are to require developments that are front-facing and transparent. The public benefit that is intended to be secured by the commercial frontage requirements is to promote and foster walkability and support "eyes on the street."

Staff Recommendation: Standard not met.

Variance 2:

The allowance of the variance will result in substantial justice being done, considering the public benefits intended to be secured by this chapter. The shallowness of the property and the abutting CN-Mid zoned property make locating a loading space extremely difficult, if not impossible. The extensive nature of the zoning ordinance in this case, creates a scenario where the compliance to the ordinance in one section, might displace an issue into another section (i.e. putting the loading space in the front parking lot might result in a shortage of required parking spaces).

Additionally, considering the second clause in §122-695(b) "...unless located within a completely enclosed building or enclosed building or enclosed on all sides facing the district by a solid concrete or masonry wall not less than six feet in height," it is difficult to fully enclose the loading space by a solid concrete or masonry wall. That is because the loading space is proposed as a pull-through space, where trucks enter in a forward manner from S Summit St, then pull-through and exit onto W Michigan Ave. This makes it so that trucks will not be using S Summit street, a more residential street, to back into the loading space. In the end, staff believes this proposal is less disturbing to the adjacent neighborhood, compared to the alternative where trucks might back-in to the S Summit St entrance. In the spirit of the ordinance, staff recommends the privacy fence parallel to the loading space be built of masonry, six feet high.

Staff Recommendation: Standard met.

(6) A variance granted shall be the minimum variance that will make possible a reasonable use of the land, buildings, or structure.

Variance 1:

The proposal increases the Summit St frontage by 16 feet. There is currently no ground-floor transparency on Summit St and there is none proposed. Therefore staff does not view this variance as the minimum necessary.

Staff Recommendation: Standard not met.

Variance 2:

The proposed placement, parallel with the north wall, and with a privacy fence acting as a screen on the north side of the property line, attempt to alleviate any adverse effects of loading/unloading here.

Staff Recommendation: Standard met.

STAFF RECOMMENDATION

Staff recommends the Zoning Board of Appeals **deny** the variance request from §122-484(c) to permit less than 60% ground floor transparency at 902 W Michigan Ave with the following findings:

Findings:

1. There are not practical difficulties because of special conditions or circumstances which are unique to the specific property. (§122-370.b.1)
2. Granting of the variance would confer upon the applicant a special privilege that is denied by this chapter to other lands, structures, or buildings in the same district. (§122-370.b.2)
3. The alleged practical difficulties on which the variance request is based have been at least partly created by the present owner. (§122-370.b.3)
4. The granting of the variance will be detrimental to the public welfare in the neighborhood in which the property is located. (§122-370.b.4)
5. The allowance of the variance would not ensure substantial justice being done, considering the public benefits that the zoning ordinance and planning efforts propose. (§122-370.b.5)
6. The variance request is not the minimum necessary. (§122-370.b.6)

Staff recommends the Zoning Board of Appeals **approve** the variance request from §122-695(c) to permit a loading space within 50 feet of a property zoned CN-Mid with the following findings and conditions:

Findings:

1. Literal enforcement of the zoning ordinance poses practical difficulties regarding the placement of a loading space at least 50 feet from the adjacent residential lot. (§122-370.b.1)
2. Granting of the variance would not confer upon the applicant a special privilege that is denied by this chapter to other lands, structures, or buildings in the same district. (§122-370.b.2)
3. The practical difficulties of the site have not been created by the present owner of the property. (§122-370.b.3)
4. The granting of the variance shall not be detrimental to the public or injurious to the neighboring properties, especially considering screening with a six foot high masonry wall. (§122-370.b.4)
5. The allowance of the variance would ensure substantial justice being done, considering the difficulty and potential problems in placing the loading space elsewhere. (§122-370.b.5)
6. The variance request is the minimum necessary. (§122-370.b.6)

Condition: The rear property line be screened using a 6 feet high masonry wall.

Andy Aamodt
City Planner, Community & Economic Development Department

c.c. File
Applicant



**City of Ypsilanti
Planning & Development Department**

One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646
www.cityofypsilanti.com

VARIANCE APPLICATION

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

Applicant

Name JOHNNY GEWARGES	
Address [REDACTED]	
Phone [REDACTED]	Email [REDACTED]

Property

Address 902 W MICHIGAN AVE, YPSILANTI MI 48197	Parcel ID 11-11-39-145-036
Property owner* BRIAN HANNA	
Attach an accurate, scaled drawing of the property showing: <ul style="list-style-type: none"> • All property lines and dimensions • Location and dimensions of all existing and proposed structures and uses on the property • Any roads, alleys, easements, drains, or waterways which cross or abut the property and lot area and setback • Dimensions necessary to show compliance with the regulations of this ordinance. 	

*If applicant is not the property owner: applicant must attach property owner's written, notarized authorization of application.

Request for Variance: Please attach additional pages to the application if needed.

Name and description of proposed project
Avenue Market. The proposed project includes a new rear building addition, parking lot improvements, additional landscaping, new dumpster enclosure, and new privacy fence along rear lot line.
Section of Zoning Ordinance (chapter, article, section, subsection format, please)
122-475.CM Ground Floor Transparency & 122-95 Loading Spaces
Explain how the proposed project is contrary to ordinance
Transparency : Ordinance requires 60% transparency and proposed project includes 5% (see attached drawing cover sheet for more detailed information)
Loading Spaces: Ordinance requires loading spaces/areas to be no closer than 50ft from residential use groups. Proposed loading area is less than 50ft. (see attached site plan drawing for additional info.)
Explain the unique conditions/circumstances to the property and why compliance with the ordinance will pose practical difficulties.
Transparency: It is not feasible to achieve a higher percentage of of transparency due to the interior layout and functions within the building. The businesses existing walk-in cooler is positioned along both the south and

east exterior walls making it impossible to install windows. This is a product sales cooler that customers use
when shopping. The new rear building addition is designed as an extension to this cooler.
Loading Space: The configuration of the site plan only allows for a loading area at the rear of the building.
Placing the loading area 50ft away from the residential use would locate it within the spaces of the parking lot.
Explain how the variance will not grant a special privilege that is not similarly enjoyed by other properties in the same district.
The lack of transparency/windows along the facade is simply a matter of building function for this
particular circumstance and we do not believe it results in any special privilege.
Similarly the loading area location has been dictacted by the shape of the lot layout (parking area vs. budiling)
and we do not believe that it results in any special privilege.
Have the practical difficulties been created by any person presently having an interest in the property?
No
Will the granting of the variance be detrimental to the public welfare or neighborhood properties?
No. In the case of the loading area being within 50 ft of a residential use there is a privacy fence positioned
between the area and residential lot. Also, the loading is not directly across from the residence.
Will the granting of the variance result in substantial justice being done, public benefits, and individual hardships solved, while protecting the rights of other properties?
Yes
Is this variance request the minimum variance that will make possible a reasonable use of land, buildings, or structure?
Yes

Signature

I hereby attest that the above information is accurate and complete. I am authorized to and grant permission to the City of Ypsilanti staff to access the subject property for the purposes of preparing staff reports and/or evaluating this application.

Signature:

Date:

12-21-2020

Print Name:

JOHNNY GEWARGES

Fee Schedule

First variance for single-family property	\$500
Subsequent variance for single-family property	\$250
First variance for all other properties	\$1000
Subsequent variance(s) for all other properties	\$250

*****FOR OFFICE USE ONLY*****

Date:	Amount:	Account: 101-4-7210-607-01
<input type="checkbox"/> Cash <input type="checkbox"/> Check payable to City of Ypsilanti <input type="checkbox"/> Credit (+ 3.0% surcharge)		Code: 178 Rezone
		Signature of person receiving deposit:
Description of deposit:		

Avenue Market - Party Store

Proposed Building Addition

902 W Michigan Ave., Ypsilanti MI 48197



Owner
BRIAN HANNA
 902 W Michigan Ave
 Ypsilanti MI 48197

architect

THOMAS ROBERTS ARCHITECT, LLC
 2927 4th Street
 Wyandotte, Michigan 48192
 rep: Wayne Dutton, Project Manager

PROJECT DESCRIPTION

BUILDING INFORMATION:
 The current property is that of the 'Avenue Market' convenience/party store.

The existing property consists of a stand alone building and parking lot. The proposed project consists of a new addition added to the rear of the building, relocation of the trash dumpster, replacement of privacy fence along rear property line, re-paving of the parking lot, installation of a new storm water system, and addition of new landscaping within select areas.

The addition will be used as an expansion of the 'Avenue Market'. The addition will house storage space and an expanded walk-in cooler. See attached floor plans.

The existing building is a single story with second floor mezzanine space which looks out over the main floor. The new addition will be a two story addition although the overall height of the new addition will match the height of the existing building.

The exterior facade finishes of the new addition are designed to match those of the current building. The upper half of the building is EIFS/Stucco to match existing. The lower half of the building will be a stone veneer (new addition and existing building). See attached elevation drawings.

The existing landscaping will remain and the new landscaping plant selections will match those existing. The new pavement area at the rear of the building is used for delivery vehicles. See attached site/landscape plan.

ZBA VARIANCE REQUEST

The applicant is seeking ZBA approval of the following variance requests.

- 1. Facade Transparency (Percentage of):**
 - Ordinance requires 60% transparency of the first floor facade.
 - Existing South facade (Michigan Avenue):
 - 5% on first floor
 - 10% if high windows are considered
 - Proposed South facade (Michigan Avenue): % remains same.
 - Existing East facade (S. Summit St.):
 - 0% on first floor
 - 7% if high windows are considered
 - Proposed East facade (S. Summit St.):
 - 0% on first floor
 - 5% if high windows are considered

Project does not conform: This deficiency is due to the lack of transparent windows along the first floor. It is not feasible to achieve a higher percentage of transparency due to the interior layout of functions within the building. As can be seen on the attached floor plan the businesses walk-in cooler is positioned along both the south and east exterior walls. This a product sales cooler that customers use to shop for refrigerated items. The new building addition contains an extension to the existing walk-in cooler. Although the overall facade lacks the required transparency the main building entrance does offer a large area of transparency to customers as the approach the doors. The southwest entry of the building is flanked with glass doors and a large window.
- 2. Off-Street Loading Space:**
 - Ordinance requires a 10ft x 25ft loading space.
 - Space must be 50ft away from residential district.
 - Proposed project includes a 10ft x 25ft loading space at north side of building.
 - Proposed location is less than 50ft away from residential district.

Project does not conform: Although less than 50ft the proposed location is screened with a privacy fence and is adjacent to a front lawn portion of adjacent residential property (not aligned with the house).

ZONING INFORMATION

- Governing Zoning Ordinance: City of Ypsilanti Michigan
- Zoned: GC General Corridor
- Parking Requirements: Existing parking lot layout to remain as-is.
- Landscaping Requirements: Existing landscaping is to remain.
- PROJECT BUILDING ADDITION PARAMETERS ARE BASED ON THE FOLLOWING SECTION:
 Sec 122-475. CM Commercial Mixed-Use - Medium (listed here below)

Sec. 122-475. CM Commercial/Mixed Use Medium

CM COMMERCIAL/ MIXED-USE - MEDIUM

These are generally moderately-sized multiple-story buildings designed for commercial uses on the ground floor and dwellings or offices above, located on lots that can accommodate a building that spans 20-40% of that block's width.

LOT REQUIREMENTS	MIN	MAX
A Lot size (sf)	--	60,000
B Lot width (ft)	60	120
C Lot depth (ft)	--	500
D Lot coverage (%)	--	90

BUILDING ENVELOPE	MIN	MAX
E Street setback (front or side) (ft)	0 ⁽¹⁾	15 ⁽¹⁾
F Side setback (interior lot line) (ft)	0	--
G Rear setback (ft)	10 ⁽²⁾	--
H Frontage buildout (%)	90	100

ACCESSORY BUILDING ENVELOPE	MIN	MAX
I Street setback (ft)	30	--
J Side setback (ft)	10	--
K Rear setback (ft)	10	--
L Building footprint (sf)	--	800

BUILDING HEIGHT	MIN	MAX
M Principal building (stories)	2	5
N Accessory structure(s) (ft)	--	15

PARKING LOCATION
 Permitted in the side and rear yards.

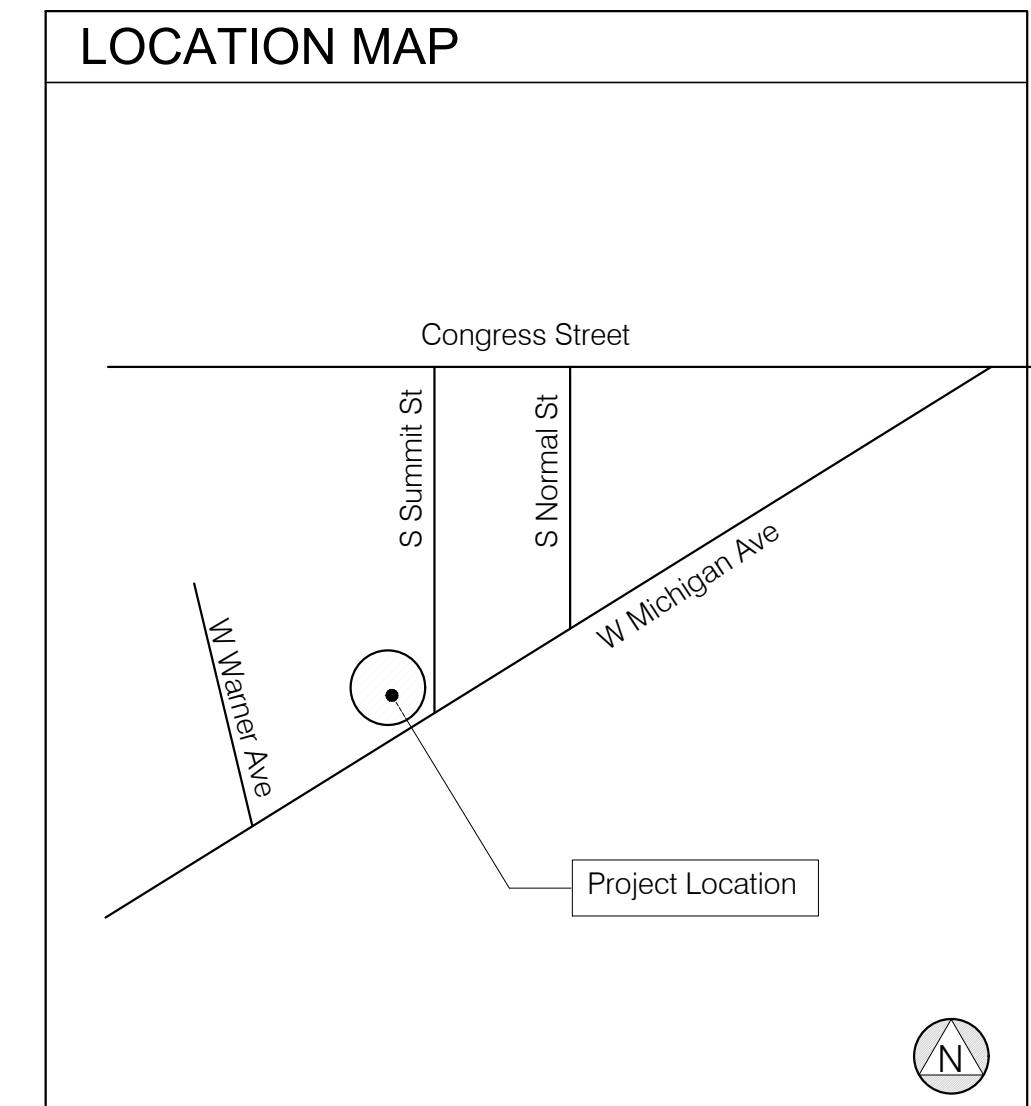
PRIVATE FRONTAGES
 Commercial required.

(1) If located on Washtenaw Avenue, must build no more than ten feet from future right-of-way line as defined in the ReImagined Washtenaw plan.
 (2) When adjacent to existing detached single-family homes, the rear setback shall be a minimum of 25 feet.

Article IV: Districts | Division 3: Walkable Urban Districts 147

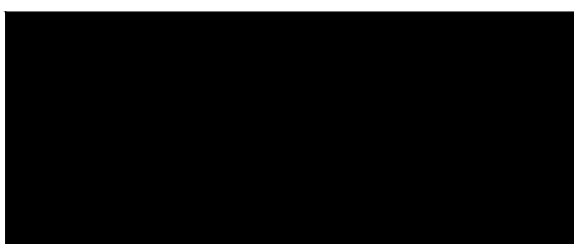
DRAWING INDEX

-	Cover Sheet
E100	Images - Existing Property
E200	Existing Site Plan
A100	Proposed Site Plan
A102	Proposed First Floor Plan
A103	Proposed Second Floor Mezzanine Plan
A300	Proposed Exterior Elevations
A301	Proposed Exterior Elevations



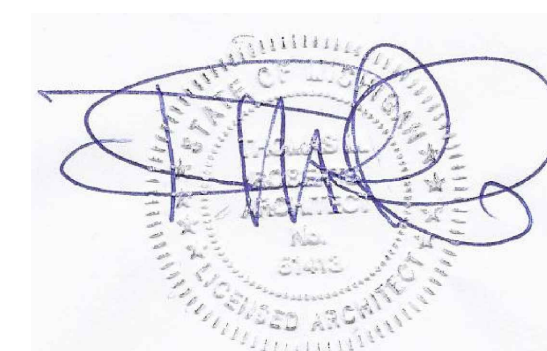
Submittal Date: 12/21/2020

Re: 1/27/2021 ZBA Meeting



20017

Project No.





3 Existing Image - Landscaping
E100



2 Existing Image - Entry Facade
E100



1 Existing Image - Front Facade
E100



6 Existing Image - Rear Drive
E100



5 Existing Image - Rear Facade
E100



4 Existing Image - Parking Lot Facade
E100



7 Existing Image - Dumpster Location
E100

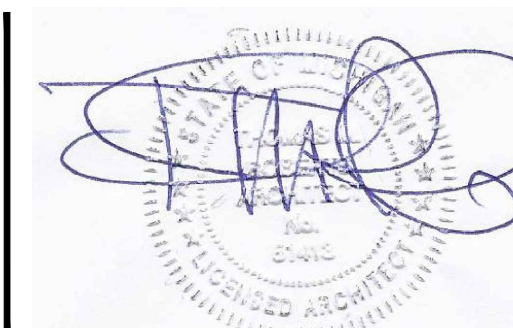
THOMAS
ROBERTS
ARCHITECT, LLC
2927 4th Street
Wyandotte, MI 48192
(t) 734.250.4032

12/21/20	ZBA (1-27-21 Meeting)		

ISSUANCES

REVISIONS

Seal



Avenue Market - Party Store
Building Addition
902 West Michigan Avenue
Ypsilanti, Michigan 48197

print date: 12.21.2020

TR
principal in charge
WD
project manager
WD
project architect
EP/WD
drawn

date
20017
job number

E100

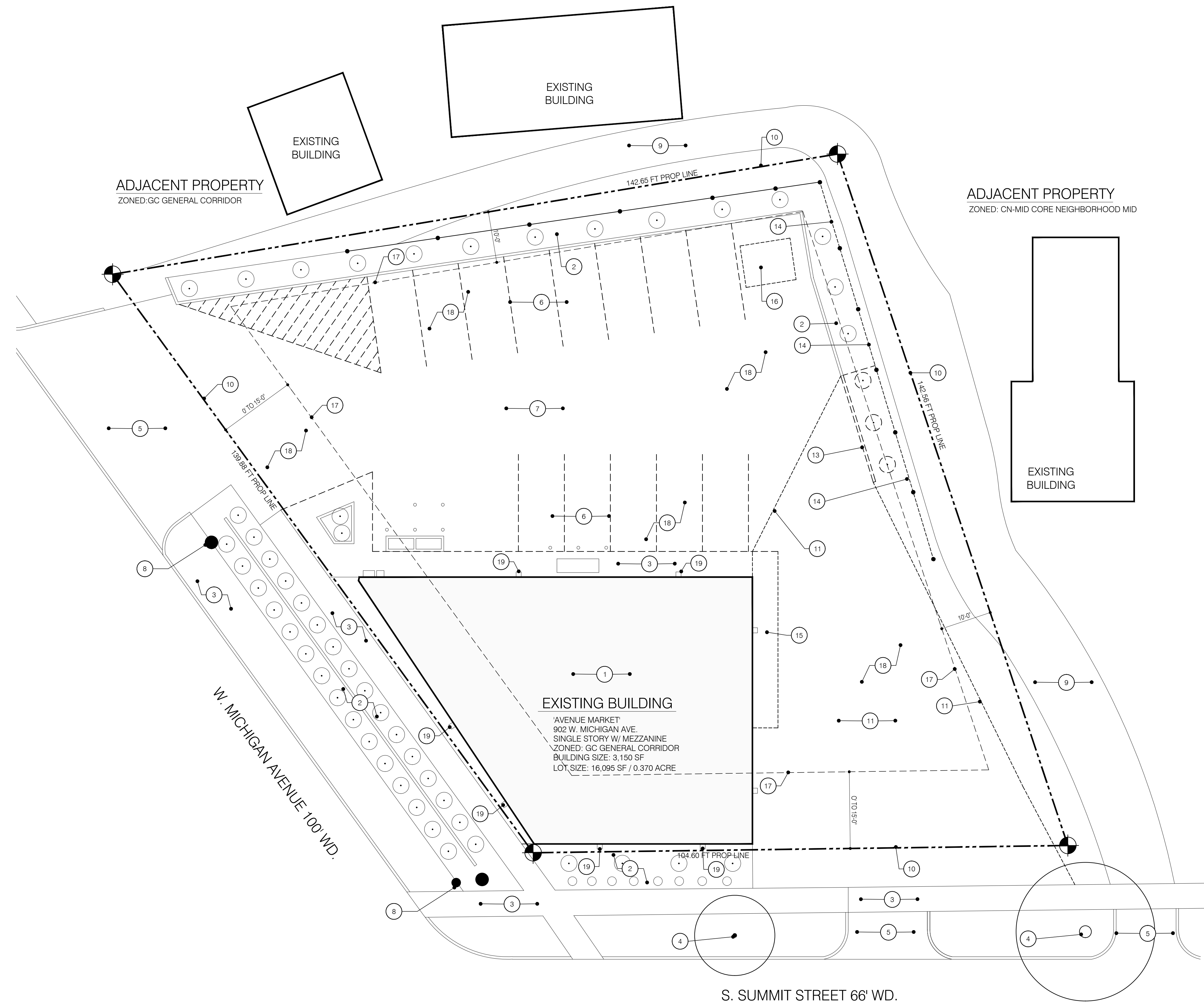
sheet number

GENERAL NOTES

A. PROPERTY LINES AND NEIGHBORING PROPERTY INFORMATION IS BASED ON MORTGAGE SURVEY PROVIDED BY THE TITLE AGENCY.

SITE KEYNOTES

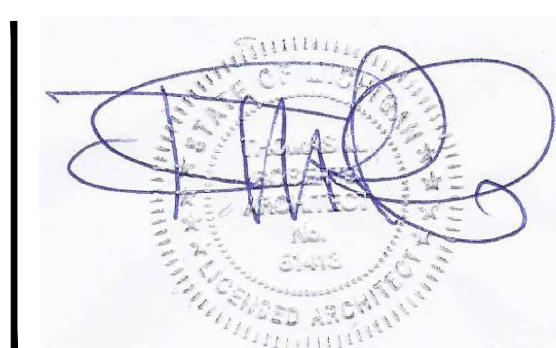
- 1 EXISTING BUILDING
- 2 EXISTING LANDSCAPE BED AND PLANTINGS
- 3 EXISTING WALK
- 4 EXISTING TREE
- 5 EXISTING DRIVE/APPROACH
- 6 EXISTING PARKING SPACE LAYOUT
- 7 EXISTING PARKING LOT
- 8 EXISTING UTILITY POLE
- 9 EXISTING DRIVE OF ADJACENT PROPERTY
- 10 EXISTING PROPERTY LINE
- 11 EXISTING AREA OF ASPHALT PAVING TO BE REMOVED
- 12 NOT USED
- 13 EXISTING LANDSCAPE EDGING/BORDER TO BE REMOVED
- 14 EXISTING WOOD PRIVACY FENCE TO BE REMOVED
- 15 EXISTING CONC WALK TO BE REMOVED
- 16 EXISTING DUMPSTER TO BE RELOCATED
- 17 EXISTING SETBACK LINE PER ZONING
- 18 ALL EXISTING PAVEMENT TO BE REMOVED.
- 19 EXISTING WALL PACK LIGHTING.



1 Existing Site Plan / Landscape Plan
E200 3/32" = 1'-0"

THOMAS
ROBERTS
ARCHITECT, LLC
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12/21/20	ZBA (1-27-21 Meeting)		



Avenue Market - Party Store
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ISSUANCES

REVISIONS

Seal

print date: 12.21.2020

PROPERTY LINES

A. PROPERTY LINES AND NEIGHBORING PROPERTY INFORMATION IS BASED ON MORTGAGE SURVEY PROVIDED BY THE 'ABLE TITLE AGENCY'.

SITE LIGHTING

1. A PHOTOMETRIC SITE LIGHTING PLAN WILL BE INCLUDED WITHIN THE DRAWING SET TO BE SUBMITTED TO THE CITY BUILDING DEPARTMENT FOR PLAN/PERMIT REVIEW. LIGHTING PLAN WILL MEET ZONING ORDINANCE REQUIRED FOOT CANDLE LIGHTING LEVELS EITHER THROUGH EXISTING LIGHT FIXTURES OR THROUGH NEW LIGHT FIXTURES AS NEEDED TO COMPLY.

CIVIL ENGINEERING

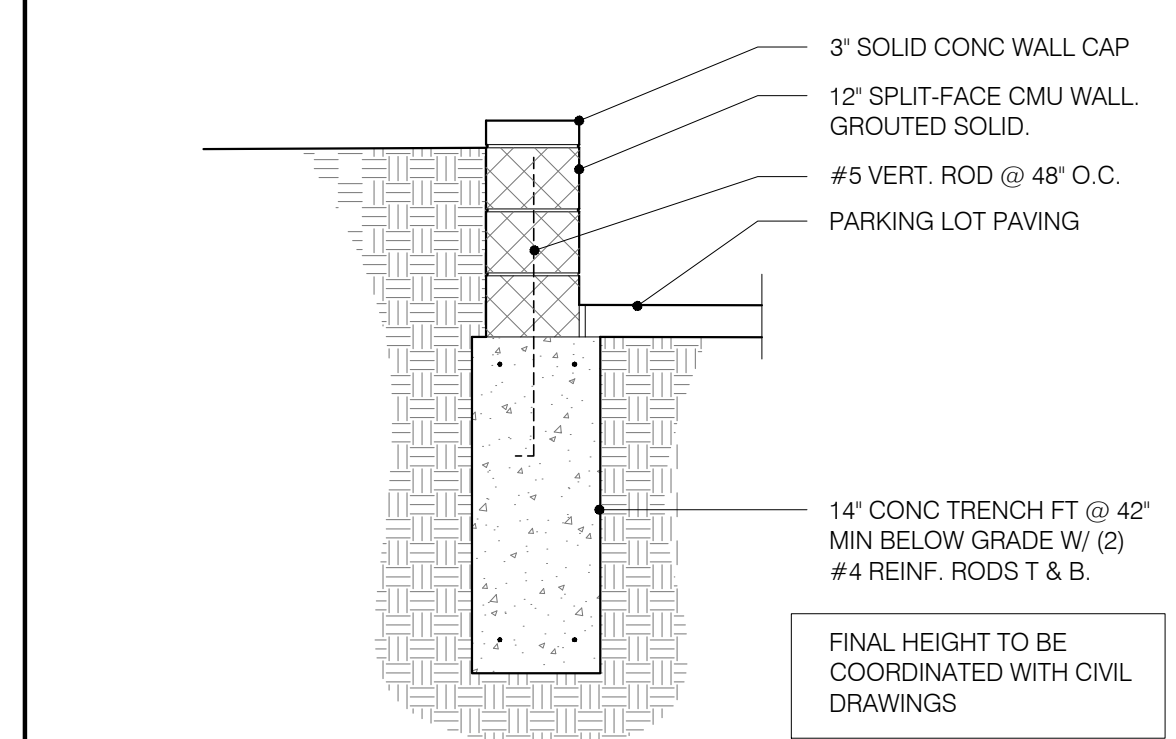
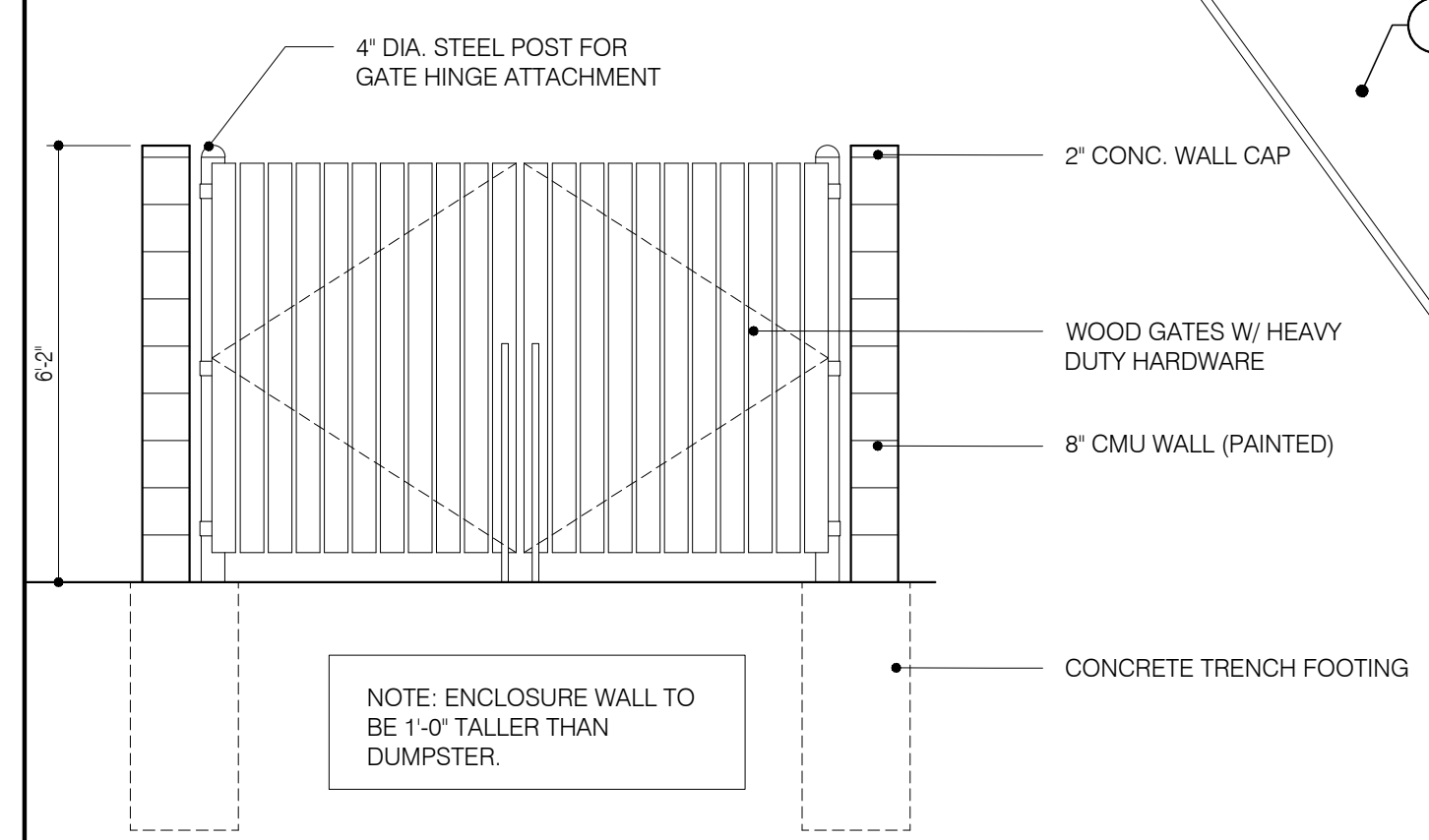
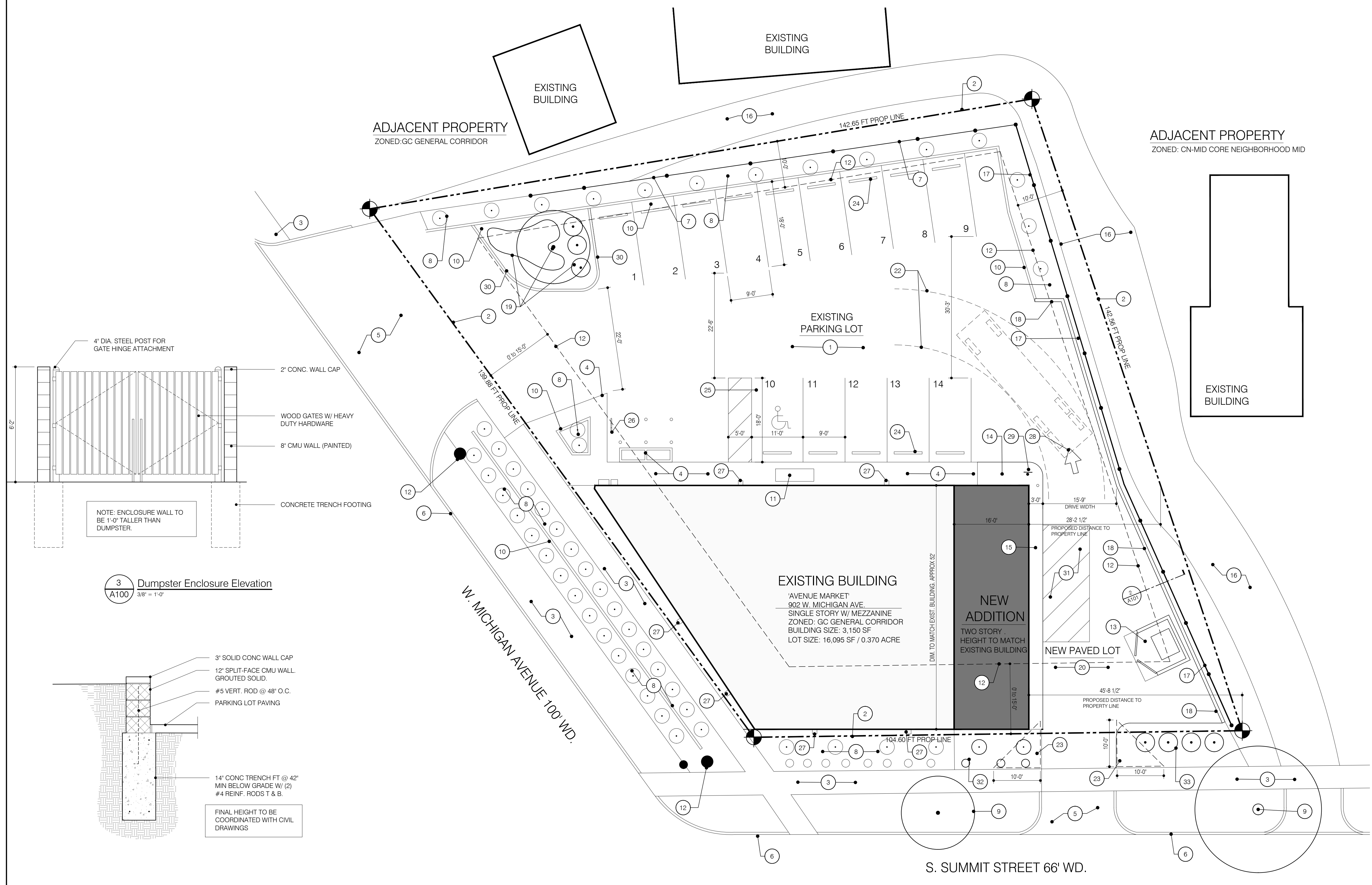
1. CIVIL ENGINEERING PLANS WILL BE INCLUDED WITHIN DRAWINGS SET TO BE SUBMITTED TO THE CITY BUILDING DEPARTMENT FOR PLAN/PERMIT REVIEW. ENGINEERING PLANS WILL INCLUDE A SITE SURVEY OF THE EXISTING CONDITIONS AS WELL AS ENGINEERED PLAN FOR PROPOSED DESIGN AND GRADING. PROPOSED PLAN WILL INCLUDE NEW PAVING THROUGHOUT ENTIRE PARKING LOT SURFACE AND NEW STORM DRAINAGE SYSTEM.

LANDSCAPING AREA

AREA OF LANDSCAPING PROVIDED: 14% COMPLIES WITH ZONING REQUIREMENT
 TOTAL PARKING LOT AREA AT WEST SIDE ON BUILDING = 8,800 SF
 AREA OF LANDSCAPING ON PROPERTY = 1,240 SF

SITE KEYNOTES

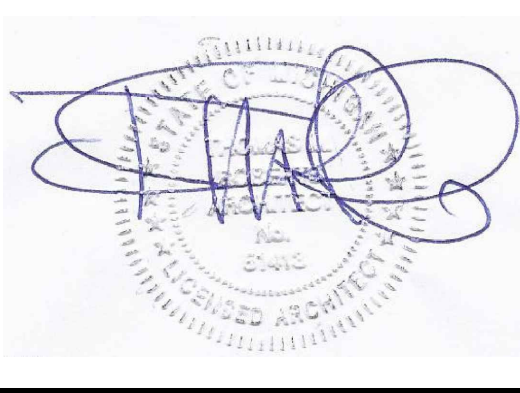
- 1 EXISTING PARKING LOT AREA TO BE RE-PAVED AS NEEDED TO MEET ZONING ORDINANCE STANDARD. PARKING SPACES TO BE NEWLY STRIPED AS SHOWN. SEE CIVIL ENGINEERING NOTES THIS SHEET.
- 2 EXISTING PROPERTY LINE.
- 3 EXISTING CITY SIDEWALK
- 4 EXISTING CONC. WALK ALONG BUILDING TO REMAIN.
- 5 EXISTING DRIVE/STREET APRON TO REMAIN.
- 6 EXISTING CURB TO REMAIN.
- 7 EXISTING 6FT HIGH WOOD FENCE TO REMAIN.
- 8 EXISTING LANDSCAPE BED. PLANTINGS AND MULCH TO REMAIN. SEE SHEET E100 FOR REFERENCE PHOTOS.
- 9 EXISTING TREE TO REMAIN.
- 10 EXISTING TIMBER LANDSCAPE BED EDGE/RETAINING WALL TO REMAIN. BROKEN/FAILING SECTIONS SHALL BE REPAIRED AS NEEDED TO PRODUCE AN ORIGINALLY SOUND CONDITION.
- 11 EXISTING PROPANE TANK STORAGE RACK/CAGE TO REMAIN.
- 12 EXISTING SETBACK LINE PER ZONING.
- 13 PROPOSED LOCATION FOR NEW TRASH DUMPSTER ENCLOSURE. ENCLOSURE MUST MEET ZONING REQUIREMENT Sec 122-608 a-1. WALLS TO BE MASONRY AT HEIGHT 1 FT ABOVE DUMPSTER WITH CONCRETE PAD AND 80% OPAQUE SWING GATES. SEE DETAIL 3 THIS SHEET.
- 14 NEW CONCRETE SIDEWALK. NEW SURFACE IS TO LINE UP WITH EXISTING SIDEWALK ALONG BUILDING.
- 15 NEW 3'-0" WIDE CONCRETE WALK ALONG REAR OF BUILDING. SURFACE TO SLOPE AWAY FROM BUILDING AND MATCH ELEVATION OF ADJACENT PAVING (NO CURB).
- 16 EXISTING DRIVEWAY OF ADJACENT PROPERTY
- 17 NEW 6 FT PRIVACY FENCE.
- 18 NEW LOW MASONRY RETAINING WALL. HEIGHT WILL VARY FROM 0 TO 24".
- 19 NEW LANDSCAPING ISLAND WITHIN PARKING LOT AREA. PLANTINGS TO INCLUDE SEVERAL SHRUBS AND A SINGLE TREE.
- 20 NEW PAVING AT REAR OF BUILDING. SEE CIVIL ENGINEERING NOTE THIS SHEET
- 21 NOT USED
- 22 FIRE TRUCK TURN RADIUS IS SHOWN FOR REFERENCE. RADIUS IS BASED ON A 35' LONG FIRE TRUCK.
- 23 10FT TRIANGULAR TRAFFIC VISIBILITY AREA PER ZONING ORDINANCE.
- 24 NEW PARKING BLOCKS (TYP)
- 25 NEW VAN-ACCESSIBLE ADA PARKING SPOT W/ ACCESS ASILE.
- 26 NEW SERPENTINE STYLE, FIVE SPACE BIKE RACK. EMBEDDED MOUNT.
- 27 WALL MOUNTED LIGHT FIXTURE. SEE SITE LIGHTING NOTES THIS SHEET.
- 28 ONE-WAY ARROW PAINTED ON PAVING SURFACE.
- 29 ONE-WAY TRAFFIC POLE MOUNTED SIGN.
- 30 NEW CURB AT LANDSCAPE ISLAND. DETAILED PER FUTURE CIVIL ENGINEERING PLANS. SEE CIVIL ENGINEERING NOTE THIS SHEET.
- 31 10x25' DESIGNATED LOADING ZONE.
- 32 NEW ADDITIONAL LANDSCAPING ALONG BUILDING FACADE. MULCH AND TYPE OF PLANTING TO MATCH EXISTING.
- 33 NEW LANDSCAPE BED BETWEEN EXISTING SIDEWALK AND NEW PAVED LOT. BED TO BE MULCHED. PLANT SELECTIONS TO PROVIDE SCREENING SUCH AS ARBORVITAE.



1 Proposed Site Plan / Landscape Plan
 3/32" = 1'-0"

THOMAS ROBERTS ARCHITECT, LLC
 2927 4th Street
 Wyandotte, MI 48192
 (t) 734.250.4032

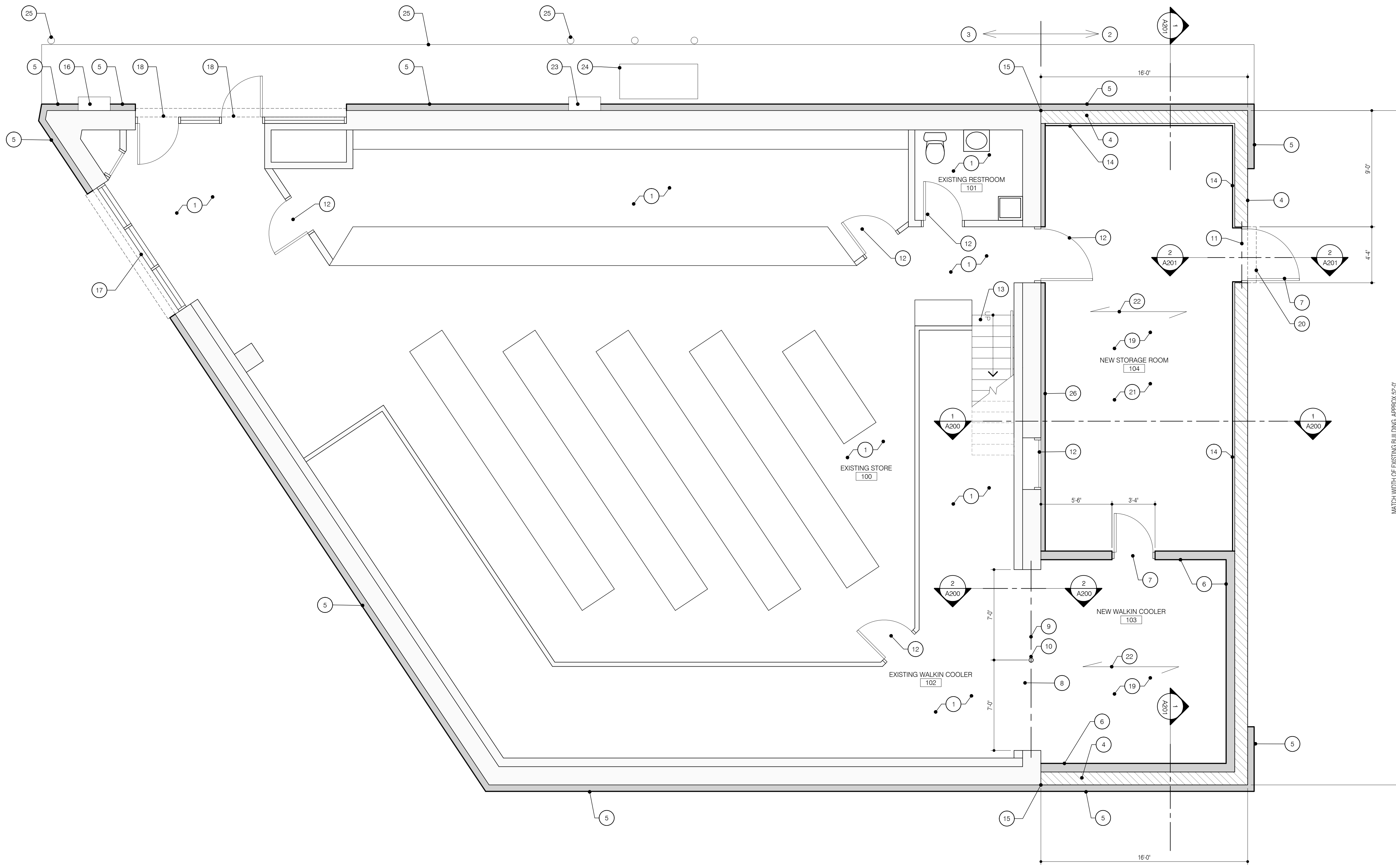
12/21/20	ZBA (1-27-21 Meeting)	



Avenue Market - Party Store
 Building Addition
 902 West Michigan Avenue
 Ypsilanti, Michigan 48197

TR principal in charge
 WD project manager
 WD project architect
 EP/PD draw

date 20017
 job number
A100
 sheet number

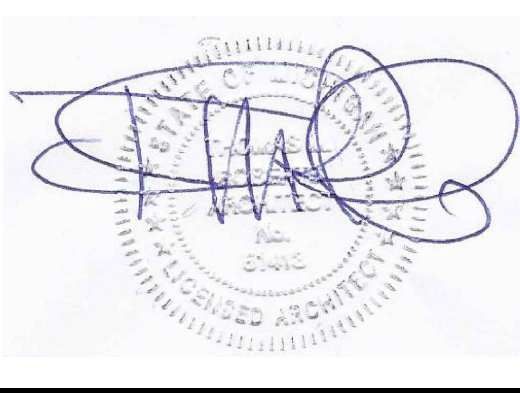


- PLAN KEYNOTES**
- 1 NO WORK THIS ROOM/AREA
 - 2 NEW BUILDING ADDITION THIS SIDE.
 - 3 EXISTING BUILDING THIS SIDE.
 - 4 NEW 8" CMU WALL
 - 5 NEW EXTERIOR STONE VENEER
 - 6 NEW INTERIOR STUD WALLS AT WALK-IN COOLER EXTENSION.
 - 7 NEW DOOR AND FRAME
 - 8 NEW WALL OPENING WITHIN EXISTING BLOCK WALL
 - 9 NEW STEEL BEAM
 - 10 NEW 4" DIA. STEEL COLUMN W/ BEARING PLATE T&B. BASE PLATE TO BEAR ON EXISTING FOOTING.
 - 11 NEW DOOR LINTEL. SEE SECTIONS.
 - 12 EXISTING DOOR AND FRAME
 - 13 EXISTING STAIR
 - 14 NEW INTERIOR FURRING AND INSULATION
 - 15 FACE OF NEW EXTERIOR WALL TO BE FLUSH WITH FACE OF EXISTING EXTERIOR WALL
 - 16 EXISTING ELECTRICAL PANEL
 - 17 EXISTING WINDOW
 - 18 EXISTING STORE FRONT DOOR
 - 19 NEW CONCRETE FLOOR SLAB
 - 20 RELOCATED OVERHEAD ROLLING SECURITY GATE/DOOR.
 - 21 LOCATION OF FUTURE KITCHEN TO BE LOCATED WITHIN THIS ROOM. FINAL LAYOUT TO BE DETERMINED BY OWNER AT LATER DATE.
 - 22 NEW FLOOR JOIST DIRECTION ABOVE. SEE WALL SECTIONS.
 - 23 EXISTING GAS METER TO REMAIN.
 - 24 EXISTING PROPANE STORAGE RACK/CAGE TO REMAIN.
 - 25 EXISTING CONCRETE WALK AND STEEL BOLLARDS SHOWN FOR REFERENCE. SEE SITE PLAN.
 - 26 NEW LOAD BEARING STUD WALL. SEE BUILDING SECTIONS.

1
A102
Proposed First Floor Plan
1/4" = 1'-0"

THOMAS
ROBERTS
ARCHITECT, LLC
2927 4th Street
Wyandotte, MI 48192
(t) 734.250.4032

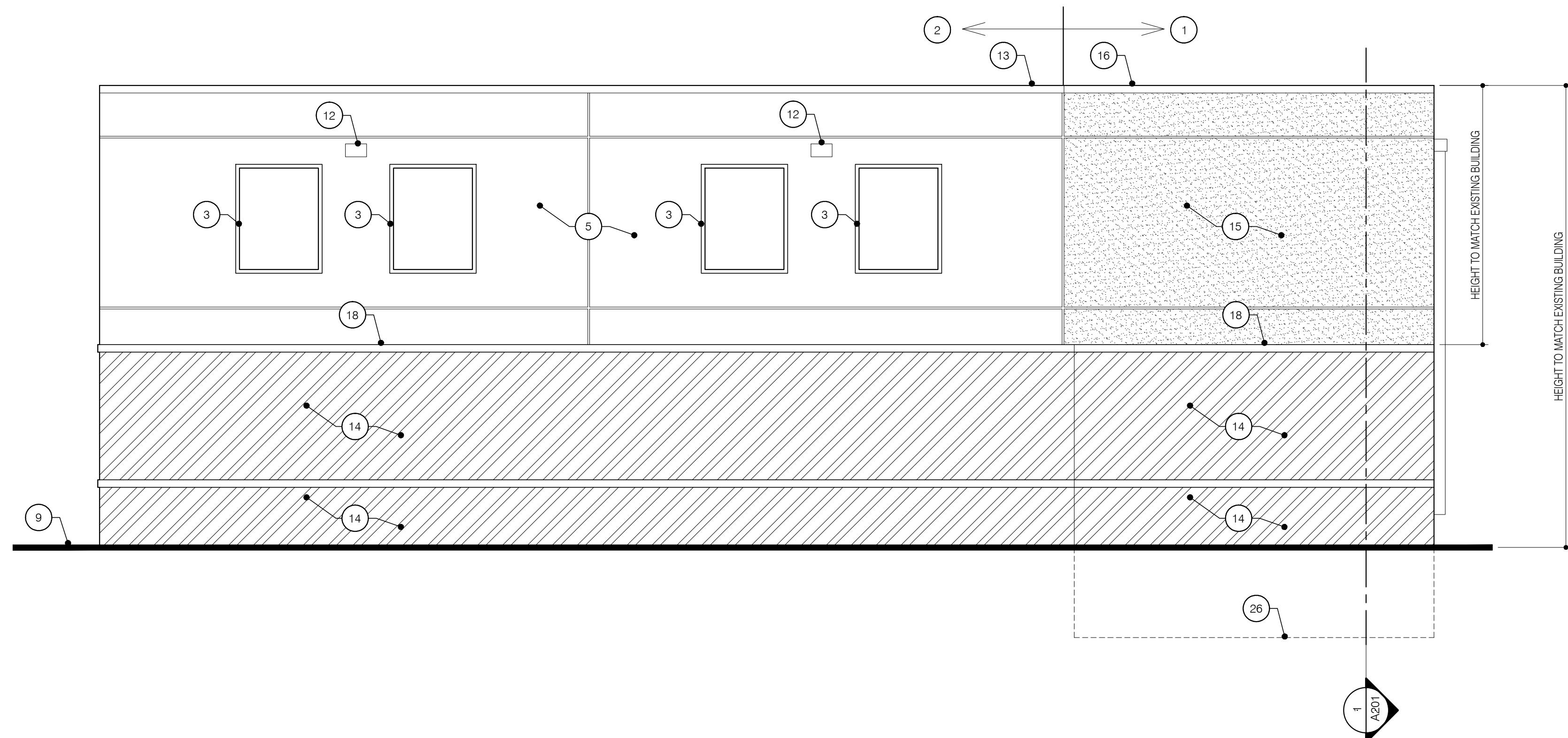
ISSUANCES	REVISIONS	Seal
12/21/20	ZBA (1-27-21 Meeting)	



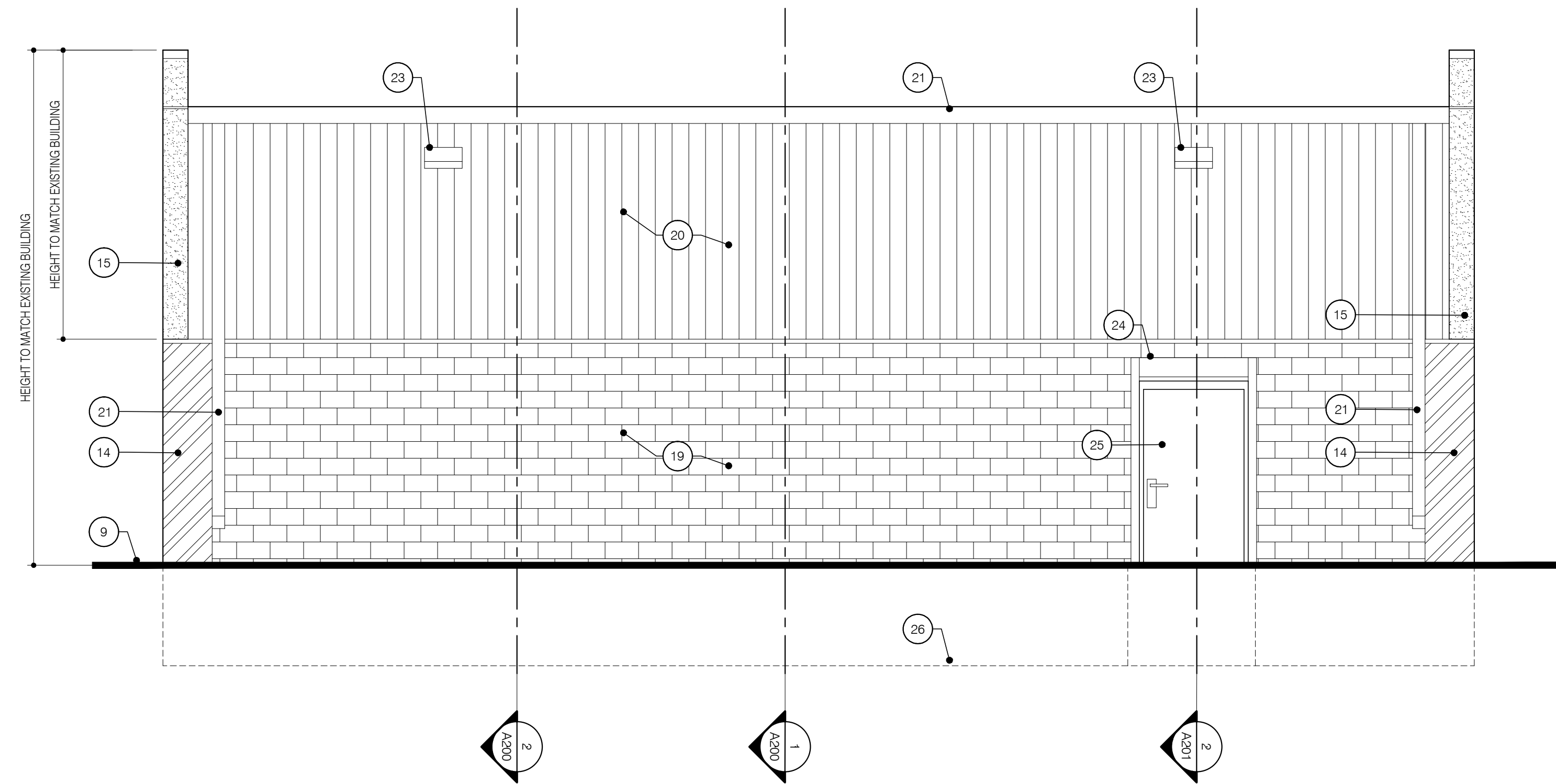
Avenue Market - Party Store
Building Addition
902 West Michigan Avenue
Ypsilanti, Michigan 48197

TR
principal in charge
WD
project manager
WD
project architect
EP/WD
drawn

date
20017
job number
A102
sheet number



2 Proposed East (Street Side) Elevation
A301 1/4" = 1'-0"

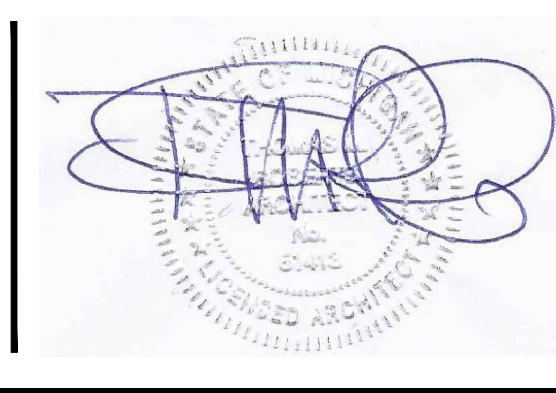


1 Proposed North (Rear) Elevation
A301 1/4" = 1'-0"

- ELEVATION KEYNOTES**
- ① LOCATION OF NEW BUILDING ADDITION.
 - ② LOCATION OF EXISTING BUILDING.
 - ③ EXISTING WINDOW
 - ④ EXISTING DOOR
 - ⑤ EXISTING EIFS SIDING
 - ⑥ DOTTED LINES REPRESENT EXISTING MASONRY/STONE BANDS. THESE ITEMS ARE TO BE REMOVED/CUT BACK TO BE FLUSH WITH SURFACE OF EXISTING WALL.
 - ⑦ EXISTING ELECTRICAL PANEL
 - ⑧ EXISTING GAS METER
 - ⑨ EXISTING GRADE LINE
 - ⑩ EXISTING SIGN.
 - ⑪ EXISTING SECURITY SHUTTER.
 - ⑫ EXISTING LIGHT FIXTURE.
 - ⑬ EXISTING PRE-FIN METAL COPING/CAP FLASHING.
 - ⑭ ANGLED LINE/ PATTERN REPRESENTS LOCATION OF NEW SURFACE APPLIED STONE VENEER. FINAL STYLE, PATTERN, AND COLOR TO BE SELECTED BY OWNER.
 - ⑮ NEW EIFS WALL FINISH AT NEW ADDITION. SURFACE MUST ALIGN FLUSH WITH THAT OF EXISTING BUILDING. COLOR, TEXTURE AND 'GROOVED' PATTERN IS TO MATCH THE EXISTING BUILDING.
 - ⑯ NEW PRE-FIN METAL COPING. MUST TIE IN FLUSH WITH EXISTING BUILDING.
 - ⑰ NEW PRE-FIN METAL FLASHING OVER EXISTING STONE WATER TABLE/SILL THIS LOCATION.
 - ⑱ NEW PRE-FIN METAL FLASHING OVER NEW WATER TABLE/SILL THIS LOCATION.
 - ⑲ NEW EXPOSED BLOCK WALL AT BUILDING ADDITION. WALL TO BE PAINTED. COLOR TO BE SELECTED BY OWNER.
 - ⑳ NEW PRE-FIN VERTICAL SEAM METAL SIDING AT BUILDING ADDITION. STYLE AND COLOR TO MATCH EXISTING REAR FACADE OF BUILDING.
 - ㉑ NEW PRE-FIN METAL GUTTER AND DOWNSPOUTS.
 - ㉒ NEW PRE-FIN METAL GUTTER AND DOWNSPOUTS.
 - ㉓ RELOCATED LIGHT FIXTURES
 - ㉔ RELOCATED OVERHEAD ROLLING SECURITY SHUTTER.
 - ㉕ NEW DOOR AND FRAME. SEE FLOOR PLAN.
 - ㉖ LINE OF NEW CONCRETE TRENCH FOOTING.

THOMAS
ROBERTS
ARCHITECT, LLC
2927 4th Street
Wyandotte, MI 48192
(t) 734.250.4032

12/21/20	ZBA (1-27-21 Meeting)		



Avenue Market - Party Store
Building Addition
902 West Michigan Avenue
Ypsilanti, Michigan 48197

TR
principal in charge
WD
project manager
WD
project architect
EP/PW
drawn

date
20017
job number
A301
sheet number



**PUBLIC NOTICE
CITY OF YPSILANTI
ZONING BOARD OF APPEALS MEETING –VIRTUAL MEETING**

The Ypsilanti Zoning Board of Appeals will hold a special virtual meeting on Wednesday, January 27, 2021 at 7 p.m.

The Zoning Board of Appeals special meeting is being held virtually in order to prevent the spread of COVID-19.

The special meeting can be attended through the below link, or through the below toll free numbers.

January 27, 2021 Zoning Board of Appeals Meeting Virtual Access Link

<https://us02web.zoom.us/j/87540259181?pwd=cHBLZWtISjA5T093ekwzT1UwM3JmQT09>

When prompted, enter **Passcode:** 523444

When prompted, enter **Meeting ID:** 875 4025 9181

January 27, 2021 Zoning Board of Appeals Meeting Toll Free Phone Number Access

877 853 5257 US Toll-free

888 475 4499 US Toll-free

When prompted, enter the **Meeting ID:** 875 4025 9181, followed by the **Passcode:** 523444, followed by the #, press # again to be connected.

Instructions for Persons with Disabilities

Persons with disabilities who need accommodations to effectively participate in the meeting should contact the City Clerk, Andrew Hellenga at ahellenga@cityofypsilanti.com by 5:00 p.m. on the day before the meeting to request assistance. Closed Captions will be provided during the meeting.

City Clerk's Office
One South Huron Street
Ypsilanti, Michigan 48197
(734) 483-1100

Andrew Hellenga
City Clerk
Posted: January 25, 2021

Agenda
Zoning Board of Appeals
Wednesday, January 27, 2020 - 7:00 P.M.

Please be advised that due to COVID-19, City Hall will not be open to the public. This meeting will be held electronically on a video conferencing application. The access code is posted in the Public Notice on www.cityofypsilanti.com and attached in the packet.

I. Call to Order

II. Roll Call

Jake Albers, Chair	P	A
Jared Talaga, Vice Chair	P	A
Heather Khan	P	A
Jason Ringholz	P	A
Tom Roach	P	A
Georgina Hickey <i>alternate</i>	P	A

III. Approval of Minutes

- November 30, 2020 Special Meeting

IV. Purpose of Meeting

V. Old Business

VI. New Business

- 902 W Michigan Ave – Variances
 - *Public Hearing*

VII. Adjournment

MEETING MINUTES
Zoning Board of Appeals
Monday, November 30, 2020 - 7:00 P.M.

Please be advised that due to COVID-19, City Hall will not be open to the public. This meeting will be held electronically on a video conferencing application. The access code is posted in the Public Notice on www.cityofypsilanti.com and attached in the packet.

I. Call to Order

7:05 PM

II. Roll Call

Jake Albers, Chair

P

Jared Talaga, Vice Chair

A

Heather Khan

P

Jason Ringholz

P

Tom Roach

P

Georgina Hickey *alternate*

P

Motion to amend the agenda to place 'New Business' before 'Old Business.'

Offered by: Khan; **Seconded by:** Roach

Approved: Yes-4; No-0; Absent-1 (Talaga)

Motion carried.

III. Agenda Approval

Agenda approved with amendment to discuss "New Business" before "Old Business."

IV. Approval of Minutes

- August 26, 2020 Meeting

Motion to approve the August 26, 2020 meeting minutes.

Offered by: Ringholz; **Seconded by:** Khan

Approved: Yes-4; No-0; Absent-1 (Talaga)

Motion carried.

- October 28, 2020 Meeting

Motion to approve the October 28, 2020 meeting minutes.

Offered by: Ringholz; **Seconded by:** Roach

Approved: Yes-4; No-0; Absent-1 (Talaga)

Motion carried.

V. Purpose of Meeting

To provide ordinance interpretation.

Staff has prepared options what that might look like.

ZBA's job is to make a determination on how that language is interpreted moving forward.

*Note: Boardmember Hickey joined the meeting.

VI. New Business

- Zoning ordinance interpretation – Courtyard Apartment building types and Forecourt private frontages

City Planner Andy Aamodt (referred to as "Staff") presented the staff report.

Staff explained that there was some confusion pertaining to the ordinance standards for Courtyard Apartment building types and Forecourt private frontages at the October 2020 meeting. Staff interpreted at that time, that all private frontages need entry doors facing the street. Upon reading the Courtyard Apartment description text, combined with the Forecourt description text, it appears that such an interpretation is not so straightforward. According to Section 122-396(a)(2), the Zoning Board of Appeals shall hear and decide on questions regarding "the interpretation of the language of this chapter when its meaning is unclear, or when there is uncertainty as to whether the language applies to a particular situation."

Staff reviews definition of private frontage, courtyard apartments, and forecourts.

Staff presents four options for interpretation:

- **Option 1:** Explicit interpretation of ordinance prioritizing the definition of "private frontage" resulting in private frontage and building entry facing the street.
- **Option 2:** Flexible interpretation of ordinance prioritizing the Courtyard Apartment general description, with Forecourt private frontages and building entries allowed to not face the street, rather facing the open space created by the forecourt.
- **Option 3:** Wide-ranging strict private frontage interpretation where all building entries in any private frontage type need to face the street.
- **Option 4:** Wide-ranging flexible private frontage interpretation where building entries in any private frontage do not need to face the street, so long as the private frontage space is clearly oriented towards the street, faces the street, and clearly connects to the street via a sidewalk.

ZBA asked staff relevant questions.

Motion to open the public hearing.

Offered by: Hickey; **Seconded by:** Roach
Approved: Yes-5; No-0; Absent-1 (Talaga)

Motion carried.

One member of the public made comments suggesting that the term "courtyard apartment" should be removed from the zoning ordinance because it is not clear what the ideal apartment is in the city. The speaker also made a comment that none of the options presented by staff meet the requirements of a Courtyard Apartment and there may not be any courtyard apartments in the city.

Motion to close the public hearing.

Offered by: Khan; **Seconded by:** Ringholz
Approved: Yes-5; No-0; Absent-1 (Talaga)

Motion carried.

The ZBA discussed the presented options including the possibility of providing flexibility and analyzing each instance of a Courtyard Apartment and a Forecourt private frontage on a case-by-case basis.

Motion that the Zoning Board of Appeals interprets the relationship between a Courtyard Apartment

building type and a Forecourt private frontage by prioritizing the Courtyard Apartment general description in 122-472.CA, where forecourt private frontages and building entries are allowed to not face the street, rather face the open space created by the forecourt, so long as there is a direct pedestrian connection to the public sidewalk. Furthermore, a parking surface is not interpreted to be part of this open space and must not contribute to the clear span width and depth. The forecourt open space shall be a space that is suitable for outdoor dining, gardens, formal entries, as stated in §122-483.

Offered by: Hickey; **Seconded by:** Roach

Approved: Yes-5; No-0; Absent-1 (Talaga)

Motion carried.

VII. Old Business

- 212 N Lincoln St – Variances
 - *Tabled from October 28, 2020 meeting.*

Staff reviews Variance 2 with the ZBA as it now changes in relation to the current interpretation of Courtyard Apartment and Forecourt private frontage.

The ZBA discusses and asks questions relevant to the variance requests to recollect information discussed at the October 28th meeting.

The applicant makes a few comments stating that the main goal is to save the parking lot and the existing foundation. The applicant discusses improvements that can be made to meet variance requirements. The applicant mentions that there will be an improvement in frontage buildout percentage from 11 percent to 17 percent.

Motion to approve the variance request from Section 122-472.CA to permit no less than 17% frontage buildout at 212 N Lincoln St with the following findings:

- 1. Literal enforcement of this chapter will pose practical difficulties to the applicant because of special conditions or circumstances which are unique to the specific property such as: exceptional shallowness or shape of the property, exceptional topographic conditions, extraordinary situation of a building or structure, use or development of an adjacent property, or difficulties relating to construction or structural changes on the site. Mere inconvenience or a desire to attain higher financial return shall not itself be deemed sufficient to warrant a variance.*
- 2. The alleged practical difficulties on which the variance request is based have not been created by any person presently having an interest in the property.*
- 3. The granting of the variance will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located.*
- 4. There was a good faith effort by the applicant to improve the frontage buildout from the original 11% during this meeting's discussion.*

Offered by: Khan; **Seconded by:** Hickey

Approved: Yes-5; No-0; Absent-1 (Talaga)

Motion carried- variance granted.

Motion to deny the variance request from Section 122- 472.CA/122-483 to permit no forecourt private frontage at 212 N Lincoln St with the following findings:

- 1. Literal enforcement of the zoning ordinance does not pose practical difficulties and there are no special conditions or circumstances unique to this property for the purpose of a forecourt private frontage variance. (§122-370.b.1)*
- 2. Granting of the variance would confer upon the applicant a special privilege that is denied by this chapter to other lands, structures, or buildings in the same district. (§122-370.b.2)*
- 3. The allowance of the variance would not ensure substantial justice being done, considering the public benefits that the zoning ordinance and planning efforts propose.*

(§122-370.b.5)

4. *The variance request is not the minimum necessary. (§122-370.b.6)*

Offered by: Khan; **Seconded by:** Roach

Approved: Yes-5; No-0; Absent-1 (Talaga)

Motion carried- variance denied.

VIII. Adjournment

Motion to adjourn.

Offered by: Hickey; **Seconded by:** Ringholz

Approved: Yes-5; No-0; Absent-1 (Talaga)

Motion carried.

DRAFT



January 27, 2021

**Staff Review of Variance Requests
902 W Michigan Ave**

GENERAL INFORMATION

Applicant: Johnny Gewarges
Avenue Market
902 W. Michigan Ave.
Ypsilanti, MI 48197

Project: 902 W Michigan variances

Public Hearing Date: January 27, 2021

Location: Northwest corner of W. Michigan Avenue and Summit.
YP CITY 6W-18 LOT 19 ASSESSOR'S PLAT NO. 4. (Parcel ID# 11-11-39-145-036)

Zoning: General Corridor (GC)

Action Requested: Approval of two variances: a variance to permit less than 60% ground floor transparency; and a variance to permit a loading space in a yard abutting a residential district, specifically within 50 feet of a property zoned CN-Mid.

Staff Recommendation: Denial; Approval with conditions

PROJECT AND SITE DESCRIPTION

Avenue Market Party Store currently sits on this property, zoned GC. The applicant proposes an approximate 832 square feet addition to the rear of the building, along the Summit St frontage. With this, the project is also proposing a number of site modifications, including a designated loading area.

For the sake of the staff review, "Variance 1" pertains to the variance to permit less than 60% ground floor transparency (§122-484(c)) and "Variance 2" pertains to the variance to permit a loading space in a yard abutting a residential district, specifically within 50 feet of a property zoned CN-Mid (§122-695(c)).

Figure 1: Subject Site Location (2015 Aerial)



Figure 2: Photo of site from W Michigan Ave (Google Image, 2019)

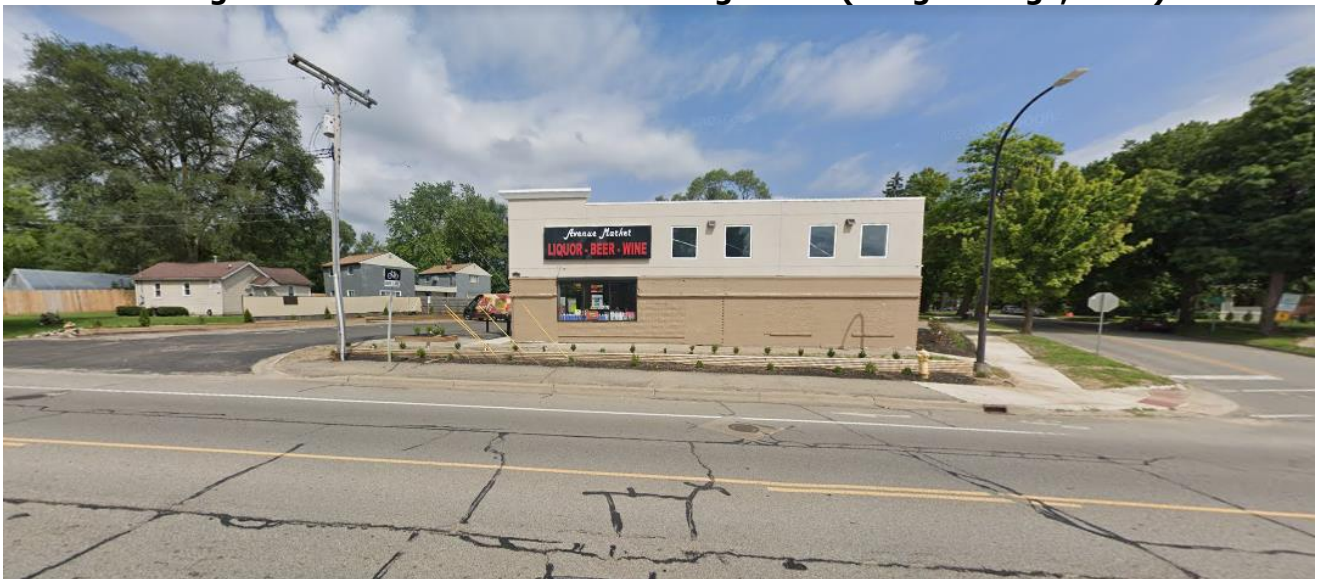


Figure 3: Photo of site from S Summit St (Google Image, 2019)



Figure 4: Land Use and Zoning of Surrounding Area

	LAND USE	ZONING
NORTH	Residential	CN-Mid
EAST	Residential	CN-Mid
SOUTH	Church/Medical	GC
WEST	Residential	GC

§122-484

Sec. 122-484. Commercial

C COMMERCIAL

The façade is set back from the front lot line per applicable street setback requirements, typically at or near the front lot line with the entrance at sidewalk grade. The façade may include an awning, shed roof, or gallery (a lightweight colonnade with no habitable building space above it) that covers the sidewalk and may extend into the right-of-way. The façade has a substantial amount of glazing at the sidewalk level. Recessed entrances are acceptable.

FAÇADE DIMENSIONS		
	MIN	MAX
A	Distance between openings (ft)	-- 2
B	Door recess (ft)	-- 5
C	Ground floor transparency (%)	60 --
D	Height to bottom of window (ft)	-- 2.5
YARD REQUIREMENTS		
E	Must be landscaped/pervious, with a path at least 6 feet wide connecting the building entrance to the sidewalk.	
OPTIONAL AWNING OR GALLERY		
F	Setback from curb (ft)	2 --
G	Clear depth - awning (ft)	4 10
	Clear depth - gallery (ft)	8 10
H	Clear height (ft)	8 --

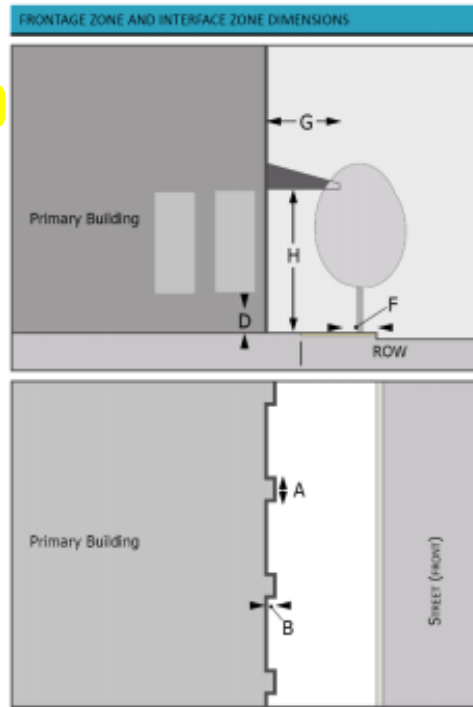


Figure 5: Capture of East Elevation Drawing

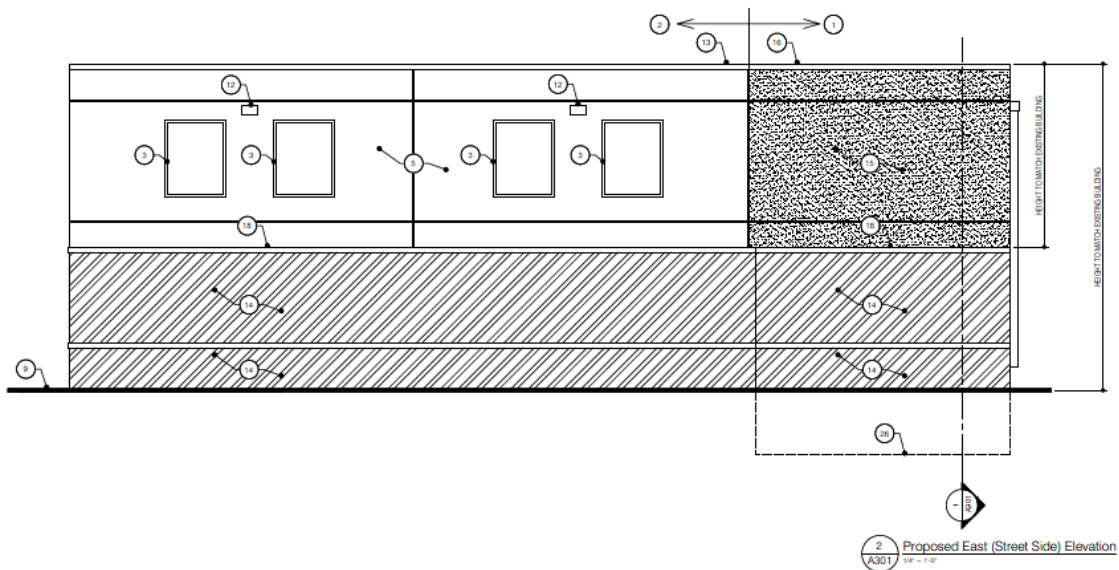


Figure 6: Photo of East Facade (October 14, 2020)



Staff interpretation: The east façade currently has 0% ground floor transparency. Because the proposal involves expanding the east façade, with no accompanying ground floor transparency, staff determines this to be an expansion of a nonconformity which would therefore require the variance.

Figure 8: Photo of Site (October 14, 2020)



Staff interpretation: This variance is requested because the proposed loading space is within 50 feet of a property zoned CN-Mid.

STANDARDS

§122-370(b)

Standards for Variances. A variance from the literal enforcement of this Ordinance may be granted by the Zoning Board of Appeals only if all of the following standards are met.

(1) Literal enforcement of this chapter will pose practical difficulties to the applicant because of special conditions or circumstances which are unique to the specific property such as: exceptional shallowness or shape of the property, exceptional topographic conditions, extraordinary situation of a building or structure, use or development of an adjacent property, or difficulties relating to construction or structural changes on the site. Mere inconvenience or a desire to attain higher financial return shall not itself be deemed sufficient to warrant a variance.

Variance 1 (Ground floor transparency (§122-484(c)))

There do not appear to be any specific physical circumstances to the property that pose practical difficulties. The difficulty comes from the store's building layout. While inconvenient to renovate the interior layout, the coolers could be positioned in a different place thus opening up the south and east walls for windows.

Staff Recommendation: Standard not met.

Variance 2 (Loading space (§122-695(c)))

The applicant wishes to retain the orientation of parking spaces on the west side of the lot, therefore the only remaining place to provide for a loading space takes place at the rear of the building, where there is an access drive and paving, but no striped parking spaces. Because it is not possible to put multiple parking spaces in the rear of the building, and because the base site parking requirement is calculated at 16 spaces, the placement of a loading space in the west part of the lot would only displace the problem, resulting in a parking space nonconformity.

Additionally, the 50 feet setback requirement is burdensome to shallower properties that abut residential properties to the rear, as it is not feasible to put a loading space near the front of many such properties. The current layout is potentially legal-nonconforming; even if the applicant wished to add a loading space to the rear of the building as the building sits now, such loading space would still be within 50 feet of the abutting residential.

Staff Recommendation: Standard met.

(2) Such variance is necessary for the preservation and enjoyment of a substantial property right enjoyed by other property owners in the same district under the terms of this chapter. Granting of the variance shall not confer upon the applicant any special privilege that is denied by this chapter to other lands, structures, or buildings in the same district.

Variance 1:

This is same standard that anyone applying for a site plan review for a convenience/food store in GC would be held to. Notably, other convenience and food stores, including the Sunoco on Washtenaw, include many windows, and was remodeled under the current zoning ordinance.

Staff Recommendation: Standard not met.

Variance 2:

This is the same standard that anyone applying for a site plan review for a commercial use of such size would entail.

However, the granting of the variance should not confer the applicant any special privilege, rather the ability to locate the loading space in the rear yard, an area that is often preferred in any case by both business owners and customers in terms of site accessibility. Many commercial properties in the City have traditionally used loading spaces and garbage pickup in the rear of their properties, which occasionally fall within 50 feet of residential.

Staff Recommendation: Standard met.

(3)The alleged practical difficulties on which the variance request is based have not been created by any person presently having an interest in the property.

Variance 1

The building went through a thorough interior renovation in 2016, and the property ownership has remained the same since. Therefore, the argument at issue that the coolers prevent the building from having ground floor transparency, is at least partly created by the present owner of the property.

Staff Recommendation: Standard not met.

Variance 2

The building has had this footprint for tens of years, long before the present owner. Due to the limited space at the rear of the building, it is not feasible to put parking spaces there, thus the space is better used for loading/unloading.

Staff Recommendation: Standard met.

(4)The granting of the variance will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located.

Variance 1:

Staff does not expect that the ground floor transparency, distance between openings or the height to the bottom of the windows as proposed will be directly detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located. However, these ordinance requirements were meant to foster a walkable neighborhood, which promote physical activity and connected neighborhoods, both of which have been shown to have a positive effect upon public health.

Staff Recommendation: Standard not met.

Variance 2:

There is a privacy fence proposed to mitigate potential nuisance, and staff recommends that portion of the privacy fence be masonry to reduce any potential sound nuisance to the neighboring property. The loading space variance should not create an injurious situation to other properties or improvements in the neighborhood. Additionally, the loading space will be located in an area more

adjacent to the neighboring front yard than the house itself, therefore it should be less of a nuisance than expected

Staff Recommendation: Standard met.

(5) The allowance of the variance will result in substantial justice being done, considering the public benefits intended to be secured by this chapter, the individual hardships that will be suffered by a failure of the Zoning Board of Appeals to grant the variance, and the rights of others whose property would be affected by the allowance of the variance.

Variance 1:

Staff does not believe that substantial justice will be done, nor that the individual circumstance outweighs the public benefit intended to be secured by the zoning ordinance in this case. The goal of the zoning ordinance building types are to require developments that are front-facing and transparent. The public benefit that is intended to be secured by the commercial frontage requirements is to promote and foster walkability and support "eyes on the street."

Staff Recommendation: Standard not met.

Variance 2:

The allowance of the variance will result in substantial justice being done, considering the public benefits intended to be secured by this chapter. The shallowness of the property and the abutting CN-Mid zoned property make locating a loading space extremely difficult, if not impossible. The extensive nature of the zoning ordinance in this case, creates a scenario where the compliance to the ordinance in one section, might displace an issue into another section (i.e. putting the loading space in the front parking lot might result in a shortage of required parking spaces).

Additionally, considering the second clause in §122-695(b) "...unless located within a completely enclosed building or enclosed building or enclosed on all sides facing the district by a solid concrete or masonry wall not less than six feet in height," it is difficult to fully enclose the loading space by a solid concrete or masonry wall. That is because the loading space is proposed as a pull-through space, where trucks enter in a forward manner from S Summit St, then pull-through and exit onto W Michigan Ave. This makes it so that trucks will not be using S Summit street, a more residential street, to back into the loading space. In the end, staff believes this proposal is less disturbing to the adjacent neighborhood, compared to the alternative where trucks might back-in to the S Summit St entrance. In the spirit of the ordinance, staff recommends the privacy fence parallel to the loading space be built of masonry, six feet high.

Staff Recommendation: Standard met.

(6) A variance granted shall be the minimum variance that will make possible a reasonable use of the land, buildings, or structure.

Variance 1:

The proposal increases the Summit St frontage by 16 feet. There is currently no ground-floor transparency on Summit St and there is none proposed. Therefore staff does not view this variance as the minimum necessary.

Staff Recommendation: Standard not met.

Variance 2:

The proposed placement, parallel with the north wall, and with a privacy fence acting as a screen on the north side of the property line, attempt to alleviate any adverse effects of loading/unloading here.

Staff Recommendation: Standard met.

STAFF RECOMMENDATION

Staff recommends the Zoning Board of Appeals **deny** the variance request from §122-484(c) to permit less than 60% ground floor transparency at 902 W Michigan Ave with the following findings:

Findings:

1. There are not practical difficulties because of special conditions or circumstances which are unique to the specific property. (§122-370.b.1)
2. Granting of the variance would confer upon the applicant a special privilege that is denied by this chapter to other lands, structures, or buildings in the same district. (§122-370.b.2)
3. The alleged practical difficulties on which the variance request is based have been at least partly created by the present owner. (§122-370.b.3)
4. The granting of the variance will be detrimental to the public welfare in the neighborhood in which the property is located. (§122-370.b.4)
5. The allowance of the variance would not ensure substantial justice being done, considering the public benefits that the zoning ordinance and planning efforts propose. (§122-370.b.5)
6. The variance request is not the minimum necessary. (§122-370.b.6)

Staff recommends the Zoning Board of Appeals **approve** the variance request from §122-695(c) to permit a loading space within 50 feet of a property zoned CN-Mid with the following findings and conditions:

Findings:

1. Literal enforcement of the zoning ordinance poses practical difficulties regarding the placement of a loading space at least 50 feet from the adjacent residential lot. (§122-370.b.1)
2. Granting of the variance would not confer upon the applicant a special privilege that is denied by this chapter to other lands, structures, or buildings in the same district. (§122-370.b.2)
3. The practical difficulties of the site have not been created by the present owner of the property. (§122-370.b.3)
4. The granting of the variance shall not be detrimental to the public or injurious to the neighboring properties, especially considering screening with a six foot high masonry wall. (§122-370.b.4)
5. The allowance of the variance would ensure substantial justice being done, considering the difficulty and potential problems in placing the loading space elsewhere. (§122-370.b.5)
6. The variance request is the minimum necessary. (§122-370.b.6)

Condition: The rear property line be screened using a 6 feet high masonry wall.

Andy Aamodt
City Planner, Community & Economic Development Department

c.c. File
Applicant



**City of Ypsilanti
Planning & Development Department**

One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646
www.cityofypsilanti.com

VARIANCE APPLICATION

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

Applicant

Name JOHNNY GEWARGES	
Address [REDACTED]	
Phone [REDACTED]	Email [REDACTED]

Property

Address 902 W MICHIGAN AVE, YPSILANTI MI 48197	Parcel ID 11-11-39-145-036
Property owner* BRIAN HANNA	
Attach an accurate, scaled drawing of the property showing: <ul style="list-style-type: none"> • All property lines and dimensions • Location and dimensions of all existing and proposed structures and uses on the property • Any roads, alleys, easements, drains, or waterways which cross or abut the property and lot area and setback • Dimensions necessary to show compliance with the regulations of this ordinance. 	

*If applicant is not the property owner: applicant must attach property owner's written, notarized authorization of application.

Request for Variance: Please attach additional pages to the application if needed.

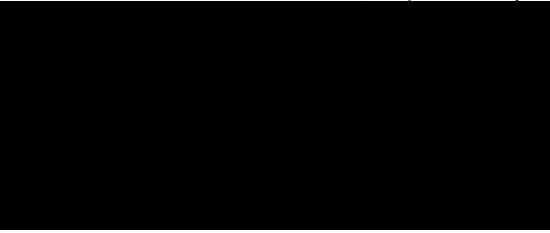
Name and description of proposed project
Avenue Market. The proposed project includes a new rear building addition, parking lot improvements, additional landscaping, new dumpster enclosure, and new privacy fence along rear lot line.
Section of Zoning Ordinance (chapter, article, section, subsection format, please)
122-475.CM Ground Floor Transparency & 122-95 Loading Spaces
Explain how the proposed project is contrary to ordinance
Transparency : Ordinance requires 60% transparency and proposed project includes 5% (see attached drawing cover sheet for more detailed information)
Loading Spaces: Ordinance requires loading spaces/areas to be no closer than 50ft from residential use groups. Proposed loading area is less than 50ft. (see attached site plan drawing for additional info.)
Explain the unique conditions/circumstances to the property and why compliance with the ordinance will pose practical difficulties.
Transparency: It is not feasible to achieve a higher percentage of of transparency due to the interior layout and functions within the building. The businesses existing walk-in cooler is positioned along both the south and

east exterior walls making it impossible to install windows. This is a product sales cooler that customers use
when shopping. The new rear building addition is designed as an extension to this cooler.
Loading Space: The configuration of the site plan only allows for a loading area at the rear of the building.
Placing the loading area 50ft away from the residential use would locate it within the spaces of the parking lot.
Explain how the variance will not grant a special privilege that is not similarly enjoyed by other properties in the same district.
The lack of transparency/windows along the facade is simply a matter of building function for this
particular circumstance and we do not believe it results in any special privilege.
Similarly the loading area location has been dictacted by the shape of the lot layout (parking area vs. budiling)
and we do not believe that it results in any special privilege.
Have the practical difficulties been created by any person presently having an interest in the property?
No
Will the granting of the variance be detrimental to the public welfare or neighborhood properties?
No. In the case of the loading area being within 50 ft of a residential use there is a privacy fence positioned
between the area and residential lot. Also, the loading is not directly across from the residence.
Will the granting of the variance result in substantial justice being done, public benefits, and individual hardships solved, while protecting the rights of other properties?
Yes
Is this variance request the minimum variance that will make possible a reasonable use of land, buildings, or structure?
Yes

Signature

I hereby attest that the above information is accurate and complete. I am authorized to and grant permission to the City of Ypsilanti staff to access the subject property for the purposes of preparing staff reports and/or evaluating this application.

Signature:



Date:

12-21-2020

Print Name:

JOHNNY GEWARGES

Fee Schedule

First variance for single-family property	\$500
Subsequent variance for single-family property	\$250
First variance for all other properties	\$1000
Subsequent variance(s) for all other properties	\$250

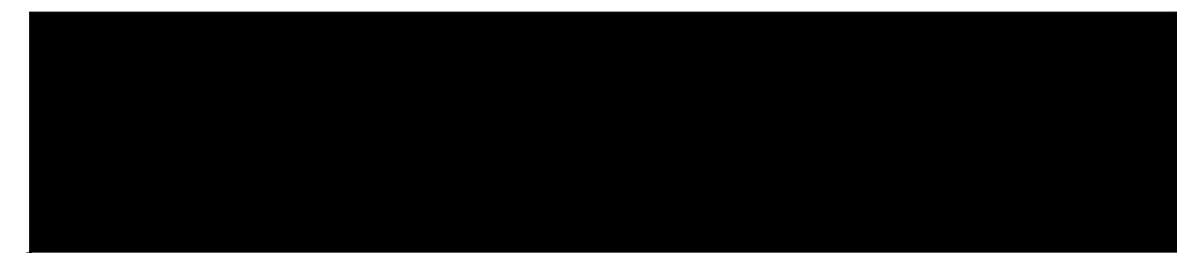
*****FOR OFFICE USE ONLY*****

Date:	Amount:	Account: 101-4-7210-607-01
<input type="checkbox"/> Cash <input type="checkbox"/> Check payable to City of Ypsilanti <input type="checkbox"/> Credit (+ 3.0% surcharge)		Code: 178 Rezone
		Signature of person receiving deposit:
Description of deposit:		

Avenue Market - Party Store

Proposed Building Addition

902 W Michigan Ave., Ypsilanti MI 48197



Owner
BRIAN HANNA
 902 W Michigan Ave
 Ypsilanti MI 48197

architect

THOMAS ROBERTS ARCHITECT, LLC
 2927 4th Street
 Wyandotte, Michigan 48192
 rep: Wayne Dutton, Project Manager

PROJECT DESCRIPTION

BUILDING INFORMATION:
 The current property is that of the 'Avenue Market' convenience/party store.
 The existing property consists of a stand alone building and parking lot. The proposed project consists of a new addition added to the rear of the building, relocation of the trash dumpster, replacement of privacy fence along rear property line, re-paving of the parking lot, installation of a new storm water system, and addition of new landscaping within select areas.
 The addition will be used as an expansion of the 'Avenue Market'. The addition will house storage space and an expanded walk-in cooler. See attached floor plans.
 The existing building is a single story with second floor mezzanine space which looks out over the main floor. The new addition will be a two story addition although the overall height of the new addition will match the height of the existing building.
 The exterior facade finishes of the new addition are designed to match those of the current building. The upper half of the building is EIFS/Silucco to match existing. The lower half of the building will be a stone veneer (new addition and existing building). See attached elevation drawings.
 The existing landscaping will remain and the new landscaping plant selections will match those existing. The new pavement area at the rear of the building is used for delivery vehicles. See attached site/landscape plan.

ZBA VARIANCE REQUEST

The applicant is seeking ZBA approval of the following variance requests.

- 1. Facade Transparency (Percentage of):**
 - Ordinance requires 60% transparency of the first floor facade.
 - Existing South facade (Michigan Avenue):
 - 5% on first floor
 - 10% if high windows are considered
 - Proposed South facade (Michigan Avenue): % remains same.
 - Existing East facade (S. Summit St.):
 - 0% on first floor
 - 7% if high windows are considered
 - Proposed East facade (S. Summit St.):
 - 0% on first floor
 - 5% if high windows are considered

Project does not conform: This deficiency is due to the lack of transparent windows along the first floor. It is not feasible to achieve a higher percentage of transparency due to the interior layout of functions within the building. As can be seen on the attached floor plan the businesses walk-in cooler is positioned along both the south and east exterior walls. This a product sales cooler that customers use to shop for refrigerated items. The new building addition contains an extension to the existing walk-in cooler. Although the overall facade lacks the required transparency the main building entrance does offer a large area of transparency to customers as the approach the doors. The southwest entry of the building is flanked with glass doors and a large window.
- 2. Off-Street Loading Space:**
 - Ordinance requires a 10ft x 25ft loading space.
 - Space must be 50ft away from residential district.
 - Proposed project includes a 10ft x 25ft loading space at north side of building.
 - Proposed location is less than 50ft away from residential district.

Project does not conform: Although less than 50ft the proposed location is screened with a privacy fence and is adjacent to a front lawn portion of adjacent residential property (not aligned with the house).

ZONING INFORMATION

- Governing Zoning Ordinance: City of Ypsilanti Michigan
- Zoned: GC General Corridor
- Parking Requirements: Existing parking lot layout to remain as-is.
- Landscaping Requirements: Existing landscaping is to remain.
- PROJECT BUILDING ADDITION PARAMETERS ARE BASED ON THE FOLLOWING SECTION:
 Sec 122-475. CM Commercial Mixed-Use - Medium (listed here below)

Sec. 122-475. CM Commercial/Mixed Use Medium

COMMERCIAL/ MIXED-USE - MEDIUM

These are generally moderately-sized multiple-story buildings designed for commercial uses on the ground floor and dwellings or offices above, located on lots that can accommodate a building that spans 20-40% of that block's width.

LOT REQUIREMENTS	MIN	MAX
A Lot size (sf)	--	60,000
B Lot width (ft)	60	120
C Lot depth (ft)	--	500
D Lot coverage (%)	--	90

BUILDING ENVELOPE	MIN	MAX
E Street setback (front or side) (ft)	0 ⁽¹⁾	15 ⁽¹⁾
F Side setback (interior lot line) (ft)	0	--
G Rear setback (ft)	10 ⁽²⁾	--
H Frontage buildout (%)	90	100

ACCESSORY BUILDING ENVELOPE	MIN	MAX
I Street setback (ft)	30	--
J Side setback (ft)	10	--
K Rear setback (ft)	10	--
L Building footprint (sf)	--	800

BUILDING HEIGHT	MIN	MAX
M Principal building (stories)	2	5
N Accessory structure(s) (ft)	--	15

PARKING LOCATION
 Permitted in the side and rear yards.

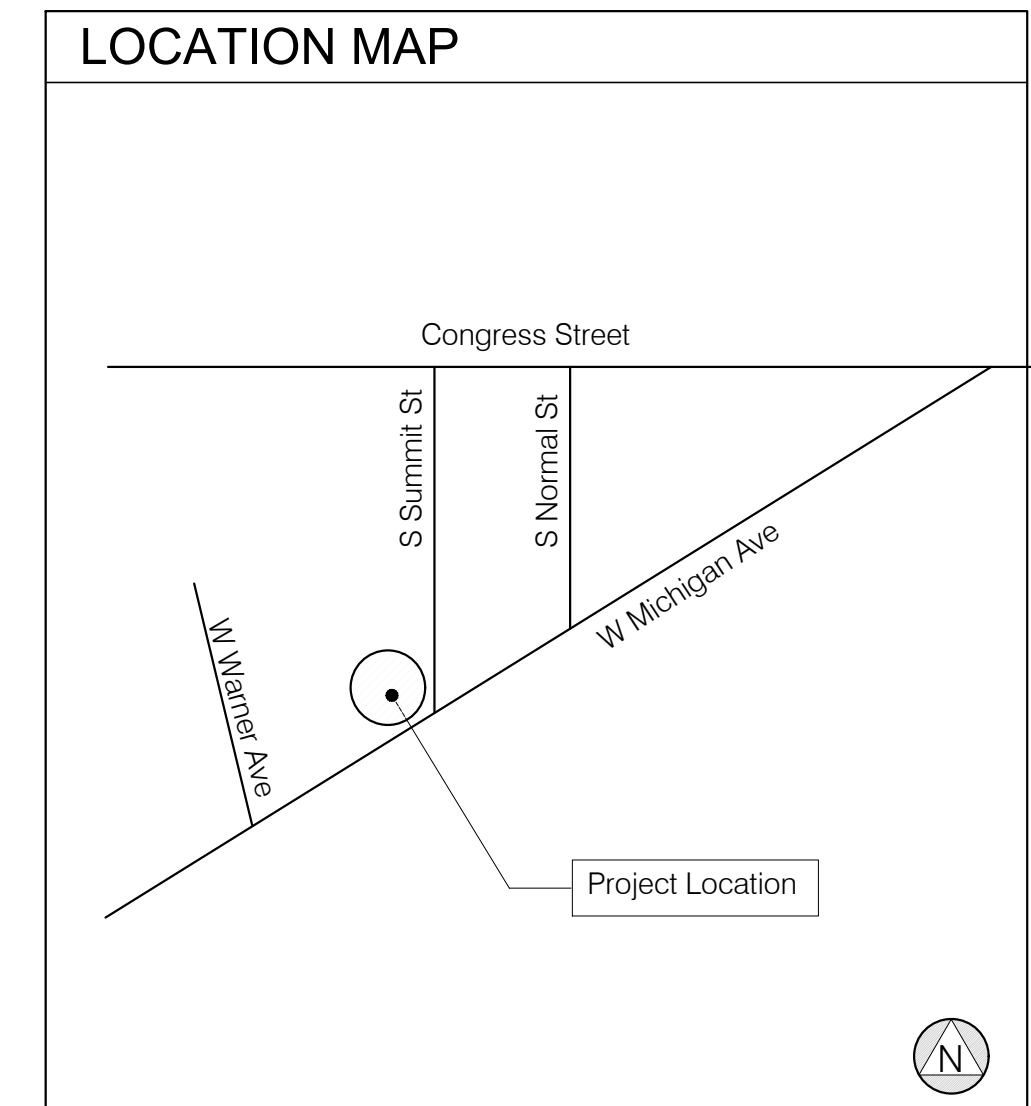
PRIVATE FRONTAGES
 Commercial required.

(1) If located on Washtenaw Avenue, must build no more than ten feet from future right-of-way line as defined in the ReImagined Washtenaw plan.
 (2) When adjacent to existing detached single-family homes, the rear setback shall be a minimum of 25 feet.

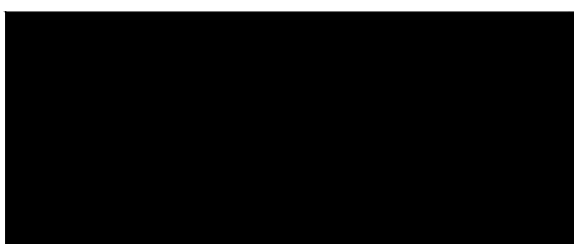
Article IV: Districts | Division 3: Walkable Urban Districts 147

DRAWING INDEX

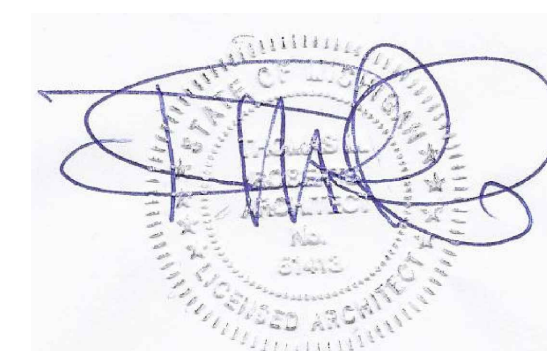
-	Cover Sheet
E100	Images - Existing Property
E200	Existing Site Plan
A100	Proposed Site Plan
A102	Proposed First Floor Plan
A103	Proposed Second Floor Mezzanine Plan
A300	Proposed Exterior Elevations
A301	Proposed Exterior Elevations



Submittal Date: 12/21/2020
 Re: 1/27/2021 ZBA Meeting



20017
 Project No.





3 Existing Image - Landscaping
E100



2 Existing Image - Entry Facade
E100



1 Existing Image - Front Facade
E100



6 Existing Image - Rear Drive
E100



5 Existing Image - Rear Facade
E100



4 Existing Image - Parking Lot Facade
E100



7 Existing Image - Dumpster Location
E100

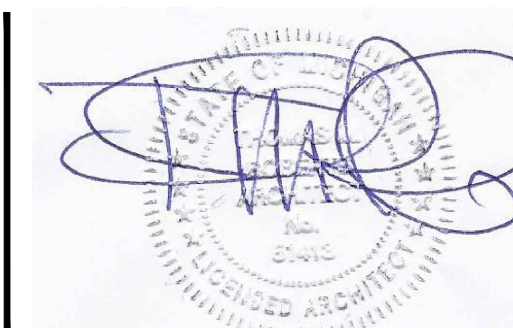
THOMAS
ROBERTS
ARCHITECT, LLC
2927 4th Street
Wyandotte, MI 48192
(t) 734.250.4032

12/21/20	ZBA (1-27-21 Meeting)		

ISSUANCES

REVISIONS

Seal



Avenue Market - Party Store
Building Addition
902 West Michigan Avenue
Ypsilanti, Michigan 48197

print date: 12.21.2020

TR
principal in charge
WD
project manager
WD
project architect
EP/WD
drawn

date
20017
job number

E100

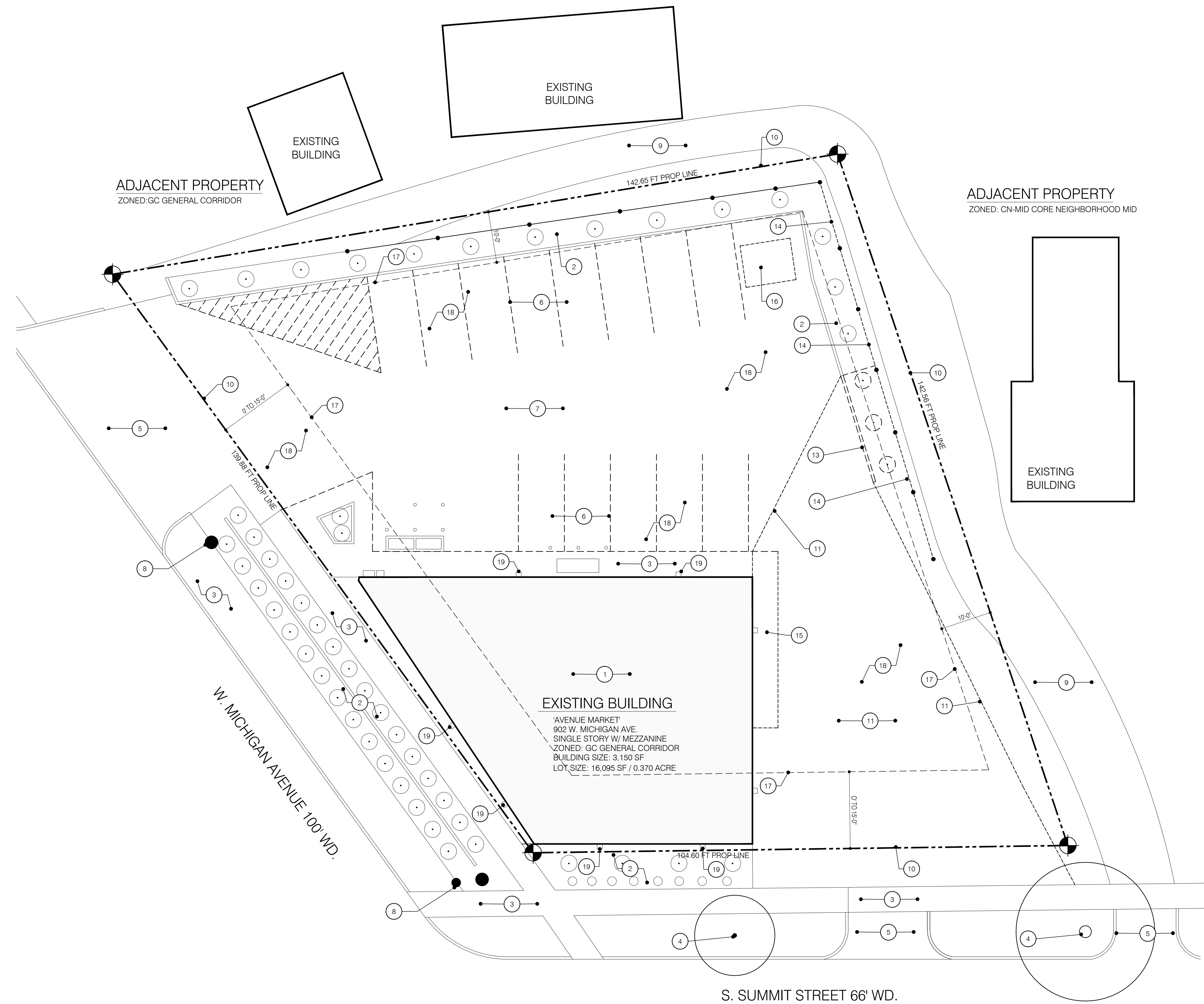
sheet number

GENERAL NOTES

A. PROPERTY LINES AND NEIGHBORING PROPERTY INFORMATION IS BASED ON MORTGAGE SURVEY PROVIDED BY THE TITLE AGENCY.

SITE KEYNOTES

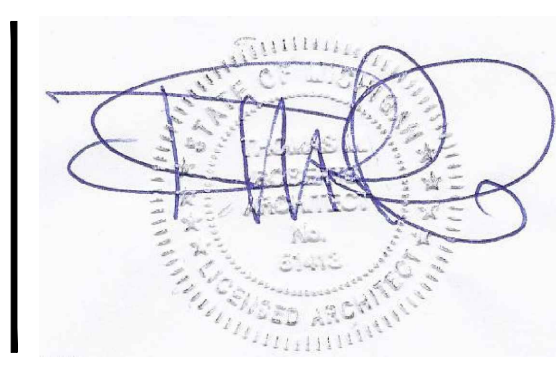
- 1 EXISTING BUILDING
- 2 EXISTING LANDSCAPE BED AND PLANTINGS
- 3 EXISTING WALK
- 4 EXISTING TREE
- 5 EXISTING DRIVE/APPROACH
- 6 EXISTING PARKING SPACE LAYOUT
- 7 EXISTING PARKING LOT
- 8 EXISTING UTILITY POLE
- 9 EXISTING DRIVE OF ADJACENT PROPERTY
- 10 EXISTING PROPERTY LINE
- 11 EXISTING AREA OF ASPHALT PAVING TO BE REMOVED
- 12 NOT USED
- 13 EXISTING LANDSCAPE EDGING/BORDER TO BE REMOVED
- 14 EXISTING WOOD PRIVACY FENCE TO BE REMOVED
- 15 EXISTING CONC WALK TO BE REMOVED
- 16 EXISTING DUMPSTER TO BE RELOCATED
- 17 EXISTING SETBACK LINE PER ZONING
- 18 ALL EXISTING PAVEMENT TO BE REMOVED.
- 19 EXISTING WALL PACK LIGHTING.



1 Existing Site Plan / Landscape Plan
E200 3/32" = 1'-0"

THOMAS
ROBERTS
ARCHITECT, LLC
2927 4th Street
Wyandotte, MI 48192
(t) 734.250.4032

12/21/20	ZBA (1-27-21 Meeting)		



Avenue Market - Party Store
Building Addition
902 West Michigan Avenue
Ypsilanti, Michigan 48197

TR
principal in charge
WD
project manager
WD
project architect
EP/WD
drawn

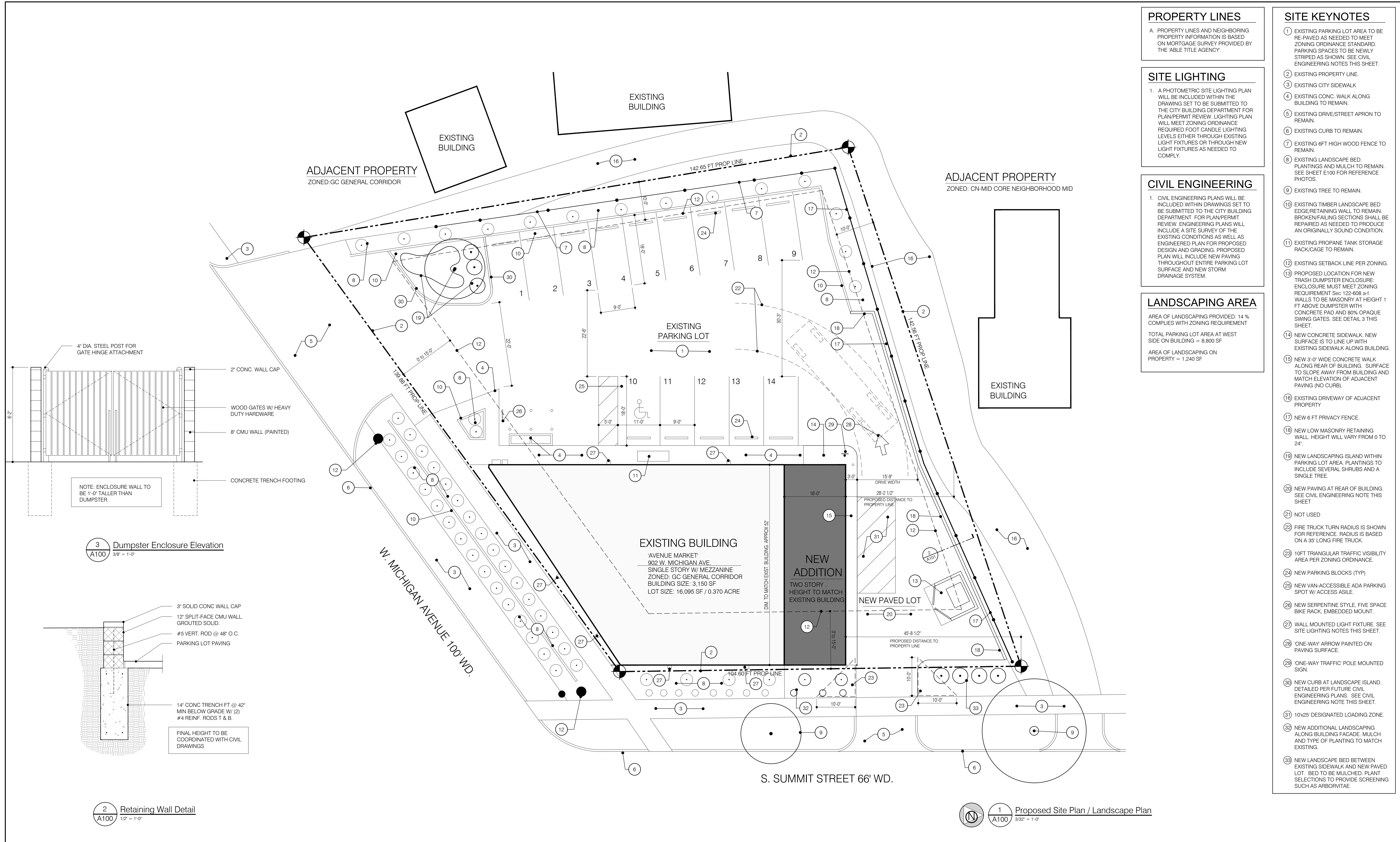
date
20017
job number
E200
sheet number

ISSUANCES

REVISIONS

Seal

print date: 12.21.2020



PROPERTY LINES

A. PROPERTY LINES AND NEIGHBORING PROPERTY INFORMATION IS BASED ON MORTGAGE SURVEY PROVIDED BY THE 'ABLE TITLE AGENCY'.

SITE LIGHTING

1. A PHOTOMETRIC SITE LIGHTING PLAN WILL BE INCLUDED WITHIN THE DRAWING SET TO BE SUBMITTED TO THE CITY BUILDING DEPARTMENT FOR PLAN/PERMIT REVIEW. LIGHTING PLAN WILL MEET ZONING ORDINANCE REQUIRED FOOT CANDLE LIGHTING LEVELS EITHER THROUGH EXISTING LIGHT FIXTURES OR THROUGH NEW LIGHT FIXTURES AS NEEDED TO COMPLY.

CIVIL ENGINEERING

1. CIVIL ENGINEERING PLANS WILL BE INCLUDED WITHIN DRAWINGS SET TO BE SUBMITTED TO THE CITY BUILDING DEPARTMENT FOR PLAN/PERMIT REVIEW. ENGINEERING PLANS WILL INCLUDE A SITE SURVEY OF THE EXISTING CONDITIONS AS WELL AS ENGINEERED PLAN FOR PROPOSED DESIGN AND GRADING. PROPOSED PLAN WILL INCLUDE NEW PAVING THROUGHOUT ENTIRE PARKING LOT SURFACE AND NEW STORM DRAINAGE SYSTEM.

LANDSCAPING AREA

AREA OF LANDSCAPING PROVIDED: 14% COMPLIES WITH ZONING REQUIREMENT
 TOTAL PARKING LOT AREA AT WEST SIDE ON BUILDING = 8,800 SF
 AREA OF LANDSCAPING ON PROPERTY = 1,240 SF

SITE KEYNOTES

- 1 EXISTING PARKING LOT AREA TO BE RE-PAVED AS NEEDED TO MEET ZONING ORDINANCE STANDARD. PARKING SPACES TO BE NEWLY STRIPED AS SHOWN. SEE CIVIL ENGINEERING NOTES THIS SHEET.
- 2 EXISTING PROPERTY LINE.
- 3 EXISTING CITY SIDEWALK
- 4 EXISTING CONC. WALK ALONG BUILDING TO REMAIN.
- 5 EXISTING DRIVE/STREET APRON TO REMAIN.
- 6 EXISTING CURB TO REMAIN.
- 7 EXISTING 6FT HIGH WOOD FENCE TO REMAIN.
- 8 EXISTING LANDSCAPE BED. PLANTINGS AND MULCH TO REMAIN. SEE SHEET E100 FOR REFERENCE PHOTOS.
- 9 EXISTING TREE TO REMAIN.
- 10 EXISTING TIMBER LANDSCAPE BED EDGE/RETAINING WALL TO REMAIN. BROKEN/FAILING SECTIONS SHALL BE REPAIRED AS NEEDED TO PRODUCE AN ORIGINALLY SOUND CONDITION.
- 11 EXISTING PROPANE TANK STORAGE RACK/CAGE TO REMAIN.
- 12 EXISTING SETBACK LINE PER ZONING.
- 13 PROPOSED LOCATION FOR NEW TRASH DUMPSTER ENCLOSURE. ENCLOSURE MUST MEET ZONING REQUIREMENT Sec 122-608 a-1. WALLS TO BE MASONRY AT HEIGHT 1 FT ABOVE DUMPSTER WITH CONCRETE PAD AND 80% OPAQUE SWING GATES. SEE DETAIL 3 THIS SHEET.
- 14 NEW CONCRETE SIDEWALK. NEW SURFACE IS TO LINE UP WITH EXISTING SIDEWALK ALONG BUILDING.
- 15 NEW 3'-0" WIDE CONCRETE WALK ALONG REAR OF BUILDING. SURFACE TO SLOPE AWAY FROM BUILDING AND MATCH ELEVATION OF ADJACENT PAVING (NO CURB).
- 16 EXISTING DRIVEWAY OF ADJACENT PROPERTY
- 17 NEW 6 FT PRIVACY FENCE.
- 18 NEW LOW MASONRY RETAINING WALL. HEIGHT WILL VARY FROM 0 TO 24".
- 19 NEW LANDSCAPING ISLAND WITHIN PARKING LOT AREA. PLANTINGS TO INCLUDE SEVERAL SHRUBS AND A SINGLE TREE.
- 20 NEW PAVING AT REAR OF BUILDING. SEE CIVIL ENGINEERING NOTE THIS SHEET
- 21 NOT USED
- 22 FIRE TRUCK TURN RADIUS IS SHOWN FOR REFERENCE. RADIUS IS BASED ON A 35' LONG FIRE TRUCK.
- 23 10FT TRIANGULAR TRAFFIC VISIBILITY AREA PER ZONING ORDINANCE.
- 24 NEW PARKING BLOCKS (TYP)
- 25 NEW VAN-ACCESSIBLE ADA PARKING SPOT W/ ACCESS ASILE.
- 26 NEW SERPENTINE STYLE, FIVE SPACE BIKE RACK. EMBEDDED MOUNT.
- 27 WALL MOUNTED LIGHT FIXTURE. SEE SITE LIGHTING NOTES THIS SHEET.
- 28 ONE-WAY ARROW PAINTED ON PAVING SURFACE.
- 29 ONE-WAY TRAFFIC POLE MOUNTED SIGN.
- 30 NEW CURB AT LANDSCAPE ISLAND. DETAILED PER FUTURE CIVIL ENGINEERING PLANS. SEE CIVIL ENGINEERING NOTE THIS SHEET.
- 31 10x25' DESIGNATED LOADING ZONE.
- 32 NEW ADDITIONAL LANDSCAPING ALONG BUILDING FACADE. MULCH AND TYPE OF PLANTING TO MATCH EXISTING.
- 33 NEW LANDSCAPE BED BETWEEN EXISTING SIDEWALK AND NEW PAVED LOT. BED TO BE MULCHED. PLANT SELECTIONS TO PROVIDE SCREENING SUCH AS ARBORVITAE.

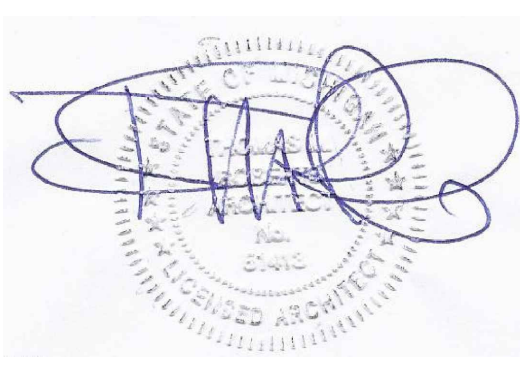
3 Dumpster Enclosure Elevation
 A100 3/8" = 1'-0"

2 Retaining Wall Detail
 A100 1/2" = 1'-0"

1 Proposed Site Plan / Landscape Plan
 A100 3/32" = 1'-0"

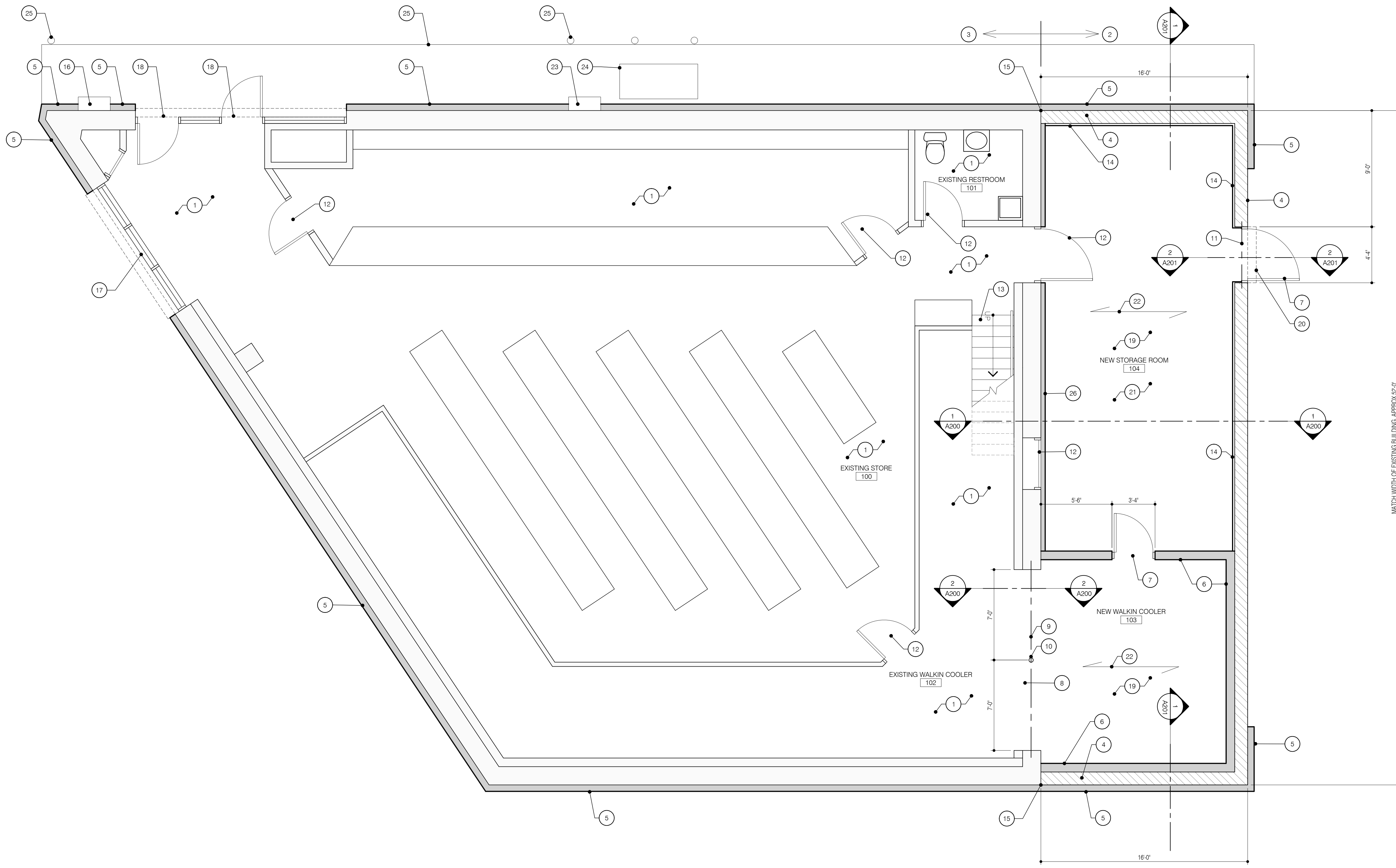
THOMAS ROBERTS ARCHITECT, LLC
 2927 4th Street
 Wyandotte, MI 48192
 (t) 734.250.4032

12/21/20	ZBA (1-27-21 Meeting)		



Avenue Market - Party Store
 Building Addition
 902 West Michigan Avenue
 Ypsilanti, Michigan 48197

TR principal in charge
 WD project manager
 WD project architect
 EP/PD draw
 date 20017
 job number
A100
 sheet number

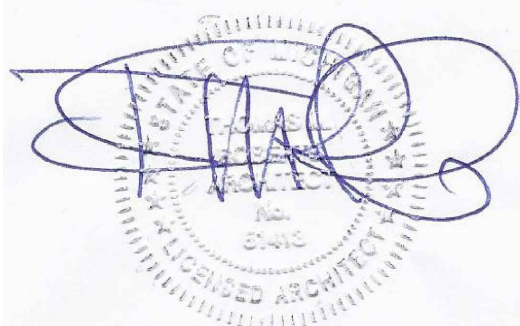


- PLAN KEYNOTES**
- 1 NO WORK THIS ROOM/AREA
 - 2 NEW BUILDING ADDITION THIS SIDE.
 - 3 EXISTING BUILDING THIS SIDE.
 - 4 NEW 8" CMU WALL
 - 5 NEW EXTERIOR STONE VENEER
 - 6 NEW INTERIOR STUD WALLS AT WALK-IN COOLER EXTENSION.
 - 7 NEW DOOR AND FRAME
 - 8 NEW WALL OPENING WITHIN EXISTING BLOCK WALL
 - 9 NEW STEEL BEAM
 - 10 NEW 4" DIA. STEEL COLUMN W/ BEARING PLATE T&B. BASE PLATE TO BEAR ON EXISTING FOOTING.
 - 11 NEW DOOR LINTEL. SEE SECTIONS.
 - 12 EXISTING DOOR AND FRAME
 - 13 EXISTING STAIR
 - 14 NEW INTERIOR FURRING AND INSULATION
 - 15 FACE OF NEW EXTERIOR WALL TO BE FLUSH WITH FACE OF EXISTING EXTERIOR WALL
 - 16 EXISTING ELECTRICAL PANEL
 - 17 EXISTING WINDOW
 - 18 EXISTING STORE FRONT DOOR
 - 19 NEW CONCRETE FLOOR SLAB
 - 20 RELOCATED OVERHEAD ROLLING SECURITY GATE/DOOR.
 - 21 LOCATION OF FUTURE KITCHEN TO BE LOCATED WITHIN THIS ROOM. FINAL LAYOUT TO BE DETERMINED BY OWNER AT LATER DATE.
 - 22 NEW FLOOR JOIST DIRECTION ABOVE. SEE WALL SECTIONS.
 - 23 EXISTING GAS METER TO REMAIN.
 - 24 EXISTING PROPANE STORAGE RACK/CAGE TO REMAIN.
 - 25 EXISTING CONCRETE WALK AND STEEL BOLLARDS SHOWN FOR REFERENCE. SEE SITE PLAN.
 - 26 NEW LOAD BEARING STUD WALL. SEE BUILDING SECTIONS.

1 Proposed First Floor Plan
A102
1/4" = 1'-0"

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ISSUANCES	REVISIONS	Seal
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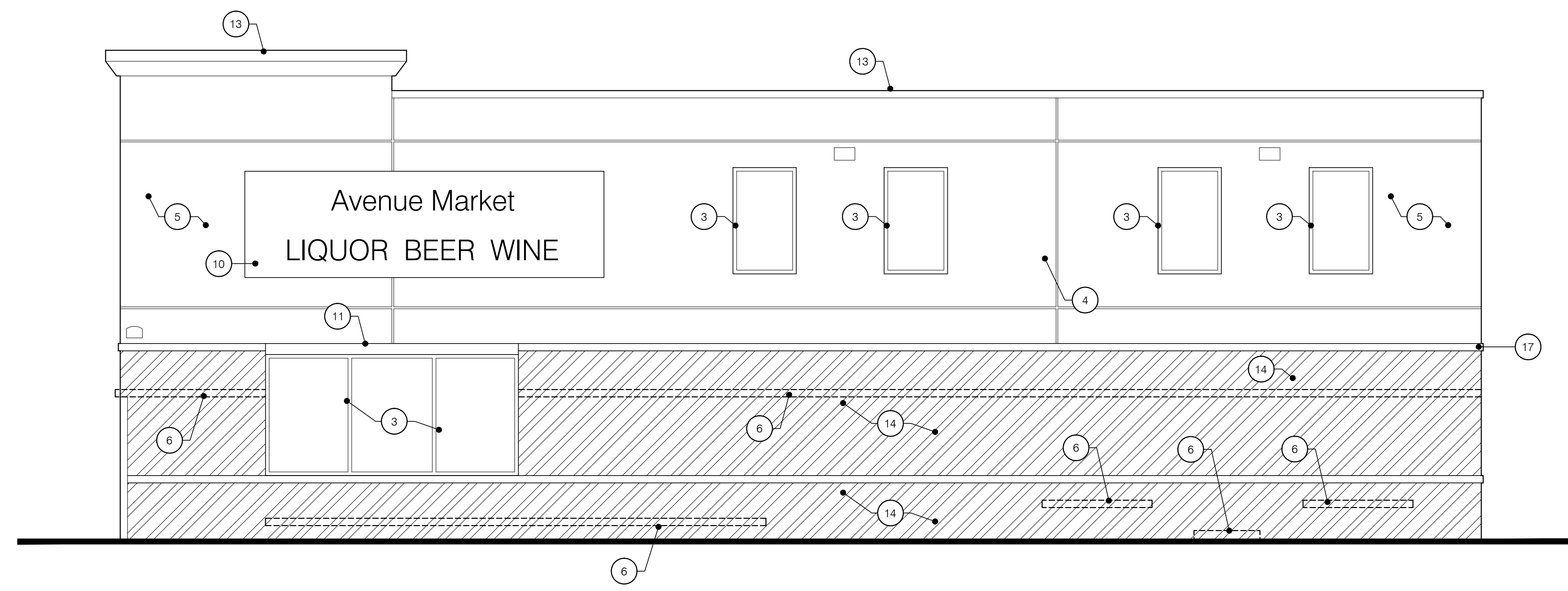
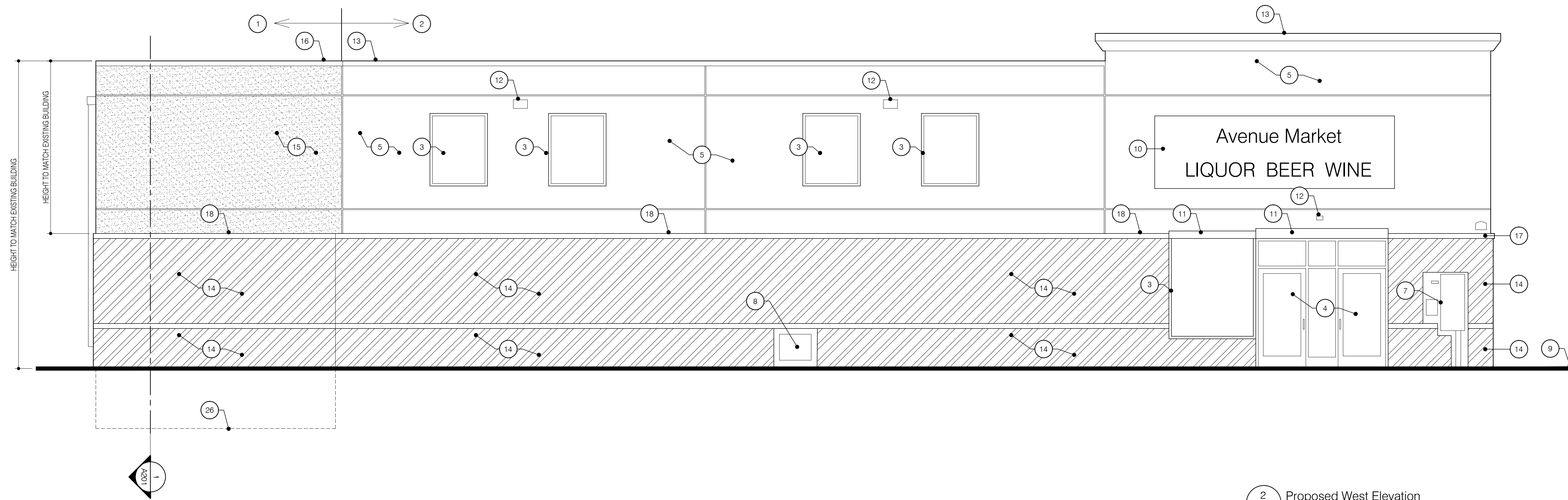
Avenue Market - Party Store
Building Addition
902 West Michigan Avenue
Ypsilanti, Michigan 48197

TR
principal in charge
WD
project manager
WD
project architect
EP/WD
drawn

date
20017
job number
A102
sheet number

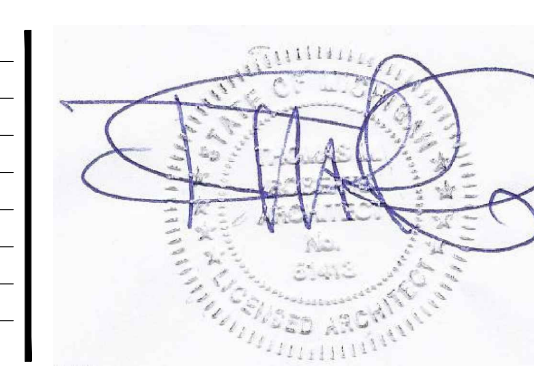
ELEVATION KEYNOTES

- ① LOCATION OF NEW BUILDING ADDITION.
- ② LOCATION OF EXISTING BUILDING.
- ③ EXISTING WINDOW
- ④ EXISTING DOOR
- ⑤ EXISTING EIFS SIDING
- ⑥ DOTTED LINES REPRESENT EXISTING MASONRY/STONE BANDS. THESE ITEMS ARE TO BE REMOVED/CUT BACK TO BE FLUSH WITH SURFACE OF EXISTING WALL.
- ⑦ EXISTING ELECTRICAL PANEL
- ⑧ EXISTING GAS METER
- ⑨ EXISTING GRADE LINE
- ⑩ EXISTING SIGN.
- ⑪ EXISTING SECURITY SHUTTER.
- ⑫ EXISTING LIGHT FIXTURE.
- ⑬ EXISTING PRE-FIN METAL COPING/CAP FLASHING.
- ⑭ 'ANGLED LINE' PATTERN REPRESENTS LOCATION OF NEW SURFACE APPLIED STONE VENEER. FINAL STYLE, PATTERN, AND COLOR TO BE SELECTED BY OWNER.
- ⑮ NEW EIFS WALL FINISH AT NEW ADDITION. SURFACE MUST ALIGN FLUSH WITH THAT OF EXISTING BUILDING. COLOR, TEXTURE AND 'GROOVED' PATTERN IS TO MATCH THE EXISTING BUILDING.
- ⑯ NEW PRE-FIN METAL COPING. MUST TIE IN FLUSH WITH EXISTING BUILDING.
- ⑰ NEW PRE-FIN METAL FLASHING OVER EXISTING STONE WATER TABLE/SILL THIS LOCATION.
- ⑱ NEW PRE-FIN METAL FLASHING OVER NEW WATER TABLE/SILL THIS LOCATION.
- ⑲ NEW EXPOSED BLOCK WALL AT BUILDING ADDITION. WALL TO BE PAINTED. COLOR TO BE SELECTED BY OWNER.
- ⑳ NEW PRE-FIN VERTICAL SEAM METAL SIDING AT BUILDING ADDITION. STYLE AND COLOR TO MATCH EXISTING REAR FACADE OF BUILDING.
- ㉑ NEW PRE-FIN METAL GUTTER AND DOWNSPOUTS.
- ㉒ NEW PRE-FIN METAL GUTTER AND DOWNSPOUTS.
- ㉓ RELOCATED LIGHT FIXTURES
- ㉔ RELOCATED OVERHEAD ROLLING SECURITY SHUTTER.
- ㉕ NEW DOOR AND FRAME. SEE FLOOR PLAN.
- ㉖ LINE OF NEW CONCRETE TRENCH FOOTING.



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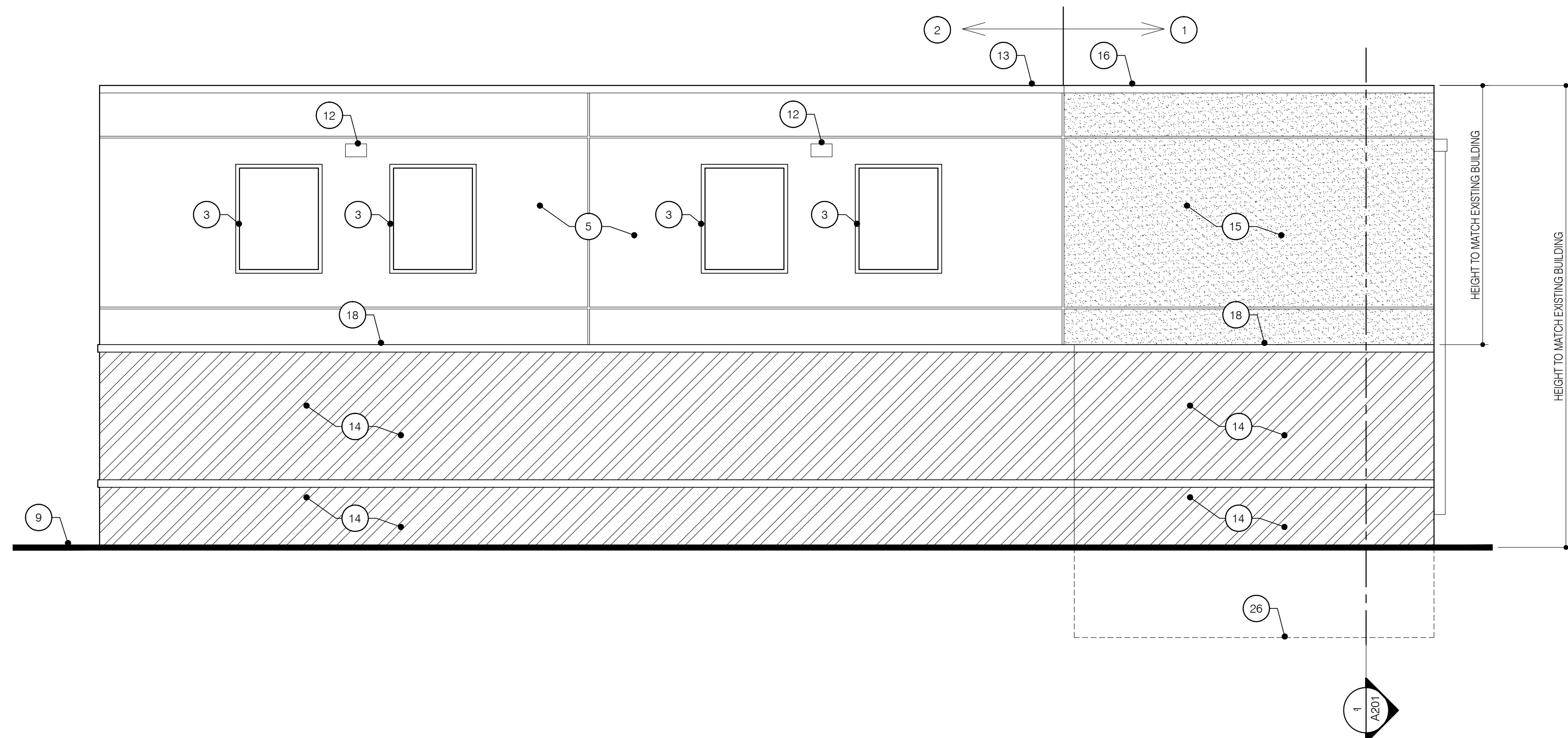
date
20017
job number
A300
sheet number

ISSUANCES

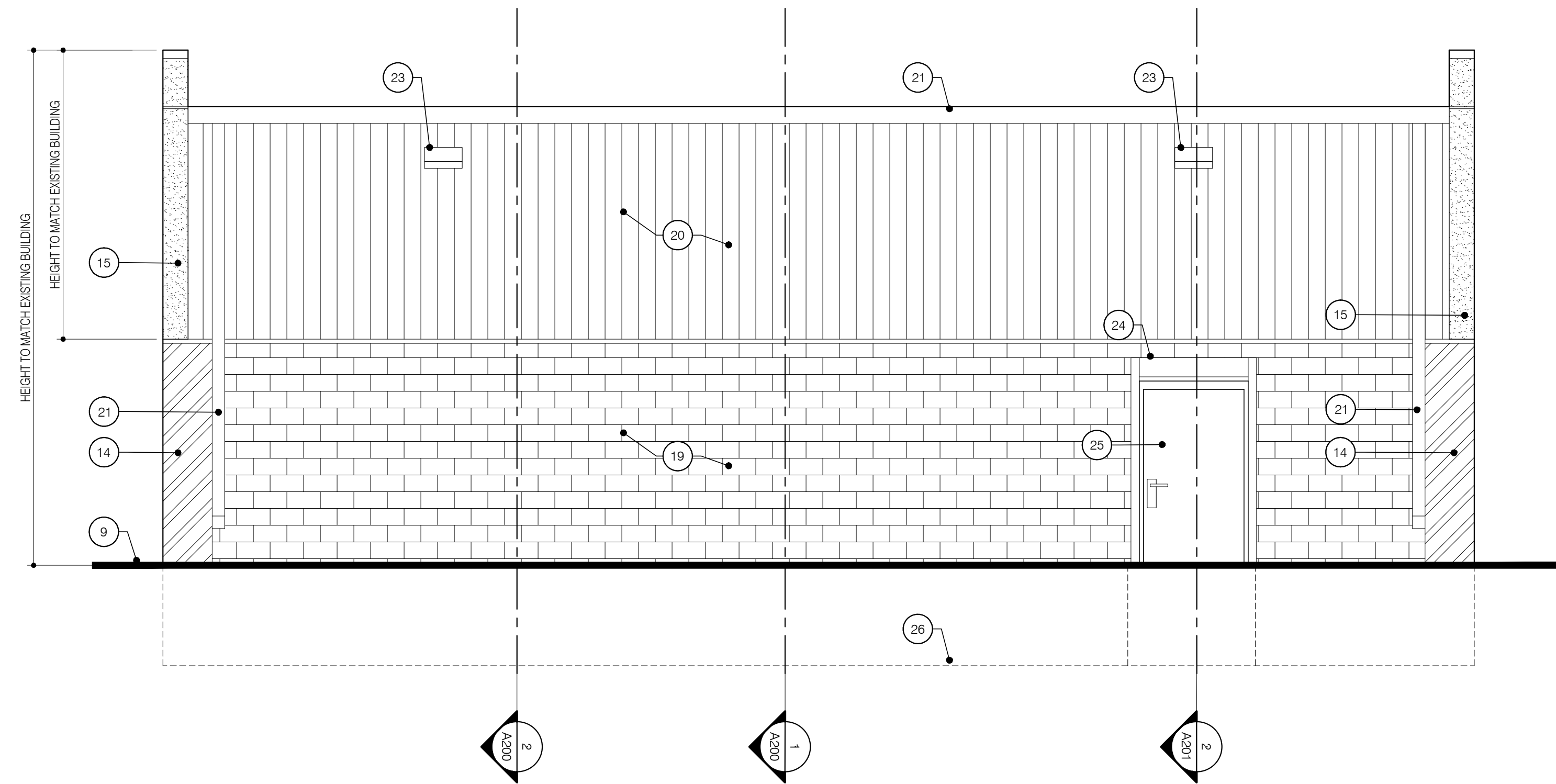
REVISIONS

Seal

print date: 12.21.2020



2 Proposed East (Street Side) Elevation
A301 1/4" = 1'-0"

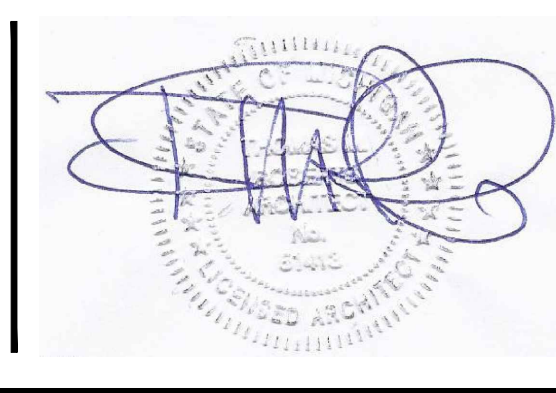


1 Proposed North (Rear) Elevation
A301 1/4" = 1'-0"

- ELEVATION KEYNOTES**
- ① LOCATION OF NEW BUILDING ADDITION.
 - ② LOCATION OF EXISTING BUILDING.
 - ③ EXISTING WINDOW
 - ④ EXISTING DOOR
 - ⑤ EXISTING EIFS SIDING
 - ⑥ DOTTED LINES REPRESENT EXISTING MASONRY/STONE BANDS. THESE ITEMS ARE TO BE REMOVED/CUT BACK TO BE FLUSH WITH SURFACE OF EXISTING WALL.
 - ⑦ EXISTING ELECTRICAL PANEL
 - ⑧ EXISTING GAS METER
 - ⑨ EXISTING GRADE LINE
 - ⑩ EXISTING SIGN.
 - ⑪ EXISTING SECURITY SHUTTER.
 - ⑫ EXISTING LIGHT FIXTURE.
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 - ⑯ NEW PRE-FIN METAL COPING. MUST TIE IN FLUSH WITH EXISTING BUILDING.
 - ⑰ NEW PRE-FIN METAL FLASHING OVER EXISTING STONE WATER TABLE/SILL THIS LOCATION.
 - ⑱ NEW PRE-FIN METAL FLASHING OVER NEW WATER TABLE/SILL THIS LOCATION.
 - ⑲ NEW EXPOSED BLOCK WALL AT BUILDING ADDITION. WALL TO BE PAINTED. COLOR TO BE SELECTED BY OWNER.
 - ⑳ NEW PRE-FIN VERTICAL SEAM METAL SIDING AT BUILDING ADDITION. STYLE AND COLOR TO MATCH EXISTING REAR FACADE OF BUILDING.
 - ㉑ NEW PRE-FIN METAL GUTTER AND DOWNSPOUTS.
 - ㉒ NEW PRE-FIN METAL GUTTER AND DOWNSPOUTS.
 - ㉓ RELOCATED LIGHT FIXTURES
 - ㉔ RELOCATED OVERHEAD ROLLING SECURITY SHUTTER.
 - ㉕ NEW DOOR AND FRAME. SEE FLOOR PLAN.
 - ㉖ LINE OF NEW CONCRETE TRENCH FOOTING.

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WD
project manager
WD
project architect
EP/PWD
drawn

date
20017
job number
A301
sheet number



**PUBLIC NOTICE
CITY OF YPSILANTI
ZONING BOARD OF APPEALS MEETING –VIRTUAL MEETING**

The Ypsilanti Zoning Board of Appeals will hold a special virtual meeting on Wednesday, January 27, 2021 at 7 p.m.

The Zoning Board of Appeals special meeting is being held virtually in order to prevent the spread of COVID-19.

The special meeting can be attended through the below link, or through the below toll free numbers.

January 27, 2021 Zoning Board of Appeals Meeting Virtual Access Link

<https://us02web.zoom.us/j/87540259181?pwd=cHBLZWtISjA5T093ekwzT1UwM3JmQT09>

When prompted, enter **Passcode:** 523444

When prompted, enter **Meeting ID:** 875 4025 9181

January 27, 2021 Zoning Board of Appeals Meeting Toll Free Phone Number Access

877 853 5257 US Toll-free

888 475 4499 US Toll-free

When prompted, enter the **Meeting ID:** 875 4025 9181, followed by the **Passcode:** 523444, followed by the #, press # again to be connected.

Instructions for Persons with Disabilities

Persons with disabilities who need accommodations to effectively participate in the meeting should contact the City Clerk, Andrew Hellenga at ahellenga@cityofypsilanti.com by 5:00 p.m. on the day before the meeting to request assistance. Closed Captions will be provided during the meeting.

City Clerk's Office
One South Huron Street
Ypsilanti, Michigan 48197
(734) 483-1100

Andrew Hellenga
City Clerk
Posted: January 25, 2021